

**THE SAENGER  
THEATRE RENEWAL  
PROJECT**

142 North Rampart Street  
New Orleans, LA

Client  
Saenger Theatre Redevelopment Company  
200 West Loop South, Suite  
1040 Houston TX 77027

Architect  
**MARTINEZ+JOHNSON  
ARCHITECTURE**

1412 Eye St. NW  
Washington, DC 20005  
202.333.4480

Structural Engineer  
Lundy & Frank Engineering  
540 Helmer Road  
Antonio TX 78232  
210.979.7900

Theatre Consultant  
Schuler Shook  
123 Third Street North #210  
Minneapolis, MN 55401  
612.339.9598

Acoustical Engineer  
Akustiks  
93 North Main Street South  
Norwalk, CT 06854  
202.299.1904

MEP Engineer  
JBA Consulting Engineers, Inc.  
3525 N. Causeway Blvd., Suite  
500 Metairie, LA 70002  
504.830.0139

Civil Engineer  
Linfield, Hunter, & Junius, Inc.  
3608 18th Street Suite 200  
Metairie, LA 70002  
504.833.5300

Architectural Historian  
EHT Traceries, Inc.  
1121 Fifth Street NW  
Washington, DC 20001  
202.393.1199

Terra Cotta Restoration by:  
Jahncke & Burns Architects, LLC  
3516 Magazine Street  
New Orleans, LA 70115  
504.899.6271

THESE DRAWINGS, SPECIFICATIONS, AND OTHER DOCUMENTS, COLLECTIVELY, THE "DOCUMENTS", INCLUDING WITHOUT LIMITATION ELECTRONIC VERSIONS THEREOF AND THE IDEAS, DESIGNS, AND ARRANGEMENTS REPRESENTED THEREBY, ARE AND SHALL REMAIN THE PROPERTY OF MARTINEZ+JOHNSON ARCHITECTURE PC, AS DEFINED BY APPLICABLE CONTRACTUAL AGREEMENTS ("AGREEMENTS") AND AS PROTECTED BY THE COPYRIGHT STATUTES OF THE UNITED STATES. USE OF THE DOCUMENTS SHALL BE STRICTLY LIMITED TO THE PROJECT FOR WHICH THEY WERE PREPARED AND DEVELOPED ("THE PROJECT") PER THE TERMS OF THE AGREEMENTS. NO PART OF THE DOCUMENTS SHALL BE COPIED, DISCLOSED TO OTHERS, OR USED IN CONNECTION WITH ANY OTHER WORK OR PROJECT, OR BY ANY OTHER PERSONS FOR ANY PURPOSES, OTHER THAN THE COMPLETION OF THE PROJECT, WITHOUT THE SPECIFIC WRITTEN AUTHORIZATION OF MARTINEZ+JOHNSON ARCHITECTURE PC. THE DOWNLOADING, OPENING, OR VIEWING OF ELECTRONIC VERSIONS OF THE DOCUMENTS OR VISUAL CONTACT WITH ANY PRINTED FORM THEREOF SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

