

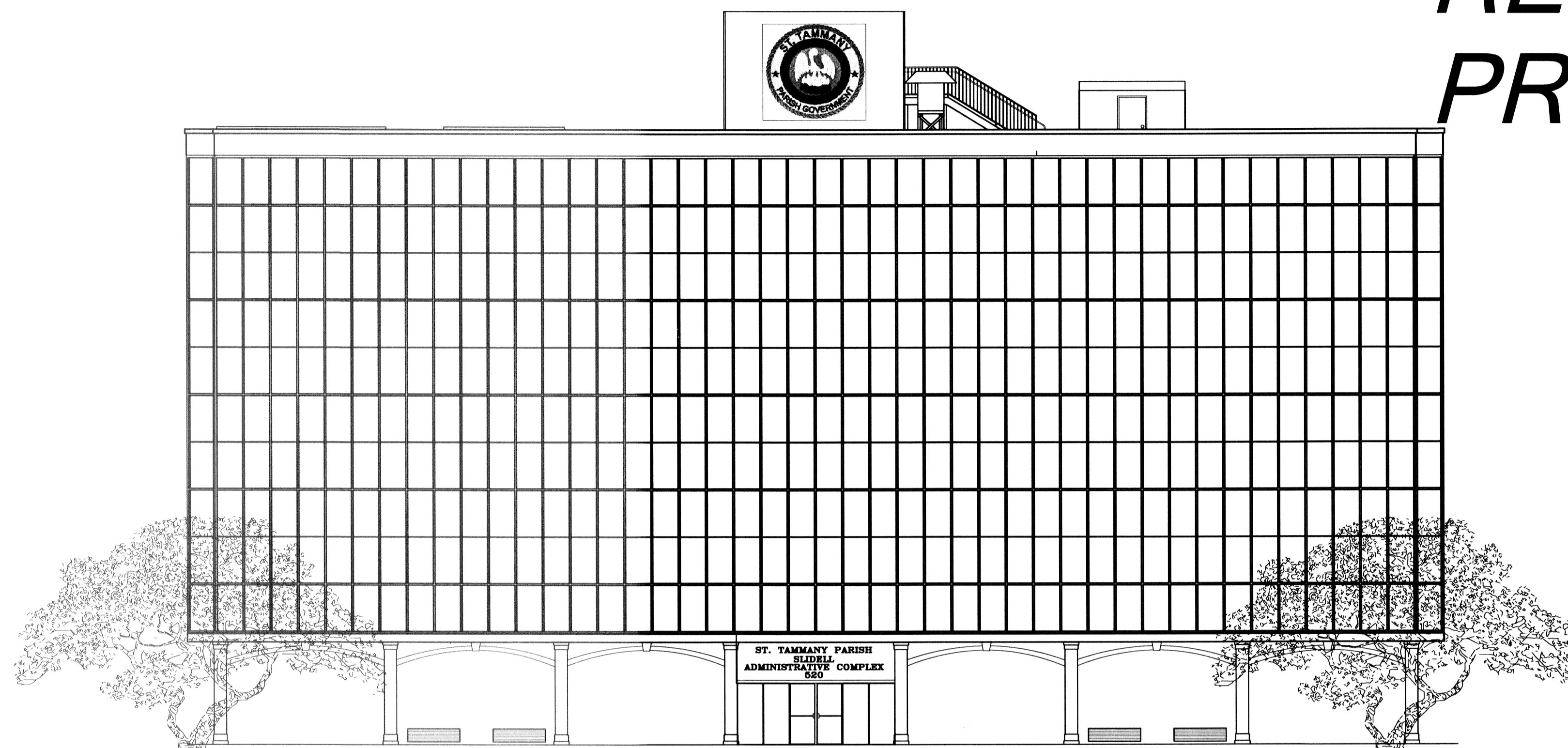
# ST. TAMMANY PARISH SLIDELL ADMINISTRATIVE COMPLEX

