

LIFE-SAFETY INFORMATION

APPLICABLE CODES
NFPA 101 LIFE-SAFETY CODE 2015

OCCUPANCIES MERCANTILE (CHAPTER 31) & STORAGE (CHAPTER 42); CONSTRUCTION TYPE II B
MIXED OCCUPANCIES (REFERENCE CHAPTER 6)

OCCUPANT LOAD FACTOR (REFERENCE TABLE 7.3.1.2)

MERCANTILE: 1,000 S.F.	30 SF GROSS / OCCUPANT =	30
STORAGE: 5,000 S.F.	500 SF GROSS / OCCUPANT =	10

TOTAL OCCUPANTS = 40

CLASSIFICATION OF HAZARD OF CONTENTS
(REFERENCE: OCCUPANCY CHAPTER AND 6.2.2; SPECIFY LOW, ORDINARY, OR HIGH) ORDINARY HAZARD

CONSTRUCTION TYPE(S) (REFERENCE: CHAPTER 8, TABLE A.8.2.1.2 AND COMMENTARY TABLE 8.1 IN HANDBOOK)
II B

MINIMUM EXIT SEPARATION DISTANCE FOR REMOTELY LOCATED EXITS
(REFERENCE: SECTION 7.5; SPECIFY 1/2 OR 1/3 DIAGONAL DISTANCE OF AREA SERVED)

1/2 DIAGONAL = 66 FT SECTION 42.2.4.1 LOW AND ORDINARY HAZARD STORAGE OCCUPANCIES & SECTION 31.2.4.2 FOR BUSINESS ALLOWING FOR SINGLE MEANS OF EGRESS

MAXIMUM DEAD-END CORRIDORS (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6) 50

MAXIMUM COMMON PATH OF TRAVEL DISTANCE (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6) 75

MAXIMUM TRAVEL DISTANCE TO EXITS (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6) 200

EXTINGUISHMENT REQUIREMENTS SPRINKLER (NOT REQUIRED)

DETECTION, ALARM, AND COMMUNICATION SYSTEMS NO 2.9.4.1 - 42.3.4.4

ALLOWABLE HEIGHT AND BUILDING AREA PER IBC EQUIVALENT CONSTRUCTION TYPE

BUILDING CODE

APPLICABLE CODES
IBC 2015

OCCUPANCY M (MERCANTILE), S-1 (REPAIR GARAGE); MIXED OCCUPANCIES (IBC 2015 CHAPTER 10)

OCCUPANT CALCULATIONS (TABLE 1004.1.2)

MERCANTILE	1,000 S.F.	30 GROSS/OCCUPANT	30 OCCUPANTS
S-1 REPAIR GARAGE	5,000 S.F.	500 GROSS/OCCUPANT	10 OCCUPANTS

TOTAL OCCUPANTS 40 OCCUPANTS

CONSTRUCTION TYPE(S) (TABLE 503)
II B (SECTION 503)

ALLOWABLE HEIGHT AND BUILDING AREA LIMITED BY TYPE OF CONSTRUCTION

MAXIMUM HEIGHT IN FEET (SECTION 503 & 504, TABLE 504.3)	55
MAXIMUM NUMBER OF STORIES (SECTION 503 & 504, TABLE 504.4)	2
MAXIMUM AREA IN SQUARE FEET, NON-SPRINKLED (SECTION 503, 506 & 507, TABLE 506.2)	17,500

WIND SPEED DESIGN REQUIREMENTS

THIS BUILDING SHALL BE DESIGNED WITH IBC SEC 1609 AS A FULLY ENCLOSED BLDG USING THE FOLLOWING INFORMATION:

WIND DESIGN DATA:

DETERMINATION OF WIND LOADS SHALL BE IN ACCORDANCE WITH IBC SEC 1609.3 (1), (2), OR (3) DEPENDING ON THE RISK CATEGORY

WIND SPEED V_{ult} = 143 MPH (IBC FIG 1609.3(1))

NOMINAL DESIGN WIND SPEED V_{asd} = 111 MPH ($V_{ult} \times (0.6)^{1/2}$)

RISK CATEGORY: CATEGORY II BLDG SURFACE ROUGHNESS = C

TOPOGRAPHIC FACTOR = 1 EXPOSURE = C

INTERNAL PRESSURE COEFFICIENT (ASCE 7-10 TABLE 26.11-1): ± 0.18

LIVE LOADS (IBC SEC 1607)

GARAGE, AUTO (IBC TABLE 1607.1):	40 PSF
OFFICE LOBBIES & CORRIDORS 1ST FLOOR	100 PSF
OFFICES (IBC TABLE 1607.1):	50 PSF
ROOF LIVE LOADS (IBC TABLE 1607.1):	20 PSF UNIFORM, 300 LB CONCENTRATED

SNOW LOADS (IBC SEC 1608):

GROUND SNOW LOAD (IBC FIG 1608.2):	5 PSF
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FLOOD ZONE INFORMATION

BASED ON THE LSU FLOOD MAP THIS PROPERTY IS IN ZONE X BASE FLOOD.