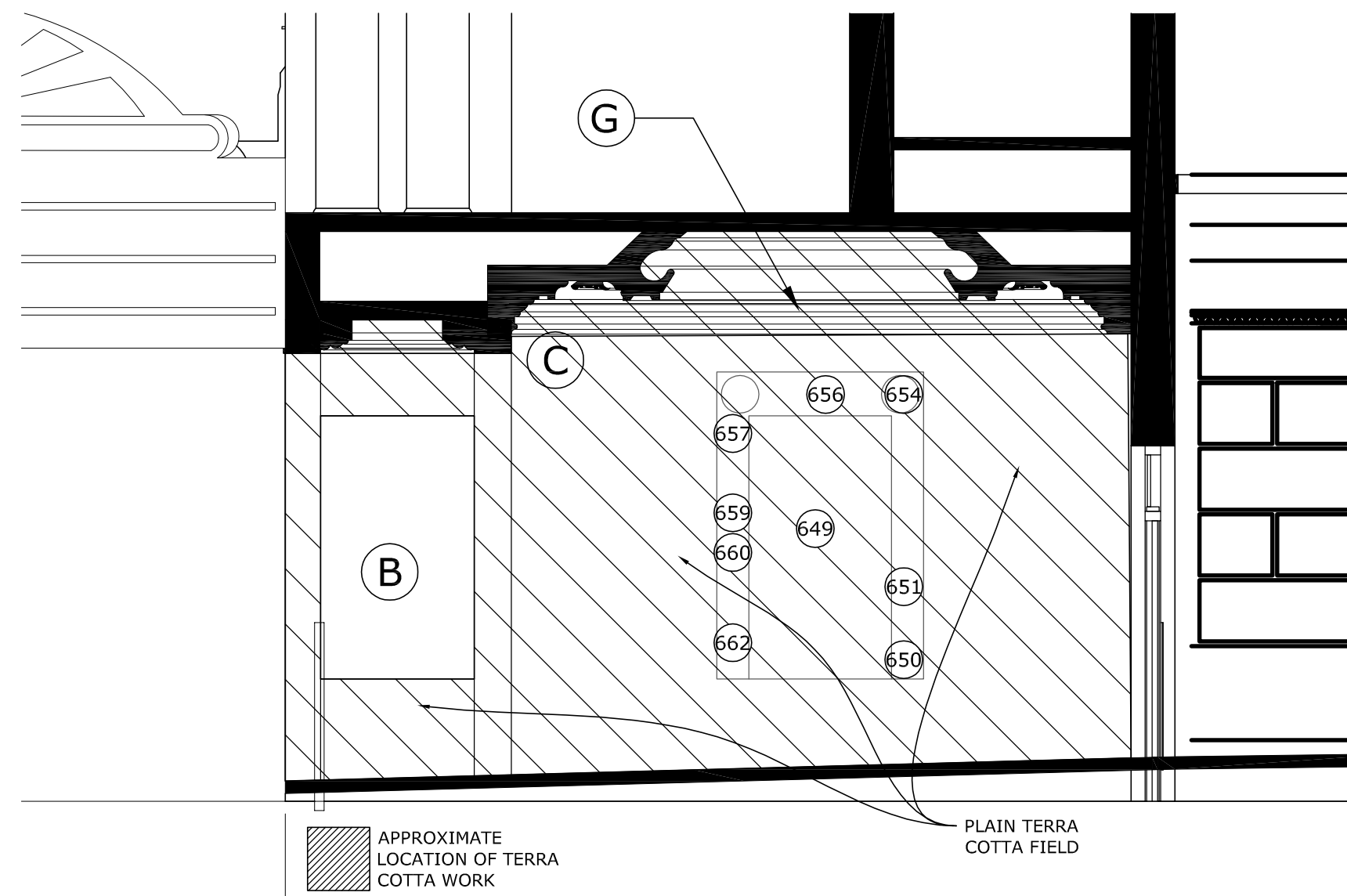
7502

DATE:	No.:	ISSUE:
02.19.10	1	PERMIT SET
04.02.10	2	GMP CONTRACT SET