520 OLD SPANISH TRAIL  
SLIDELL, LOUISIANA

## RENOVATION PROJECT

### RENOVATION DETAILS

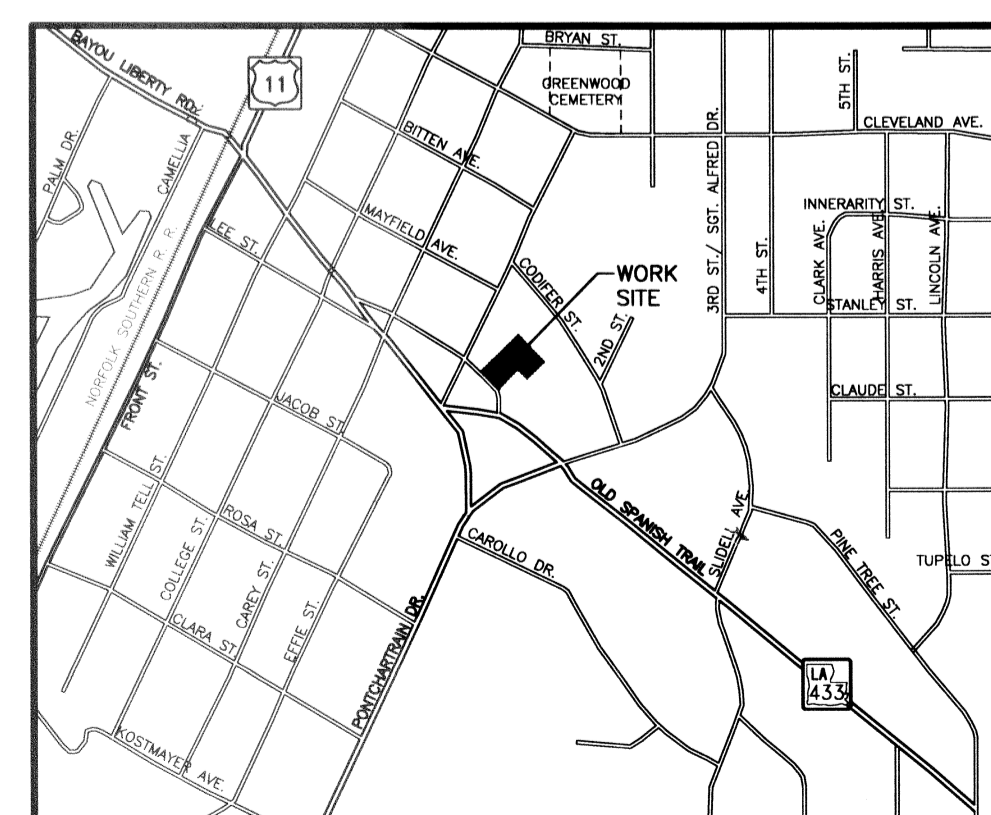
- HURRICANE DAMAGED BUILDING.
- RENOVATIONS LESS THAN HALF VALUE OF FACILITY.
- NO ADDITIONAL AREA BEING ADDED TO BUILDING.
- EXTERIOR WALLS WILL BE UPGRADED TO INSULATED WINDOW WALLS THAT MEET IBC WIND PRESSURE REQUIREMENTS.
- BUILDING WILL BE FULLY SPRINKLED.



