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ARCHITECTURE
 ENGINEERING
 STUDIES
 PLANNING
 INVESTIGATION
 EXPERT WITNESS

**NEW OFFICE/
 WAREHOUSE**

O'BRIEN / NORTH
 SHORE FLOORING
 DISTRIBUTORS
 J.F. SMITH AVE.
 SLIDELL, LA

**SITE
 PLAN**

REV: 1-17-08
 SCALE: AS NOTED
 JOB#: _____
 DATE: 1-4-08
 SHEET

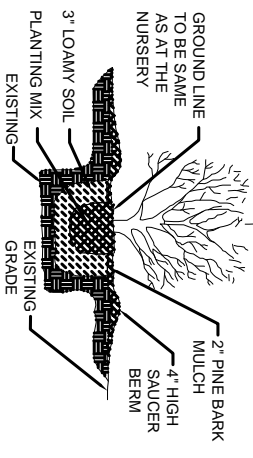
C-2

LEGEND

- PROPERTY LINE
- SETBACK
- NEW BUILDING OUTLINE
- SERVITUDE / EASEMENT
- HANDICAP PARKING
- HANDICAP PARKING SIGN
- TRAFFIC FLOW DIRECTION

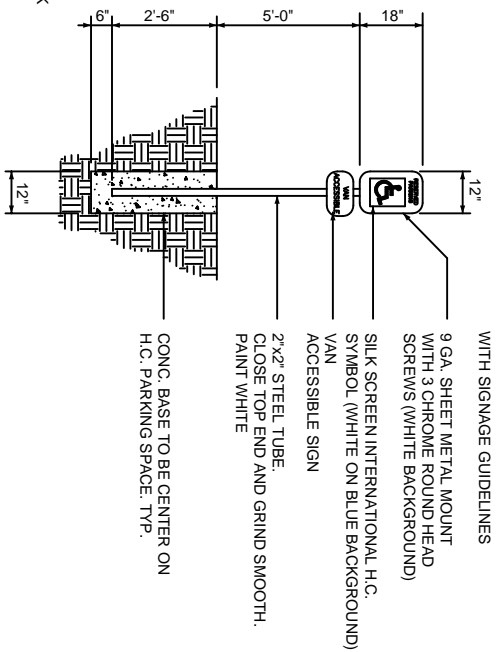
SITE LIGHTING

EXTERIOR LIGHTING SHALL BE SHADED OR INDIRECTLY DIRECTED IN SUCH A MANNER SO THAT NO DIRECT LIGHTING OR GLARE BE CAST BEYOND THE PROPERTY LINE. THE INTENSITY OF SUCH LIGHTING SHALL NOT EXCEED ONE FOOT CANDLE AS MEASURED AT THE ABUTTING PROPERTY LINE.



SHRUB DETAIL

NOTE:
 SIGNAGE SHALL COMPLY WITH SIGNAGE GUIDELINES



HANDICAP PARKING SIGN

N. T. S.

LANDSCAPE LEGEND

- CLASS A TREE ONE FOR EVERY 30 LINEAR FEET OF ROAD FRONTAGE. REAR, SIDE AREAS AND PARKING ISLANDS.
- CLASS B TREE ONE FOR EVERY 30 LINEAR FEET OF ROAD FRONTAGE. REAR, SIDE AREAS AND PARKING ISLANDS.
- ONE SHRUB PER 30 LINEAR FEET OF ROAD FRONTAGE. CONTINUOUS SHRUBS 2'-6" MAX ON CENTER FOR PARKING ADJACENT TO STREET PLANTING AND 1 SHRUB FOR EVERY 20 SQ. FT. IN PEDESTRIAN PLANTING AREAS
- GROUND COVER IN ALL AREAS OF PLANTING

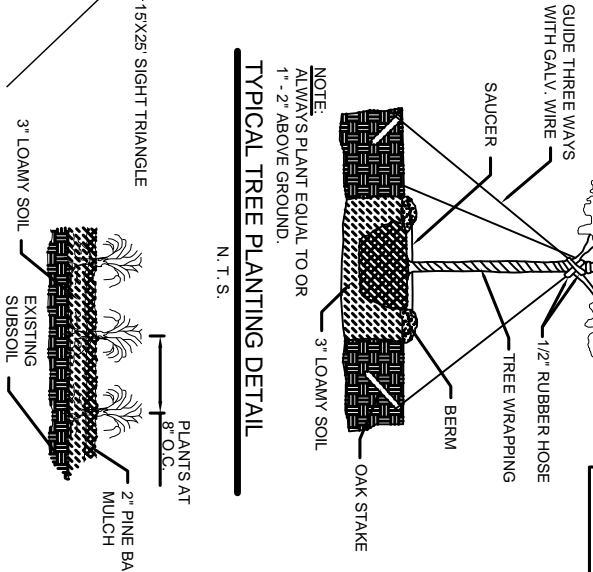
PARKING REQUIREMENTS

GROSS BUILDING SQUARE FEET 15,244
 OFFICE AREA ONE SPACE PER 300 SQ. FT.
 OFFICE AREA 3,501 SQ. FT. = 12 SPACES
 WAREHOUSE ONE SPACE PER 1,000 SQ. FT.
 WAREHOUSE 11,743 SQ. FT. = 11 SPACES
 TOTAL SPACES REQUIRED = 23 SPACES INCLUDING 1 HANDICAP
 TOTAL SPACES PROVIDED = 23 SPACES INCLUDING 1 HANDICAP

