

**LIFE-SAFETY INFORMATION**

**APPLICABLE CODES**  
NFPA 101 LIFE-SAFETY CODE 2015

OCCUPANCIES MERCANTILE (CHAPTER 31) & STORAGE (CHAPTER 42); CONSTRUCTION TYPE II B  
MIXED OCCUPANCIES (REFERENCE CHAPTER 6)

**OCCUPANT LOAD FACTOR** (REFERENCE TABLE 7.3.1.2)

MERCANTILE: 1,000 S.F.	30 SF GROSS / OCCUPANT =	30
STORAGE: 5,000 S.F.	500 SF GROSS / OCCUPANT =	10

**TOTAL OCCUPANTS = 40**

**CLASSIFICATION OF HAZARD OF CONTENTS**  
(REFERENCE: OCCUPANCY CHAPTER AND 6.2.2; SPECIFY LOW, ORDINARY, OR HIGH) ORDINARY HAZARD

**CONSTRUCTION TYPE(S)** (REFERENCE: CHAPTER 8, TABLE A.8.2.1.2 AND COMMENTARY TABLE 8.1 IN HANDBOOK)  
II B

**MINIMUM EXIT SEPARATION DISTANCE FOR REMOTELY LOCATED EXITS**  
(REFERENCE: SECTION 7.5; SPECIFY 1/2 OR 1/3 DIAGONAL DISTANCE OF AREA SERVED)

1/2 DIAGONAL = 66 FT SECTION 42.2.4.1 LOW AND ORDINARY HAZARD STORAGE OCCUPANCIES & SECTION 31.2.4.2 FOR BUSINESS ALLOWING FOR SINGLE MEANS OF EGRESS

**MAXIMUM DEAD-END CORRIDORS** (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6) 50

**MAXIMUM COMMON PATH OF TRAVEL DISTANCE** (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6) 75

**MAXIMUM TRAVEL DISTANCE TO EXITS** (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6) 200

**EXTINGUISHMENT REQUIREMENTS** SPRINKLER (NOT REQUIRED)

**DETECTION, ALARM, AND COMMUNICATION SYSTEMS** NO 2.9.4.1 - 42.3.4.4

**ALLOWABLE HEIGHT AND BUILDING AREA** PER IBC EQUIVALENT CONSTRUCTION TYPE

**BUILDING CODE**

**APPLICABLE CODES**  
IBC 2015

OCCUPANCY M (MERCANTILE); S-1 (REPAIR GARAGE); MIXED OCCUPANCIES (IBC 2015 CHAPTER 10)

**OCCUPANT CALCULATIONS** (TABLE 1004.1.2)

MERCANTILE	1,000 S.F.	30 GROSS/OCCUPANT	30 OCCUPANTS
S-1 REPAIR GARAGE	5,000 S.F.	500 GROSS/OCCUPANT	10 OCCUPANTS

**TOTAL OCCUPANTS** 40 OCCUPANTS

**CONSTRUCTION TYPE(S)** (TABLE 503)  
II B (SECTION 503)

**ALLOWABLE HEIGHT AND BUILDING AREA LIMITED BY TYPE OF CONSTRUCTION**

MAXIMUM HEIGHT IN FEET (SECTION 503 & 504, TABLE 504.3)	55
MAXIMUM NUMBER OF STORIES (SECTION 503 & 504, TABLE 504.4)	2
MAXIMUM AREA IN SQUARE FEET, NON-SPRINKLED (SECTION 503, 506 & 507, TABLE 506.2)	17,500

**WIND SPEED DESIGN REQUIREMENTS**

THIS BUILDING SHALL BE DESIGNED WITH IBC SEC 1609 AS A FULLY ENCLOSED BLDG USING THE FOLLOWING INFORMATION:

**WIND DESIGN DATA:**

DETERMINATION OF WIND LOADS SHALL BE IN ACCORDANCE WITH IBC SEC 1609.3 (1), (2), OR (3) DEPENDING ON THE RISK CATEGORY

WIND SPEED  $V_{ult}$  = 143 MPH (IBC FIG 1609.3(1))

NOMINAL DESIGN WIND SPEED  $V_{asd}$  = 111 MPH (  $V_{ult} \times (0.6)^{1/2}$  )

RISK CATEGORY: CATEGORY II BLDG SURFACE ROUGHNESS = C

TOPOGRAPHIC FACTOR = 1 EXPOSURE = C

INTERNAL PRESSURE COEFFICIENT (ASCE 7-10 TABLE 26.11-1):  $\pm 0.18$

**LIVE LOADS (IBC SEC 1607)**

GARAGE, AUTO (IBC TABLE 1607.1):	40 PSF
OFFICE LOBBIES & CORRIDORS 1ST FLOOR	100 PSF
OFFICES (IBC TABLE 1607.1):	50 PSF
ROOF LIVE LOADS (IBC TABLE 1607.1):	20 PSF UNIFORM, 300 LB CONCENTRATED

**SNOW LOADS (IBC SEC 1608):**

GROUND SNOW LOAD (IBC FIG 1608.2):	5 PSF
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**FLOOD ZONE INFORMATION**

BASED ON THE LSU FLOOD MAP THIS PROPERTY IS IN ZONE X BASE FLOOD.