NEW ELEVATION FROM PONTCHARTRAIN DRIVE

### INTERNATIONAL BUILDING CODE 2006

OCCUPANCY: GROUP B-BUSINESS (ALL FLOORS)		
CONSTRUCTION: 6 STORY BUILDING - TYPE I B W/JACK UP SLABS (EXISTING)- WILL BE FULLY SPRINKLED		
1 STORY ADDITION - TYPE IV (EXISTING)- WILL BE FULLY SPRINKLED		
(TABLE 503) SIX STORY BUILDING (EXISTING- NON FLAMMABLE)	ONE STORY ADDITION (EXISTING- PRESENTLY PARTIALLY SPRINKLED)	
11 STORIES ALLOWED	5 STORIES ALLOWED	
AREA 42144 S.F. (UNLIMITED ALLOWED)	AREA: 2110 S.F. (36000 S.F. ALLOWED)	
(TABLE 601) FIRE RESISTANCE RATING-- STRUCTURAL FRAME	SIX STORY BUILDING STRUCTURAL FRAME (2HR)	ONE STORY ADDITION (HEAVY TIMBER BEAMS) STRUCTURAL FRAME
BEARING WALLS (INTERIOR & EXTERIOR)-0 HRS.	INTERIOR: 2HR EXTERIOR: 2HR	INTERIOR: 2 HR. EXTERIOR: 2 HR.
FLOOR CONSTRUCTION-0 HR.	2 HR.	CONC. SLAB
ROOF CONSTRUCTION-0 HR.	1 HR.	MTL. ROOF OVER HEAVY TIMBER
EXISTING 2 HR. RATING BETWEEN 1 STORY AND 6 STORY TO BE MAINTAINED		
(TABLE 602) FIRE RESISTANCE RATING FOR EXTERIOR WALLS-- 0 HRS.-EXTERIOR WALLS < 30' FIRE SEPARATION DISTANCE		
(TABLE 704.8) MAX. AREA OF EXTERIOR WALL OPENINGS-- WHERE EXT. WALL NOT LOAD BEARING, NO FIRE RATING REQ'D BUILDINGS WITH 10'+ ALLOWED UNLIMITED AND UNPROTECTED OPENINGS		
(SEC 907) FIRE PROTECTION SYSTEMS THE ONE STORY ADDITION IS CURRENTLY AND WILL CONTINUE TO BE PROTECTED WITH A FIRE SPRINKLER SYSTEM THE ONE FLOOR ADDITION AND SIX STORY BUILDING WILL BE PROTECTED WITH A FIRE DETECTION AND ALARM SYSTEM AND THE ENTIRE BUILDING WILL BE SPRINKLED.		
(SEC 1603.1.4) BUILDING MODS SHALL BE DESIGNED IN ACCORDANCE WITH IBC SECTION 1609 AS A PARTIALLY ENCLOSED BUILDING USING THE FOLLOWING INFORMATION:		
(FIG 1609) BASIC WIND SPEED - 130 M.P.H.		
IMPORTANCE FACTOR		
(TABLE 1604.5) CATEGORY I BUILDING, IE=1.22, IS=1.1, IW=1.15		
(SEC 1609.4) EXPOSURE B DETERMINATION OF WIND LOADS SHALL BE IN ACCORDANCE WITH IBC 1609.6 (130 M.P.H. STEADY, 150 M.P.H. GUSTS) WINDOWS SHALL MEET IBC 1609.6 WIND SPEED REQUIREMENTS = 52.78 PSF. FOR 6 FLOORS		
(TABLE 1607.1) MINIMUM UNIFORM LIVE LOADS -PRIVATE ROOMS AND CORRIDORS - 40 P.S.F. (EXISTING FLOORS) -PUBLIC ROOMS AND CORRIDORS - 100 P.S.F. (FLOORS ARE EXISTING EXCEPT NEW 2ND FLOOR ELEVATOR LOBBY)		
(FIG 1608.2) GROUND SNOW LOADS: -0 P.S.F.		
NOTE: THE 6 STORY BUILDING HAS A JACK UP SLAB, CONCRETE COLUMNS, WITH NO LOAD BEARING WALLS.		



VICINITY MAP  
N.T.S.