11.11.10	-	CONTRACT SET

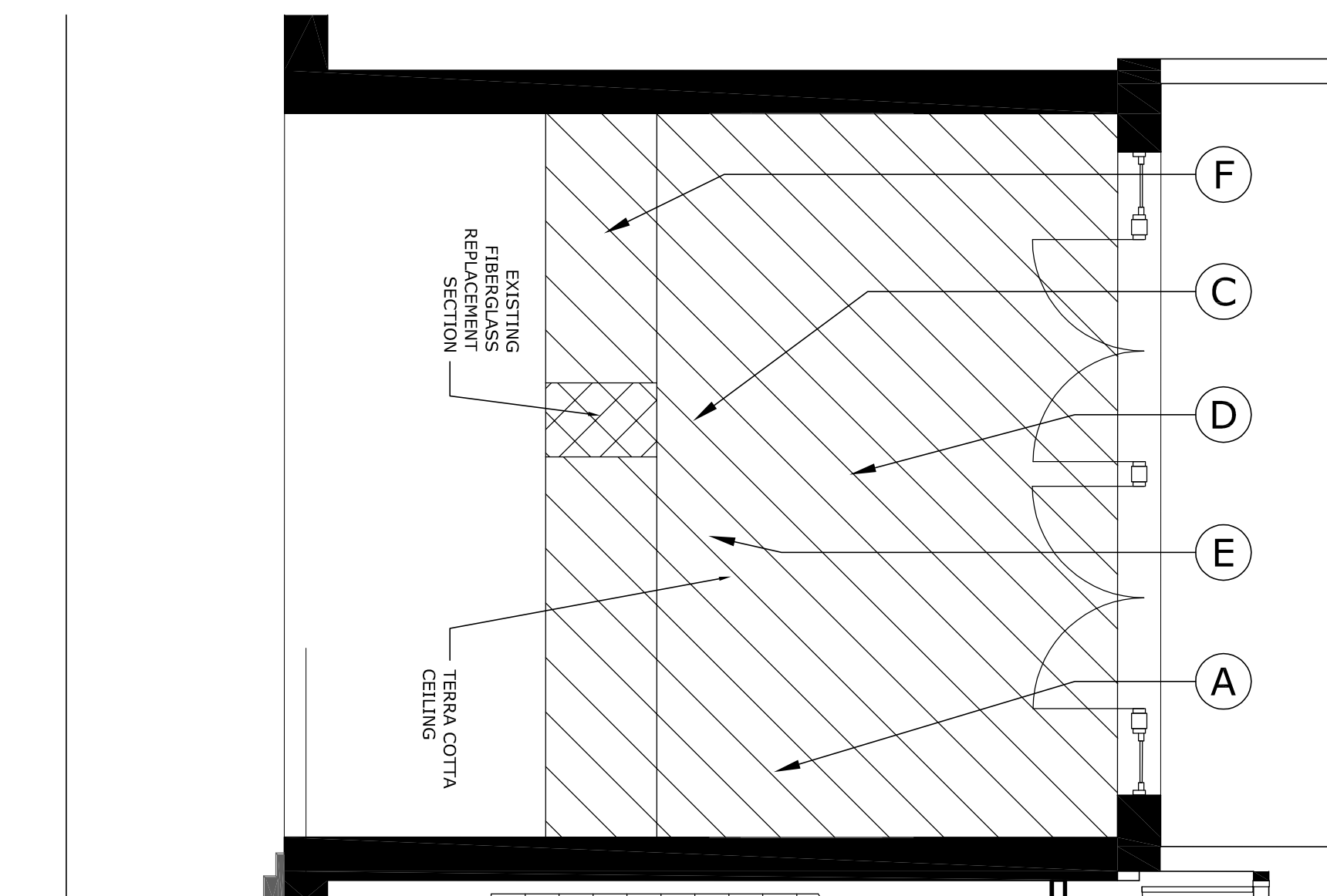
DATE:	No.:	REVISION:

SHEET TITLE:  
**CANAL STREET  
ENTRANCE -  
TERRA COTTA NOTES**

**AT-04**



**1 WEST ELEVATION, MAIN ENTRY**  
SCALE: 1/4" = 1' - 0"



**2 REFLECTIVE CEILING PLAN**  
SCALE: 1/4" = 1' - 0"

**RESTORATION INTENT:**

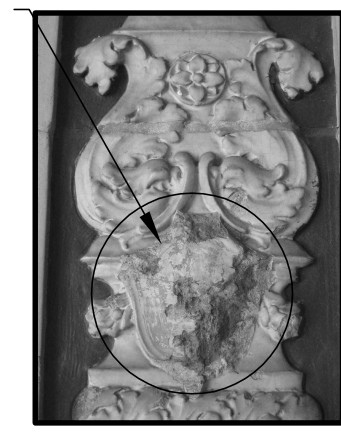
- MATERIALS AND FEATURES FROM THE RESTORATION PERIOD WILL BE RETAINED AND PRESERVED. THE REMOVAL OF MATERIALS OR ALTERATION OF FEATURES, SPACES, AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE THE PERIOD WILL NOT BE UNDERTAKEN.
- EACH PROPERTY WILL BE RECOGNIZED AS A PHYSICAL RECORD OF ITS TIME, PLACE, AND USE. WORK NEEDED TO STABILIZE, CONSOLIDATE AND CONSERVE MATERIALS AND FEATURES FROM THE RESTORATION PERIOD WILL BE PHYSICALLY AND VISUALLY COMPATIBLE, IDENTIFIABLE UPON CLOSE INSPECTION, AND PROPERLY DOCUMENTED FOR FUTURE RESEARCH.
- MATERIALS, FEATURES, SPACES, AND FINISHES THAT CHARACTERIZE OTHER HISTORICAL PERIODS WILL BE DOCUMENTED PRIOR TO THEIR ALTERATION OR REMOVAL.
- DISTINCTIVE MATERIALS, FEATURES, FINISHES AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE THE RESTORATION PERIOD WILL BE PRESERVED.
- DETERIORATED FEATURES FROM THE RESTORATION PERIOD WILL BE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE WILL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND, WHERE POSSIBLE, MATERIALS.
- REPLACEMENT OF MISSING FEATURES FROM THE RESTORATION PERIOD WILL BE SUBSTANTIATED BY DOCUMENTARY AND PHYSICAL EVIDENCE. A FALSE SENSE OF HISTORY WILL NOT BE CREATED BY ADDING CONJECTURAL FEATURES, FEATURES FROM OTHER PROPERTIES, OR BY COMBINING FEATURES THAT NEVER EXISTED TOGETHER HISTORICALLY.
- CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS THAT CAUSE DAMAGE TO HISTORIC MATERIALS WILL NOT BE USED.
- ARCHAEOLOGICAL RESOURCES AFFECTED BY A PROJECT WILL BE PROTECTED AND PRESERVED IN PLACE. IF SUCH RESOURCES MUST BE DISTURBED, MITIGATION MEASURES WILL BE UNDERTAKEN.
- DESIGNS THAT WERE NEVER EXECUTED HISTORICALLY WILL NOT BE CONSTRUCTED.

**GENERAL NOTES:**

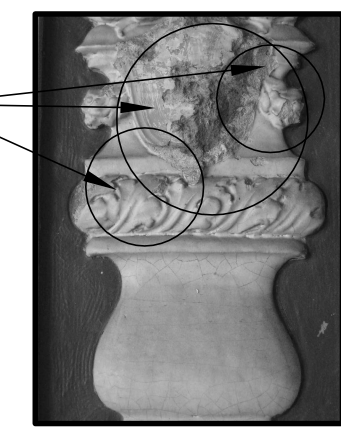
- ALL RESTORATION WORK OF THE TERRA COTTA IS TO BE EXECUTED WITH CARE, QUALITY, AND CRAFTSMANSHIP OF A HIGH STANDARD APPROPRIATE TO THE HISTORIC IMPORTANCE OF THE BUILDING. RESTORATION WORK IS TO BE COVERED BY AND MEET THE HISTORIC PRESERVATION STANDARDS SET FORTH BY THE NATIONAL PARK SERVICE AND THE STATE OF LOUISIANA.
- THE DRAWINGS AND PHOTOS ARE DIAGRAMMATIC ONLY TO CONVEY THE GENERAL SCOPE OF WORK AND DIRECTION. IT IS THE RESPONSIBILITY OF THE BIDDING PARTIES TO VISIT THE SITE AND VERIFY ACTUAL CONDITIONS AND JOINT LOCATIONS PRIOR TO SUBMITTING A BID. DO NOT SCALE FROM THE DRAWINGS.
- THE DRAWINGS AND PHOTOS ARE TWO DIMENSIONAL REPRESENTATIONS OF THREE DIMENSIONAL OBJECT AND DO NOT SHOW ALL SURFACES. PERFORM WORK ON ALL SURFACES OF PROJECTIONS, REVEALS, ORNAMENT, AND OTHER ELEMENTS ASSOCIATED WITH AREAS ON WHICH WORK IS INDICATED.
- REFER TO SPECIFICATIONS FOR ADDITIONAL DETAIL REQUIREMENTS RELATED TO ALL ASPECTS OF RESTORATION AND DISASSEMBLY OF TERRA COTTA.
- RAKE AND POINT 100% OF TERRA COTTA TO TERRA COTTA AND TERRA COTTA TO STONE/BRICK JOINTS.
- CLEAN 100% OF TERRA COTTA.
- REMOVE 100% OF PAINT ON TERRA COTTA PER SPECS.
- PATCH 100% OF CRACKED TERRA COTTA PER SPECS.
- PATCH 100% OF ALL CHIPPED, FLAKED, PIECES MISSING PER SPECS.
- IDENTIFY ALL TERRA COTTA REQUIRING REPLACEMENT PRIOR TO WORK - NOTIFY ARCHITECT.
- REMOVE ALL VEGETATION FROM ALL TERRA COTTA PER SPECS, FILL & REPAIR AS NECESSARY TO MATCH EXISTING.
- REPAIR / REPLACE TERRA COTTA TO MATCH EXISTING DETAILS & GLAZING TYPE & COLOR.



