

The Strain Residence

New Arbor Lakes, Poplarville, Mississippi



GENERAL NOTES

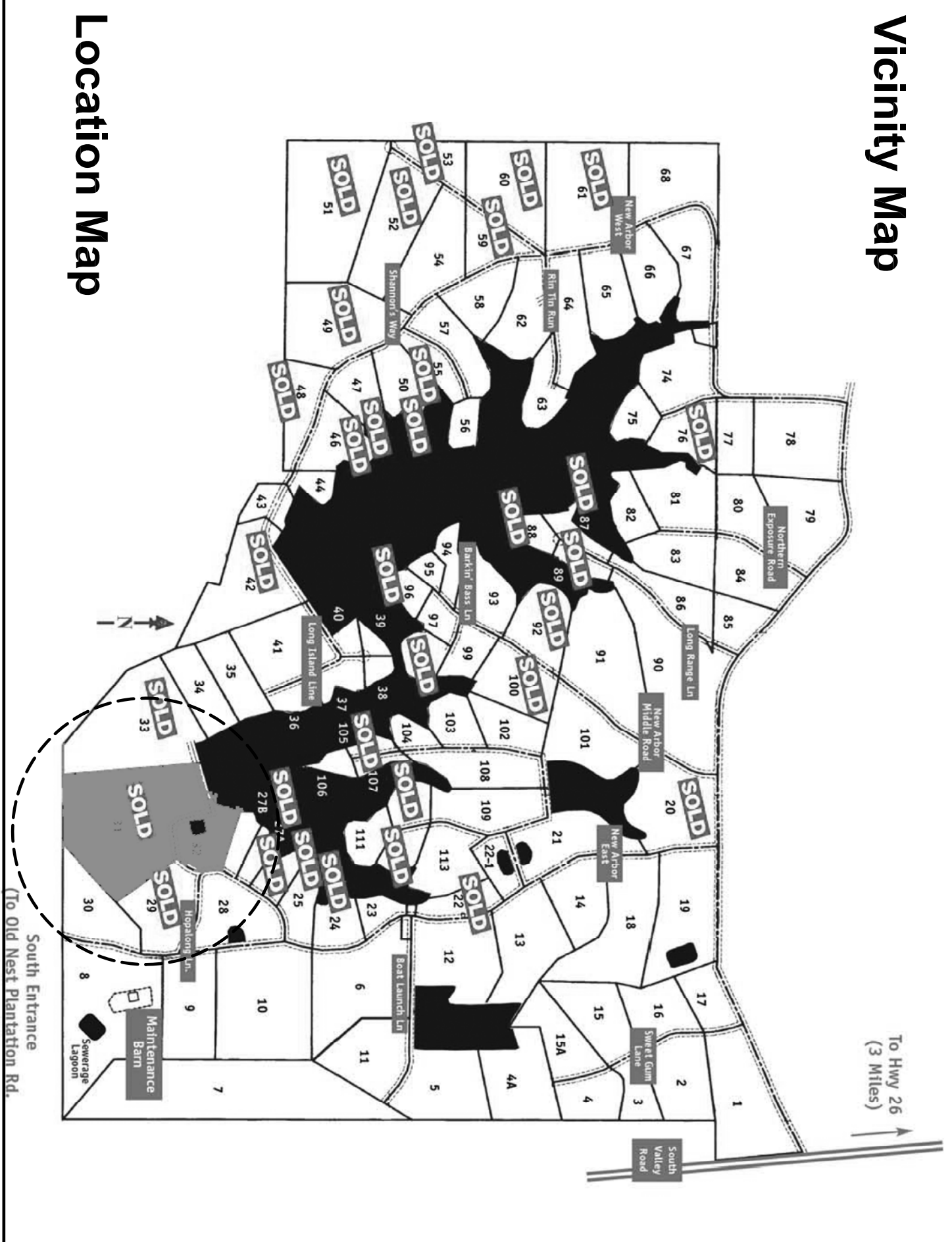
1. These drawings and the "project manual" bound separately constitute the complete set of "contract documents".
2. Do not scale drawings. All dimensions are established from finish face to finish face of walls unless specifically designated otherwise. Review and confirm dimensional information prior to performing work.
3. No work shall be concealed until inspections by Poplarville Safety and Permit officials are performed and approved. All construction shall comply with all Pearl River County codes for residential construction and municipal ordinances. The Contractor shall familiarize himself with these regulations. The Contractor shall comply with all other state and federal codes and requirements of the governing regulatory agencies having jurisdiction. He shall obtain all required permits and arrange for all required inspections with the representatives of regulatory agencies having jurisdiction. The contractor shall provide the Owner with verification that all required inspections have been completed. All necessary permits shall be clearly posted at the project site.
4. All construction materials shall be new and meet the standards identified in these drawings and contained in the specifications.
5. The site shall be maintained clean and free of trash and debris during construction. The construction site should be left in a clean and orderly condition at the close of each day of work.
6. The Contractor shall provide all protections necessary to safely orchestrate the performance of the work. Conditions of the project will require the Contractor to perform his work in an existing neighborhood with existing houses on either side of this lot. The Contractor shall restrict the movement of trash and debris to adjacent property and he shall provide necessary protection to prevent damage to adjacent property. He shall also secure and protect the site from unauthorized entrance by children.
7. The Contractor shall examine the conditions of the existing residence and site. He shall review the drawings and specifications prior to commencing construction. He shall review all required modifications and examine all existing conditions. Any dimensional discrepancies or coordination conflicts shall be reported to the Architect prior to commencement of the phase of construction which may be affected by the conflict.
8. Galvanic insulation shall be provided between all dissimilar metals.
9. All lumber in contact with concrete or other wet area locations shall be "treated".
10. Insulation for all pipes and ducts, including adhesives, shall be non-combustible and U.L. listed. All fibers shall be U.L. rated, class 1.
11. The contractor shall indemnify, hold harmless and defend the owner, the architect and his consultants against all claims or disputes resulting from the contractor's negligence, the negligence of his contracted forces or of his employees while engaged in the performance of the work.
12. Staging of equipment and storage of materials on site shall be discussed and confirmed with the owner prior to the commencement of construction.
13. The house is sheathed throughout with no less than 5/8" CDX plywood, including corners (for wind loading bracing).
14. All sleeping areas shall be protected with UL approved smoke detectors. The detectors shall be wired to the 110V house current and meet design criteria as required by UL 268. They shall be no farther than 10 feet from any sleeping rooms, no closer than 6 inches from adjacent walls or ceilings depending where mounted. Coordinate with the Owners security alarm company for compliance and compatibility.
15. Standard working hours shall be considered 7:00 a.m. to 5:30 p.m., Monday through Friday. If it becomes necessary to perform work before or after those times or on Sunday the Owner's approval will be required.
16. The Contractor shall be required to furnish all temporary utilities. The Contractor will be required to provide on-site portable toilet for the exclusive use of his workers. He is also required to provide an on-site telephone or portable for his business use at the project site.
17. Burning of trash on the project site or neighboring property is strictly prohibited.
18. No dumping of trash or construction debris is allowed on neighboring properties or water ways. The Contractor is also required to prevent any contaminants of any kind from entering the lake or tributaries that flow into the lake.
19. The structures designed and shown in detail herein have been designed to meet the requirements of the Pearl River County Department of Planning and Development and includes by reference the family of International Building Codes 2003 Editions including but not limited to the International Residential Code, International Mechanical Code, International Plumbing Code, and International Fuel Gas Code.