FIRM, COMMUNITY NO. 22103C04#5F DATE: 04/30/2008

FLOOD ZONE: X BASE FLOOD ELEVATION: N/A

LIFE-SAFETY LEGEND

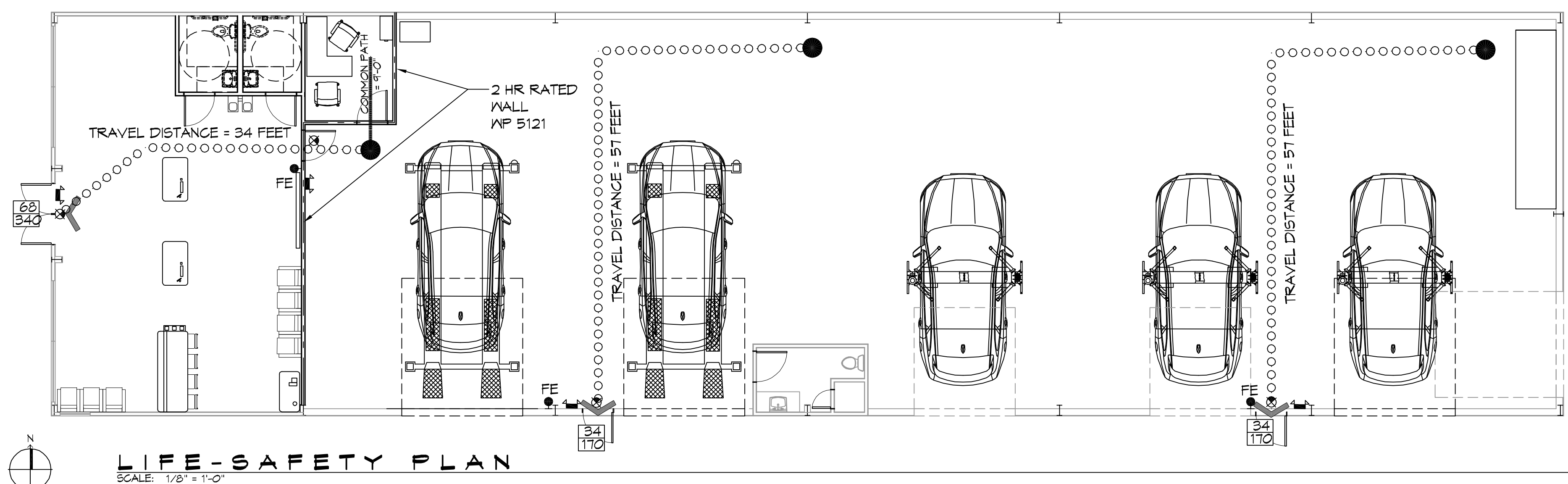
SYMBOL	DESCRIPTION
	EXITS
	DOOR WIDTH/EGRESS CAPACITY
	EXIT LIGHT
	FIRE EXTINGUISHER W/ MALL MTD BRACKET
	TRAVEL DISTANCE
	DECISION POINT