FIRM, COMMUNITY NO. 22103C04#5F DATE: 04/30/2008

FLOOD ZONE: X BASE FLOOD ELEVATION: N/A

**LIFE-SAFETY LEGEND**

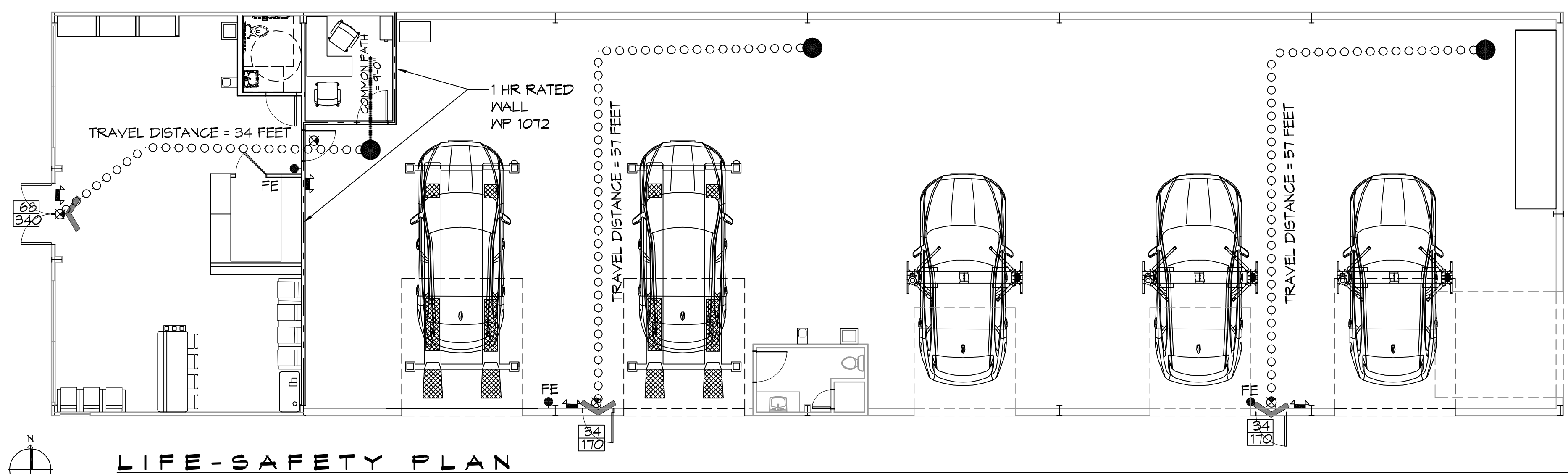
SYMBOL	DESCRIPTION
	EXITS
	DOOR WIDTH/EGRESS CAPACITY
	EXIT LIGHT
	FIRE EXTINGUISHER W/ MALL MTD BRACKET
	TRAVEL DISTANCE
	DECISION POINT

