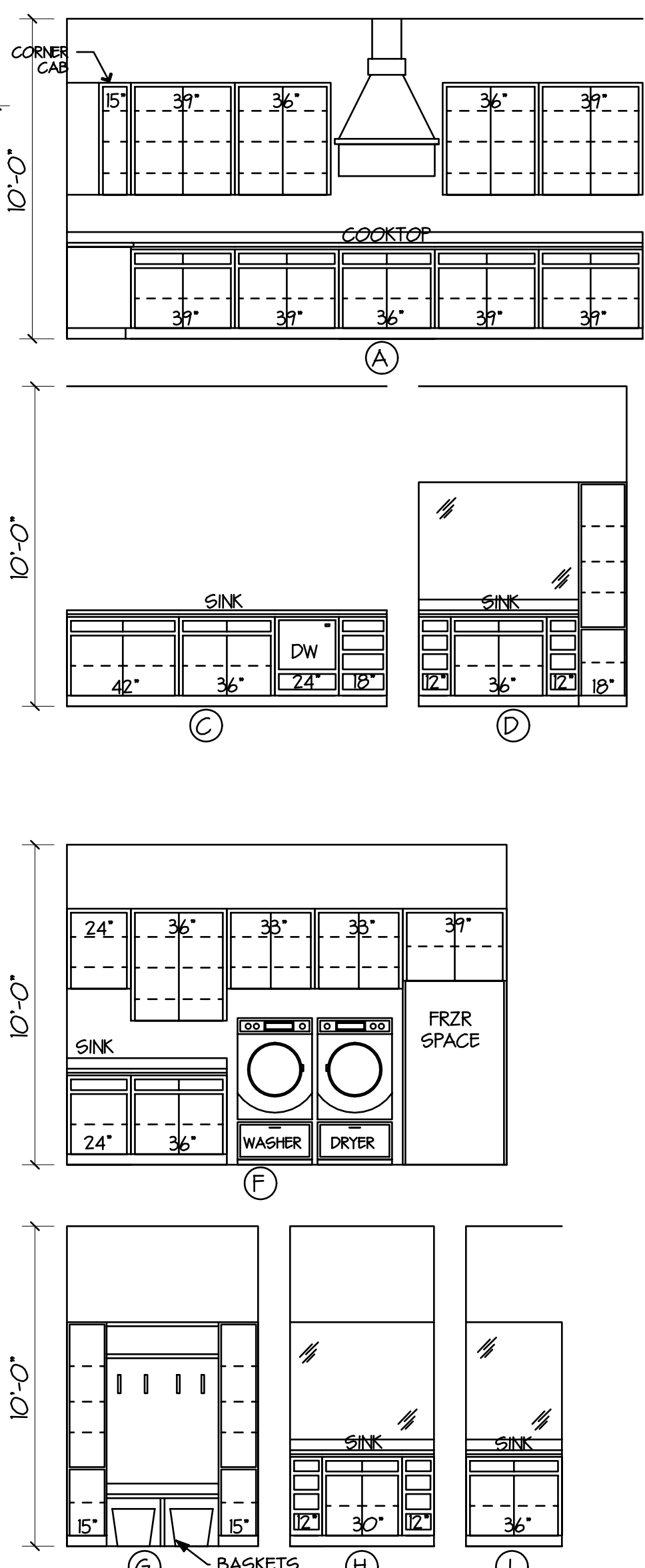


FLOOR PLAN  
SCALE 1/4"=1'-0"

