

**BABIN SUBDIVISION
JEFFERSON PARISH, LOUISIANA**

SANITARY SEWER NOTES

(1) REFER TO JEFFERSON PARISH SEWER STANDARD SHEET FOR DETAILS. REFER TO JEFFERSON PARISH GRAVITY SANITARY SEWER SYSTEM GENERAL STANDARD NOTES ORIGINATED DECEMBER 2002, REVISED 04/01/2012 AND AVAILABLE AT <http://www.jeffparish.net/modules/showdocument.aspx?documentid=1063>

(2) TRENCH CONSTRUCTION FOR THE GRAVITY SANITARY SEWER LINES SHALL BE DETERMINED BY THE EXISTING SOIL TYPE AND THE DEPTH OF INSTALLATION. REFER TO JEFFERSON PARISH SEWER STANDARD DETAIL SHEET (LATEST REVISION, 7-27-00), USE SOIL TYPE 13.

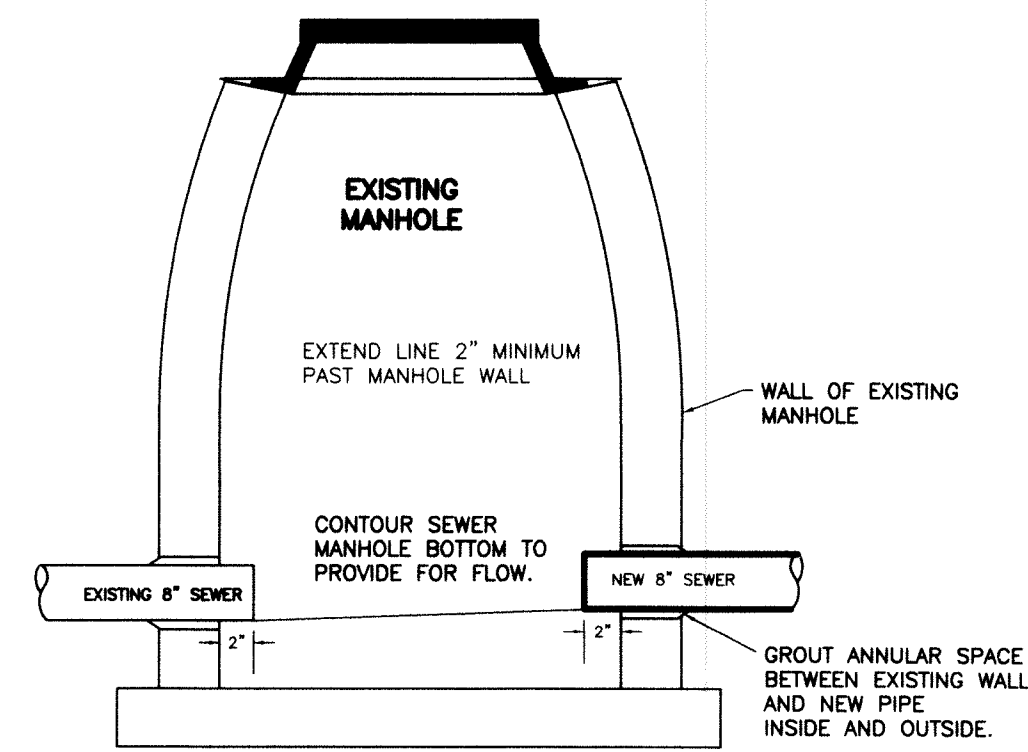
TRAFFIC CONTROLS

1. ANY WORK IN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR NOTIFICATION TO THE JEFFERSON PARISH TRAFFIC ENGINEERING DIVISION AND CONFORMITY TO THE REQUIREMENTS OF THE UNIFORM MANUAL ON TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL NECESSARY TRAFFIC SIGNALS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY. PHONE 736-6530
2. THE CONTRACTOR MUST MAINTAIN AT LEAST ONE LANE OF TRAFFIC AT ALL TIMES AND THE HOURS OF OPERATION SHALL BE LIMITED FROM 9:00 AM TO 3:00 PM.

WATER NOTES:

WATER LINES TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF JEFFERSON PARISH DEPARTMENT OF WATER.

WATER LINES TO BE C900.



SEWER MANHOLE TIE-IN DETAIL
EXISTING MANHOLE

GENERAL NOTES FOR TIE-IN TO EXISTING STRUCTURES:
FOR CONCRETE STRUCTURES, CORE-DRILL THE REQUIRED OPENING OR DRILL HOLES AROUND THE PERIMETER OF THE REQUIRED OPENING UNTIL THE SECTION CAN BE TAKEN OUT WITHOUT DAMAGE TO THE STRUCTURE. FOR LARGE STRUCTURES, SAW-CUTTING MAY BE REQUIRED. FOR ANY METHOD, ALLOW ADEQUATE SPACING FOR PLACING NON-SHRINK GROUT. ANY REINFORCEMENT LEFT IN-PLACE SHALL BE INCORPORATED IN THE PATCH WORK.
FOR BRICK STRUCTURES, CHISEL OR DRILL OUT THE OPENING AND INSERT PIPE. REPLACE GAPS AND CRACKS WITH NEW BRICK AND MORTAR AND PLACE NON-SHRINK GROUT BETWEEN THE PIPE AND THE WALL. GROUT SHALL BE PLACED A MINIMUM OF 1/2" THICK IN THE INSIDE AND OUTSIDE WALLS OF THE STRUCTURES AROUND THE OPENING TO COVER THE BRICK SURFACES.
PROPOSED PLASTIC PIPE FOR THE SEWER TIE-IN SHALL BE COATED WITH AN APPROVED EPOXY AND ROLLED IN MORTAR SAND TO PROVIDE A BONDING SURFACE BETWEEN THE OUTER PIPE WALL AND THE PATCH MATERIAL. CONTRACTOR HAS THE OPTION OF PURCHASING PIPE STUBS WITH PREPARED SURFACES FROM SUPPLIERS.