### DRAWING INDEX

C-1	COPY OF SURVEY	A-6	SIXTH FLOOR RENOVATE PLAN	E6 L	6TH FLOOR LIGHTING PLAN
C-2	EXISTING SITE PLAN	A-7	ROOF RENOVATION PLAN	E-7	ROOF ELECTRICAL PLAN
C-3	PROPOSED SITE PLAN	A-8	SOUTH ELEVATION	E-8	EXISTING POWER PANELS
C-4	DRAINAGE PLAN	A-9	NORTH ELEVATION	E-9	NEW POWER PANELS
C-5	PAVING PLAN	A-10	WEST ELEVATION	E-10	NEW POWER PANELS
C-6	UTILITIES PLAN	A-11	EAST ELEVATION	E-11	NEW POWER PANELS
C-7	PAVING NOTES AND DETAILS	A-12	1ST FLOOR REFLECTED CEILING PLAN	E-12	ONE LINE DIAGRAMS
L-1	LANDSCAPING PLAN	A-13	2ND FLOOR REFLECTED CEILING PLAN	E-13	EXISTING ELECTRICAL SYSTEM
D-1	FIRST FLOOR DEMOLITION PLAN	A-14	3RD FLOOR REFLECTED CEILING PLAN	E-14	PARKING LOT LIGHTING PLAN
D-2	SECOND FLOOR DEMOLITION PLAN	A-15	4TH FLOOR REFLECTED CEILING PLAN	E-15	PARKING LOT PHOTOMETRIC PLAN
D-3	THIRD FLOOR DEMOLITION PLAN	A-16	5TH FLOOR REFLECTED CEILING PLAN	M-1	1ST FLOOR MECHANICAL PLAN
D-4	FOURTH FLOOR DEMOLITION PLAN	A-17	6TH FLOOR REFLECTED CEILING PLAN	M-2	2ND FLOOR MECHANICAL PLAN
D-5	FIFTH FLOOR DEMOLITION PLAN	A-18	STAIR TOWER PLAN & DETAILS	M-3	3RD FLOOR MECHANICAL PLAN
D-6	SIXTH FLOOR DEMOLITION PLAN	A-19	UPLIFT CONNECTIONS - NOT USED	M-4	4TH FLOOR MECHANICAL PLAN
D-7	ROOF DEMOLITION PLAN	A-20	FIRE SPECIFICATIONS	M-5	5TH FLOOR MECHANICAL PLAN
D-8	ELEVATIONS DEMOLITION	A-21	ARCHITECTURAL NOTES & DETAILS	M-6	6TH FLOOR MECHANICAL PLAN
D-9	PARKING LOT DEMOLITION PLAN	H-1	HANDICAP NOTES AND DETAILS	M-7	ROOF MECHANICAL PLAN
S-1	1ST FLOOR STRUCTURAL PLAN	H-2	HANDICAP NOTES AND DETAILS	M-8	HVAC RISER DIAGRAMS
S-2	2ND FLOOR STRUCTURAL PLAN	E1 P	1ST FLOOR POWER PLAN	P-1	1ST FLOOR PLUMBING PLAN
S-3	PORTE COCHERE PLAN & DETAILS	E2 P	2ND FLOOR POWER PLAN	P-2	2ND FLOOR PLUMBING PLAN
S-4	STAIR TOWER FRAMING PLAN	E3 P	3RD FLOOR POWER PLAN	P-3	3RD FLOOR PLUMBING PLAN
S-5	ROOF RENOVATION PLAN	E4 P	4TH FLOOR POWER PLAN	P-4	4TH FLOOR PLUMBING PLAN
S-6	CHILLER DECK & PAD DETAILS	E5 P	5TH FLOOR POWER PLAN	P-5	5TH FLOOR PLUMBING PLAN
S-7	PIILING & FOUNDATION PLAN	E6 P	6TH FLOOR POWER PLAN	P-6	6TH FLOOR PLUMBING PLAN
S-8	WEST STAIR TOWER SECTION	E7 P	ROOF POWER PLAN	P-7	ROOF PLUMBING PLAN
A-1	FIRST FLOOR RENOVATE PLAN	E1 L	1ST FLOOR LIGHTING PLAN	P-8	PLUMBING RISER DIAGRAMS
A-2	SECOND FLOOR RENOVATE PLAN	E2 L	2ND FLOOR LIGHTING PLAN	P-9	PLUMBING RISER DIAGRAMS
A-3	THIRD FLOOR RENOVATE PLAN	E3 L	3RD FLOOR LIGHTING PLAN		
A-4	FOURTH FLOOR RENOVATE PLAN	E4 L	4TH FLOOR LIGHTING PLAN		
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DATE: 1-8-07  
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