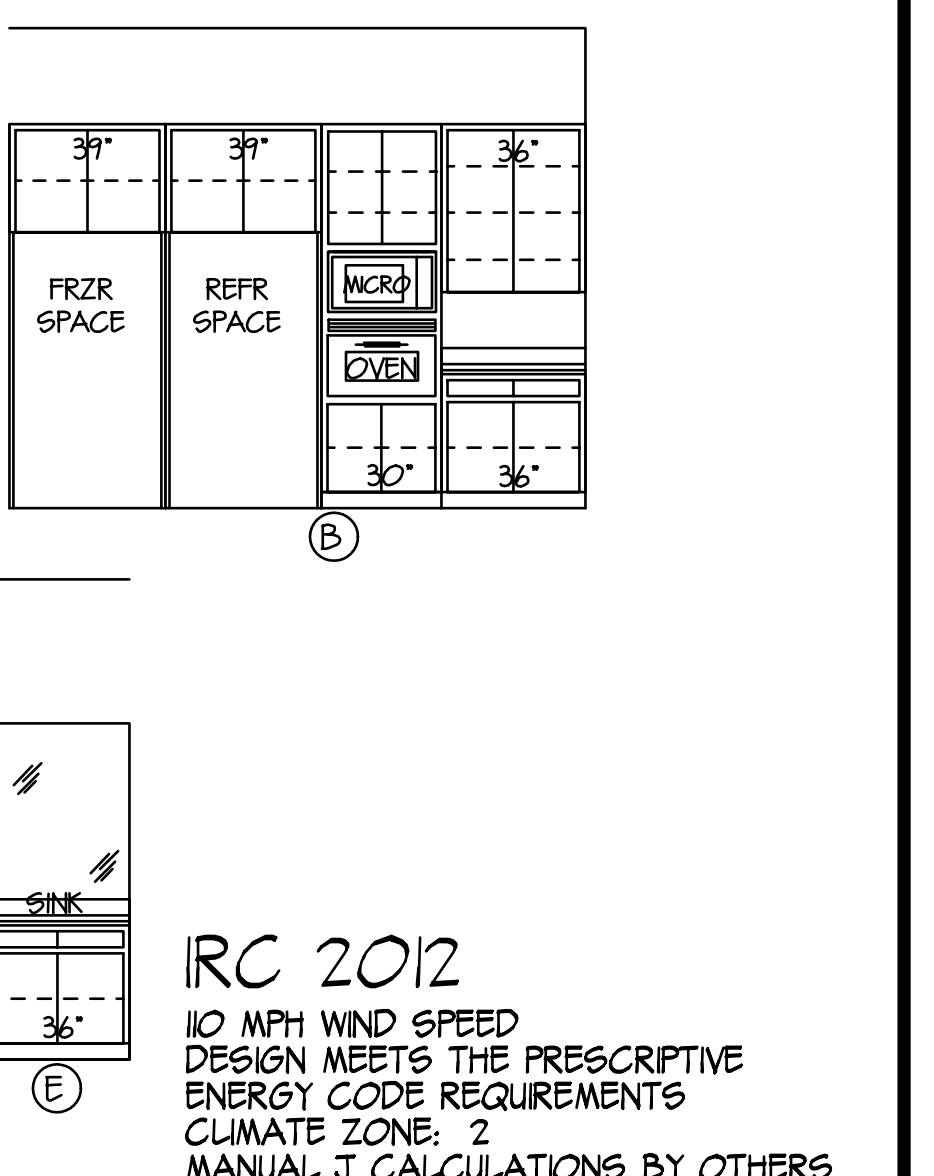


CABINET ELEVATIONS  
SCALE 1/4" = 1'-0"

**\*\* NOTE \*\***  
ALL 6" EXTERIOR WALL

AREA	
LIVING AREA	2435
CARPORT / STORAGE	679
PORCHES	319
TOTAL AREA UNDER E'YM	3433

Although every effort has been made in preparing these plans, the contractor must check all details for accuracy or errors and be responsible for same. Purchaser assumes the risk of any errors, omissions or mistakes during construction due to the fact that DesignTech does not perform field supervision nor select building materials sub-contractors and/or products/equipment. All notes, specifications and other information on the plans are included as instructed by and/or with the approval of Purchaser and without warranty of any kind whatsoever. PLANS HAVE BEEN PREPARED FOR USE BY KNOWLEDGEABLE AND EXPERIENCED, LICENSED CONTRACTORS. This drawing contains valuable, confidential, proprietary, trade secret information of DesignTech Residential Planners, Inc. No reproduction or other use of the drawing or any of its contents is permitted without consent of DesignTech Residential Planners, Inc.



