

NO ADVERSE IMPACTS TO ADJACENT PROPERTIES

PROJECT ROB CASADABAN RESIDENCE
NEW GARAGE TOTAL SQUARE FEET = 2027
SURVEY LEGAL
PARCEL 1-A-1 BAYOU LIBERTY ESTATES SUBDIVISION SECTION 50, T9S-R14-E ST. TAMMANY PARISH LOUISIANA
PLANNING
ZONED - RESIDENTIAL
BUILDING ELEVATION
BASE FLOOD ELEVATION = 11.0' FINISHED FLOOR ELEVATION = 11.0'
FLOOD ZONE
ZONE 'AE 11'

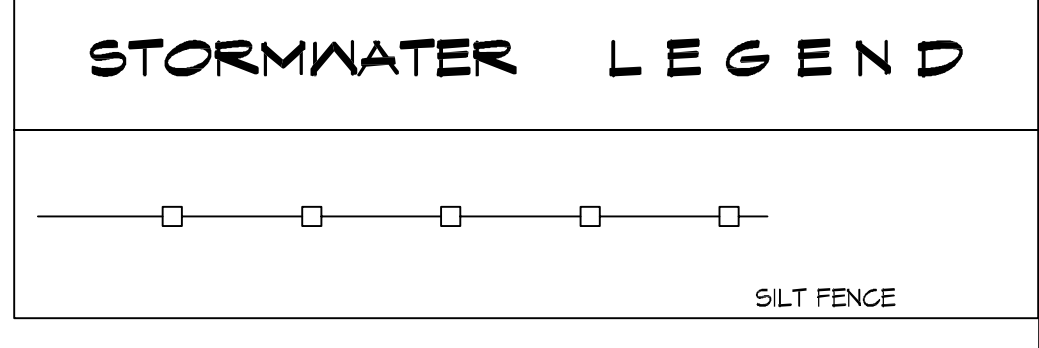
- GENERAL NOTES**
1. ALL MATERIALS AND WORK, INCIDENTAL TO THE CONSTRUCTION OF THIS PROJECT, SHALL CONFORM TO ALL GOVERNING CODES, AND REGULATIONS OF AGENCIES IN AUTHORITY.
 2. CONTRACTOR SHALL PROVIDE ALL PUBLIC PROTECTIONS NECESSARY AS REQUIRED BY LAW.
 3. **DO NOT SCALE DRAWINGS.**
 4. TRASH SHALL BE REMOVED FROM THE SITE NOT LESS THAN TWICE WEEKLY.
 5. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO DAMMON ENGINEERING.
 6. CONTRACTOR VEHICLES AND EQUIPMENT NECESSARY FOR CONSTRUCTION MAY BE PARKED ON THE SITE. OTHER VEHICLES PARKED ON THE SITE REQUIRE THE OWNER'S PERMISSION.
 7. ALL MATERIALS/EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. WORK NOT CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS WILL BE REJECTED BY OWNER.

WIND SPEED

THE CONSTRUCTION FOR SAID RESIDENCE, WHERE WIND SPEED IS 141 mph AND V804 WIND SPEED IS 110 mph, WIND EXPOSURE ZONE C. THIS DESIGN IS IN ACCORDANCE WITH AMERICAN WOOD COUNCIL, WOOD FRAME CONSTRUCTION MANUAL FOR ONE AND TWO FAMILY DWELLINGS (WFCM) 2015 EDITION AS WELL AS THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2015 EDITION.

SHEET INDEX

SHEET #	SHEET TITLE
C100	SITE PLAN
A101	PLING PLAN
A102	FOUNDATION PLAN & DETAILS



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REVISIONS	DATE
#	DESCRIPTION



NEW METAL BLDG FOUNDATION
ROBERT CASADABAN

50375 JEFFERSON AVE
SLIDELL, LA

JOB No: 2020 DATE: 05-11-2021
DRAWN BY: CCKD CHECKED BY: BAW

SHEET TITLE:
SITE PLAN

DRAWING NUMBER:
C100

SHEET No: 1 of 3