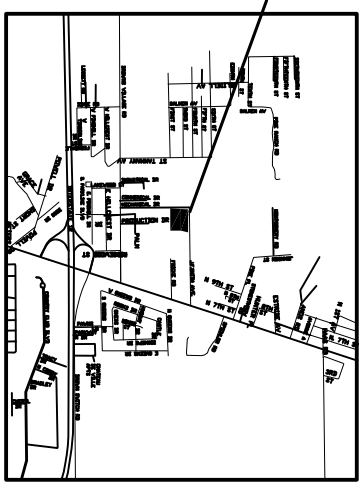
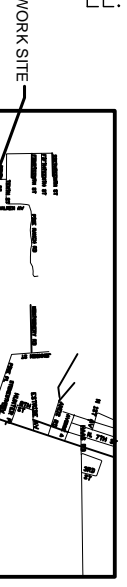
ZONED M-1

LEGAL DESCRIPTION
 LOT 23, JOHNNY F. SMITH MEMORIAL BUSINESS PARK SECTIONS 27, T-8-S, R-14-E, ST. TAMMANY PARISH, LA.

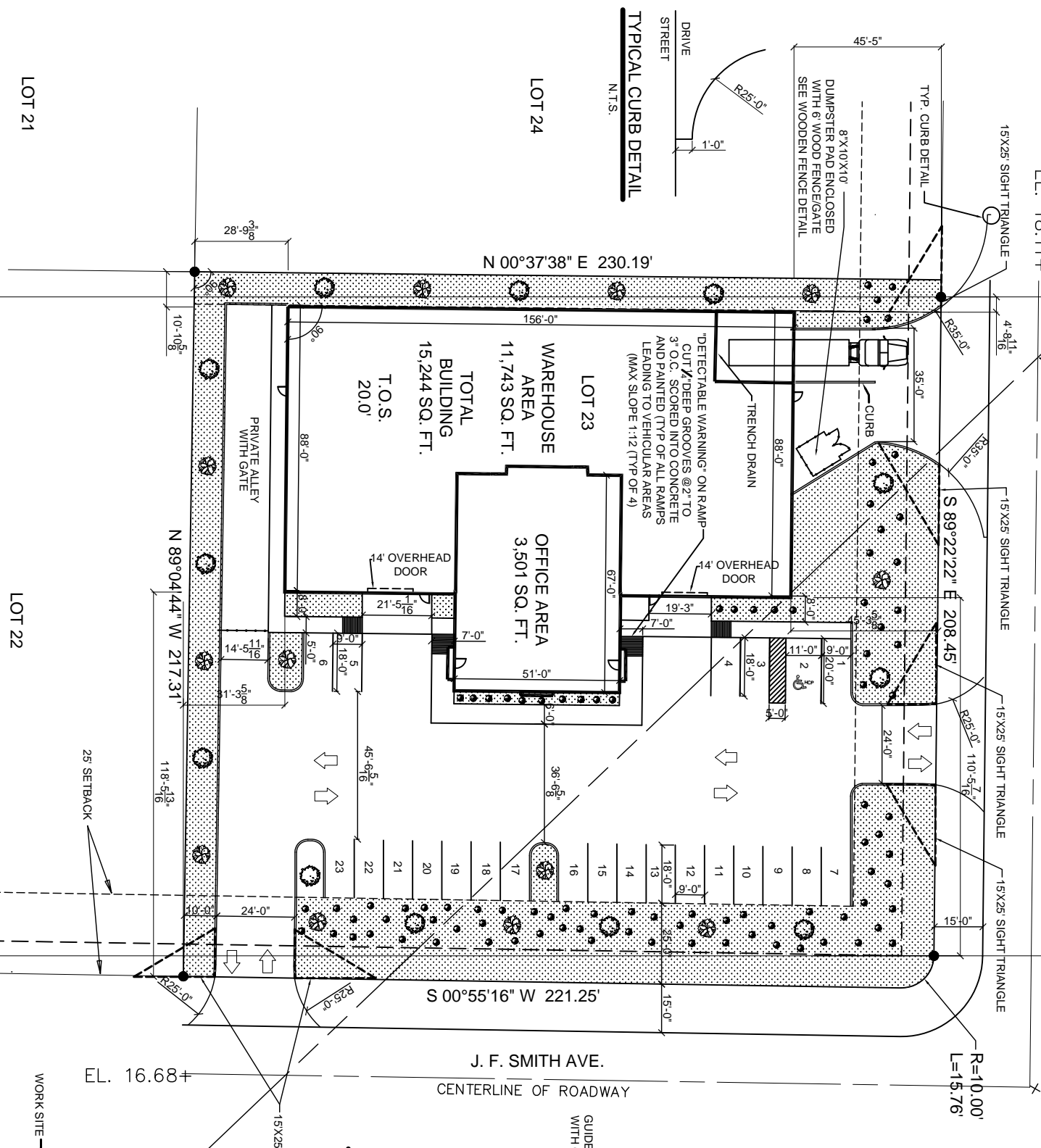
TYPICAL TREE PLANTING DETAIL



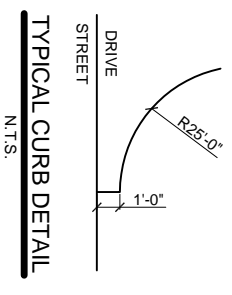
GROUND COVER DETAIL



APPROXIMATE LOCATION OF THE FLOOD ZONE LINE
 FLOOD ZONE C
 FLOOD ZONE A1
 MECHANICAL DR.
 EL. 18.11+
 EL. 18.21



TYPICAL CURB DETAIL



SITE PLAN

SCALE: 1"=20'-0"