RESIDENCE IS NOT LOCATED IN A WINDBORNE DEBRIS PROTECTION REGION

THERMAL COMPONENT CRITERIA (U-FACTOR AND R-VALUE)  
(MAX SHGC = 0.40 FOR GLAZING)

MAXIMUM GLAZING PENETRATION U-FACTOR	MIN. INSULATION R-VALUE		
	CLGS.	WALLS	FLOORS
0.75	R-30	R-5	R-5

FURR OUT 2" RAFTERS AS REQUIRED FOR BATT INSULATION AT CATHEDRAL CEILING OR USE SPRAYED FOAM INSULATION IF ACCEPTABLE.

- NOTES
- CONTRACTOR SHALL SELECT WINDOW & DOOR PRODUCTS MEETING THE ENERGY EFFICIENCY REQUIREMENTS OF THE BUILDING CODE BASED ON IRC 2012 CLIMATE ZONE 2 - U-FACTOR < 0.75 MAX (SHGC 0.40 MAX)
  - CONTRACTOR SHALL SELECT WINDOW & DOOR PRODUCTS MEETING WIND DESIGN PRESSURE REQUIREMENTS OF R301.3 (GARAGE DOOR SHALL BE RATED TO MEET WIND LIMITATIONS AS PER R 301.2)
  - PER R301.1 DOORS BETWEEN GARAGE & RESIDENCE SHALL BE 20-MINUTE FIRE RATED DOORS (INCLUDING ATTIC STAIRS)
  - SAFETY GLAZING (TEMPERED GLASS) IS REQUIRED AT LOCATIONS IDENTIFIED IN R308.4 (EX. GLAZING WITHIN 24" OF DOORS & OVER TUBS)
  - PER R309.2 GARAGE SHALL BE SEPARATED FROM RESIDENCE BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGES BENEATH HABITABLE ROOMS ABOVE SHALL BE SEPARATED BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT.
  - RAIL INDICATES GUARD RAIL AT PORCHES & GUARDRAIL WITH HANDRAIL AT STAIRS

WINDOW SCHEDULE

MARK	DESCRIPTION	HDR
AA	3070 VINYL SH	8'-0"
BB	3060 VINYL SH	8'-0"
CC	FR. 2850 VINYL CASMENT	8'-0"
DD	2040 VINYL SH.	16'-3"

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	THICK.	DESCRIPTION
1	3'-0"	8'-0"	1 3/4"	SEE ELEVATION
2	3'-0"	8'-0"	1 3/8"	RAISED PANEL INTERIOR
3	2'-4"	8'-0"	1 3/8"	RAISED PANEL INTERIOR
4	1'-6"	8'-0"	1 3/8"	RAISED PANEL INTERIOR
5	3'-0"	8'-0"	1 3/8"	RAISED PANEL POCKET
6	3'-0"	8'-0"	1 3/4"	1 LT EXTERIOR
7	2'-8"	8'-0"	1 3/4"	RAISED PANEL EXTERIOR
8	6'-0"	8'-0"	1 3/4"	FR. 3080 RAISED PANEL EXT.

# FLOOR PLAN

PLANS FOR:  
CHRIS & JENNIFER AIRNONE  
LOT 19-A, SQ. C, THE ANCHORAGE S/D,  
NEW ORLEANS PARISH, LA

DesignTech Residential Planners, Inc.  
St. Tammany Parish, LA.  
COVINGTON 985-871-7211 SLIDELL 985-847-0600

CODE	LIVING	AREA U.B.	INDEX
A3	2435	3433	11170

DATE: 5-2-17

BY: DMH RRF DMH

INDEX: A-1

EMAIL: houseplans@designtechusa.com