Property Description

Lot 31
New Arbor Lakes Subdivision
Pearl River County, Mississippi

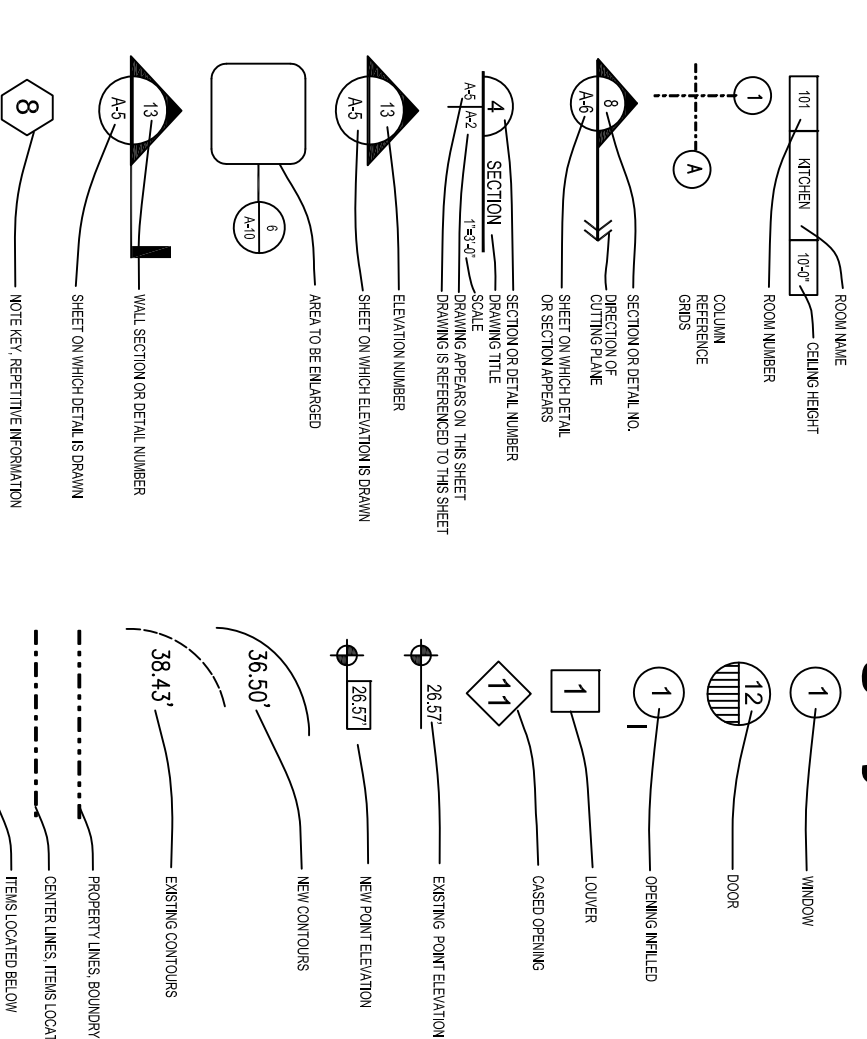


Vicinity Map



Location Map

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PROJECT NAME
Strain Residence
Poplarville, Mississippi

SHEET TITLE

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PROFESSIONAL SEAL

PROJECT NUMBER
0149.11.07

DATE: August 05, 2008

DRAWN BY: R.E.B.

CHECKED BY:

REVISIONS
No. Date By

SHEET

A-0

OF TOTAL SHEETS