**657 DETAIL**  
REMOVE PAINT, PRESERVE THE EXISTING GLAZE, REPOINT



**659 DETAIL**  
RESTORE DETAIL TO MATCH EXISTING



**660 DETAIL**  
RESTORE DETAILING TO ORIGINAL



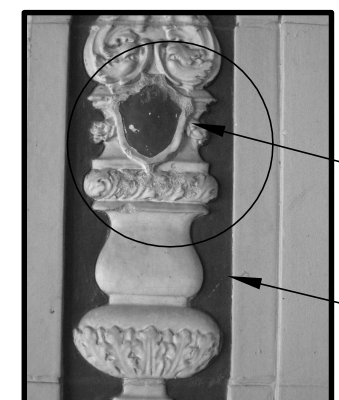
**656 DETAIL**  
CLEAN AND RESET TERRA COTTA AS REQUIRED; VERIFY ON SITE



**649 ALCOVE**  
REMOVE ALL PAINT AND RESTORE DETAILS TO ORIGINAL CONDITION  
REPAIR TO MATCH EXISTING



**654 DETAIL**  
REMOVE LIGHT FIXTURE, RESTORE TO MATCH EXISTING



**651 DETAIL**  
DETAILING TO MATCH EXISTING, RESTORE AND CRISPEN DETAILING



**650 DETAIL**  
PHOTO

REMOVE LIGHT FIXTURE - PATCH & REPAIR, CLEAN AND RESTORE TO MATCH EXISTING

PATCH & REPAIR TO MATCH SAME IN PHOTO 660

REMOVE PAINT - TYPICAL

REMOVE PAINT - TYPICAL



**A PHOTO DSC01958**  
OPEN ALCOVE IN RIGHT HAND WALL; REMOVE ALL UTILITIES



**B PHOTO 103109 004**  
DISPLAY ALCOVE



**C PHOTO DSC01963**  
FIBERGLASS REPLACEMENT PIECE IN ENTRANCE CEILING



**D PHOTO 1434**  
ENTRANCE CEILING FACING INTO ENTRANCE; REMOVE PAINT AND REPAIR ALL CHIPS, CRACKS AND BROKEN PIECES.



**E PHOTO 1435**  
ENTRANCE CEILING FACING CANAL STREET; REPLACE FIBERGLAS WITH NEW TERRA COTTA TO MATCH EXISTING IN DETAILING, AND FINISH



**F PHOTO DSC01971**  
DECORATIVE BAND ACROSS ENTRANCE BEAM; INSPECT STAINED TERRA COTTA FOR CONDITION OF HANGERS, REPAIR AND REPLACE AS NECESSARY



**G PHOTO DSC01961**  
DECORATIVE DETAILS ALONG SIDE CORNICE - NOTE CHIPPED EDGE LEFT OF CENTER