PROJECT STATISTICS

EXISTING 6000 SQ. FT BUILDING WILL BE USED FOR A REPAIR SHOP

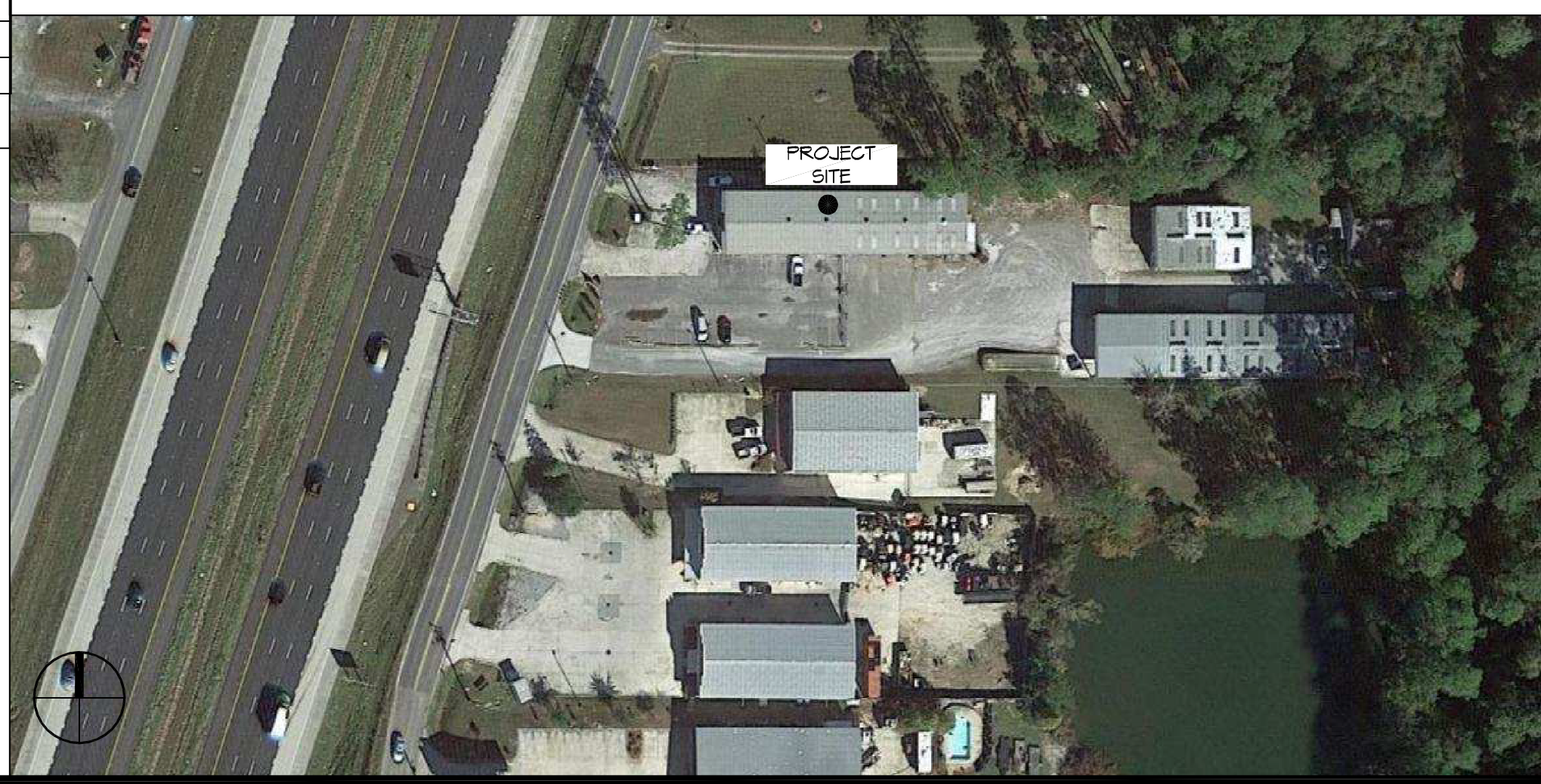
PROJECT LOCATION:
T22 EAST I-10 SERVICE ROAD
SLIDELL, LA.

OWNER:
DOMINATE FLEET LLC



LIFE-SAFETY PLAN
SCALE: 1/8" = 1'-0"

VICINITY MAP



GENERAL NOTES

- ALL MATERIALS AND WORK, INCIDENTAL TO THE CONSTRUCTION OF THIS PROJECT, SHALL CONFORM TO ALL GOVERNING CODES, AND REGULATIONS OF AGENCIES IN AUTHORITY.
- CONTRACTOR SHALL PROVIDE ALL PUBLIC PROTECTIONS NECESSARY AS REQUIRED BY LAW.
- THE DRAWINGS AND ANY SUBSEQUENTLY ISSUED ADDENDA, AMENDMENTS OR SUCH CHANGE ORDERS APPROVED BY THE OWNER AND THE CONTRACTOR ARE PART OF THESE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS. CONSULT WITH THE ENGINEER REGARDING ANY ITEMS IN THE CONTRACT DOCUMENTS THAT REQUIRE CLARIFICATION.
- TRASH SHALL BE REMOVED FROM THE SITE NOT LESS THAN TWICE MONTHLY.
- THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR VEHICLES AND EQUIPMENT NECESSARY FOR CONSTRUCTION MAY BE PARKED ON THE SITE. OTHER VEHICLES PARKED ON THE SITE REQUIRE THE OWNER'S PERMISSION.
- ALL MATERIALS/EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. WORK NOT CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS WILL BE REJECTED BY OWNER/ARCHITECT.

SHEET INDEX

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A101	FLOOR PLAN
A102	BUILDING ELEVATIONS
P101	PLUMBING PLAN
E101	ELECTRICAL ONE LINE DIAGRAM
E102	LIGHTING AND POWER PLAN

DAMMON ENGINEERING, INC.
LOUISIANA & MISSISSIPPI

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Slidell, LA 70668
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REVISIONS	DATE
#	DESCRIPTION

SEAL:

MERKE CAR CENTER

122 EAST I-10 SERVICE ROAD
SLIDELL, LA 70668

JOB No: 2442 DATE: 06/17/2021
DRAWN BY: JAS CHECKED BY: JAS

SHEET TITLE:
GENERAL INFORMATION SHEET

DRAWING NUMBER:
G101

SHEET No: 1 of 8