**PROJECT STATISTICS**

EXISTING 6000 SQ. FT. BUILDING WILL BE USED FOR A REPAIR SHOP

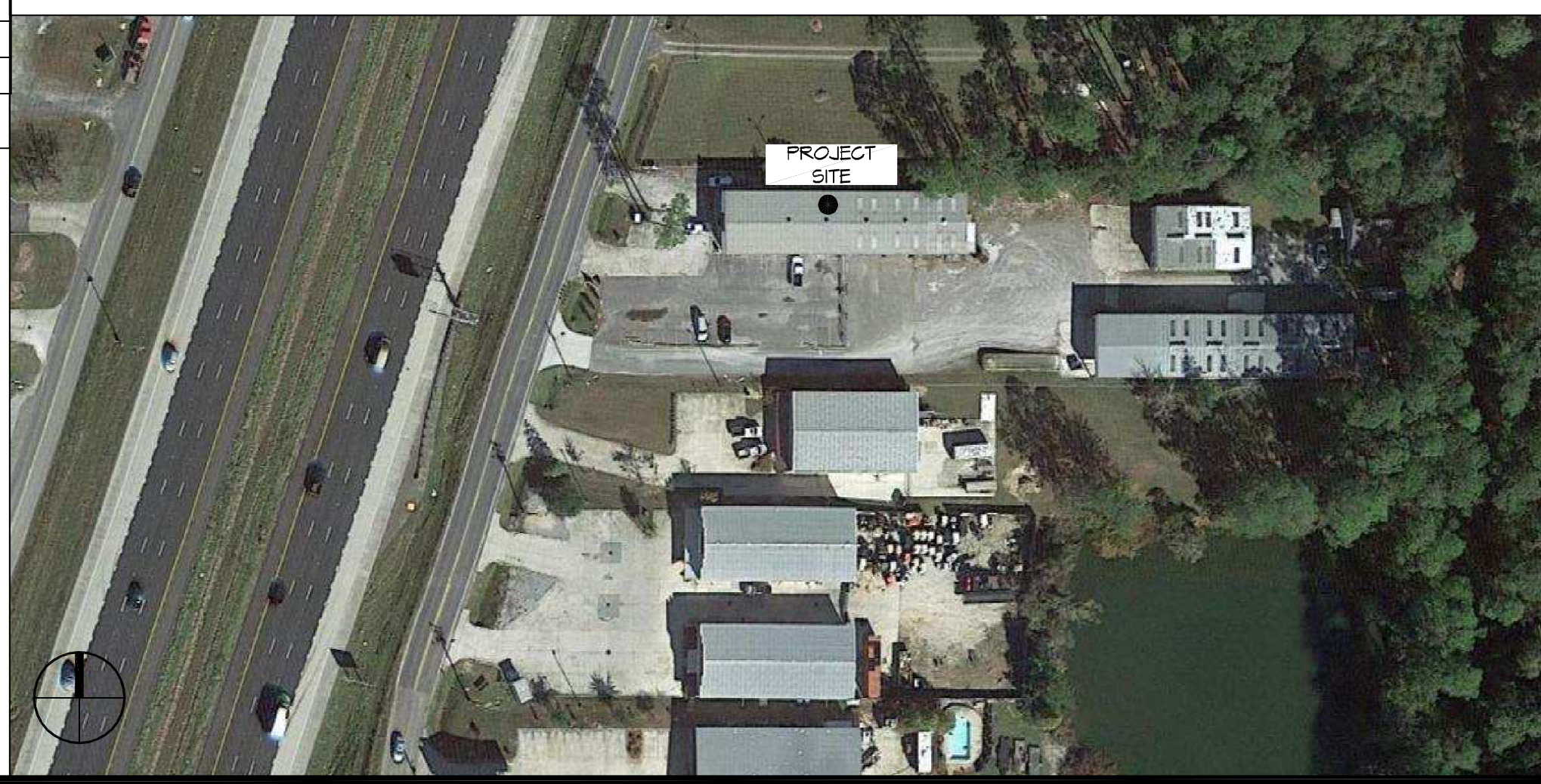
**PROJECT LOCATION:**  
T22 EAST I-10 SERVICE ROAD  
SLIDELL, LA.

**OWNER:**  
DOMINATE FLEET LLC



**LIFE-SAFETY PLAN**  
SCALE: 1/8" = 1'-0"

**VICINITY MAP**



**GENERAL NOTES**

- ALL MATERIALS AND WORK, INCIDENTAL TO THE CONSTRUCTION OF THIS PROJECT, SHALL CONFORM TO ALL GOVERNING CODES, AND REGULATIONS OF AGENCIES IN AUTHORITY.
- CONTRACTOR SHALL PROVIDE ALL PUBLIC PROTECTIONS NECESSARY AS REQUIRED BY LAW.
- THE DRAWINGS AND ANY SUBSEQUENTLY ISSUED ADDENDA, AMENDMENTS OR SUCH CHANGE ORDERS APPROVED BY THE OWNER AND THE CONTRACTOR ARE PART OF THESE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS. CONSULT WITH THE ENGINEER REGARDING ANY ITEMS IN THE CONTRACT DOCUMENTS THAT REQUIRE CLARIFICATION.
- TRASH SHALL BE REMOVED FROM THE SITE NOT LESS THAN TWICE MONTHLY.
- THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR VEHICLES AND EQUIPMENT NECESSARY FOR CONSTRUCTION MAY BE PARKED ON THE SITE. OTHER VEHICLES PARKED ON THE SITE REQUIRE THE OWNER'S PERMISSION.
- ALL MATERIALS/EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. WORK NOT CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS WILL BE REJECTED BY OWNER/ARCHITECT.

**SHEET INDEX**

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A101	FLOOR PLAN
A102	BUILDING ELEVATIONS
P101	PLUMBING PLAN
E101	ELECTRICAL ONE LINE DIAGRAM
E102	LIGHTING AND POWER PLAN

**DAMMON ENGINEERING, INC.**  
LOUISIANA & MISSISSIPPI

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Slidell, LA 70668  
www.dammonengineering.com  
info@dammonengineering.com  
PH: 985.649.8832

REVISIONS	DATE	DESCRIPTION

SEAL:

**MERKE CAR CENTER**

122 EAST I-10 SERVICE ROAD  
SLIDELL, LA 70668

JOB No: 2442 DATE: 07/07/2021  
DRAWN BY: JAS CHECKED BY: CKD

SHEET TITLE:  
**GENERAL INFORMATION SHEET**

DRAWING NUMBER:  
**G101**

SHEET No: 1 of 8