LEGEND

- DRAIN MANHOLE
- CATCH BASIN
- AREA DRAIN
- DRAIN CLEANOUT
- SEWER MANHOLE
- SEWER CLEANOUT
- WATER MANHOLE
- WATER VALVE
- FIRE HYDRANT
- WATER METER
- POWER POLE
- LIGHT POLE
- TREE
- GAS VALVE
- GAS LINE
- POWERLINE
- BURIED TELEPHONE LINE
- SEWER LINE
- WATER LINE

ALL ELEVATIONS ARE IN FEET NAVD88(2004.65)

TBM #1: 60d NAIL SET IN POWER POLE ON NORTH SIDE OF HECTOR AVENUE CROSS FROM LOT 4-A
ELEV. = 0.14 NAVD88(2004.65)

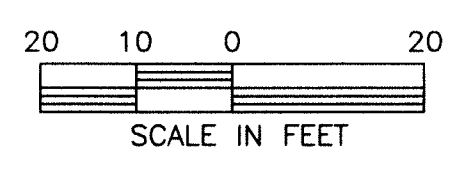
TBM #2: RED DOT PAINTED IN CENTER OF STREET IN FRONT OF LOT.
ELEV. = 0.23 NAVD88(2004.65)

THIS PROPERTY IS LOCATED IN FIA FLOOD ZONE X
COMMUNITY NO. 225199, PANEL NO. 0145E, DATED MARCH 23, 1995.
REFERENCE BENCH MARK Q-368, ELEV. = 2.3 NAVD88(2004.65)

REFERENCE SURVEY BY DUFRENE SURVEYING & ENGINEERING
DATED APRIL 20, 2004

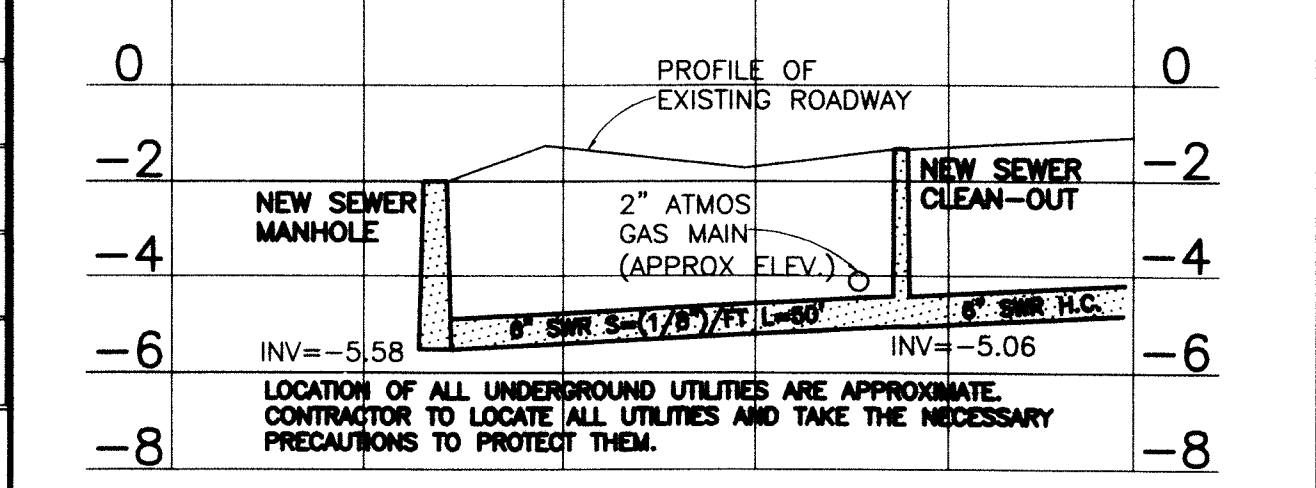
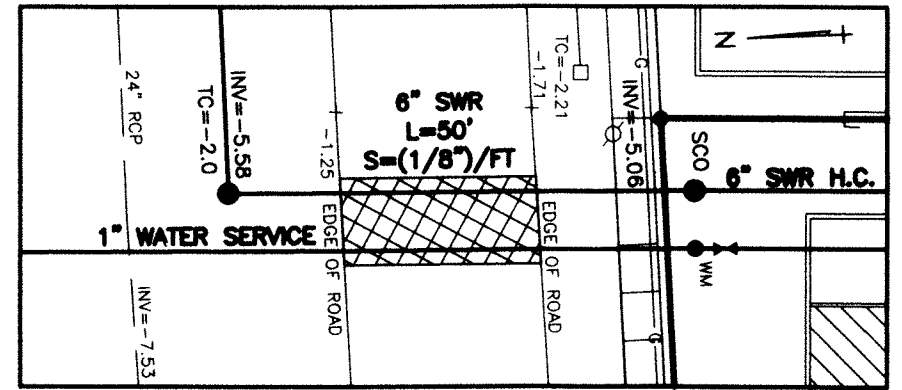
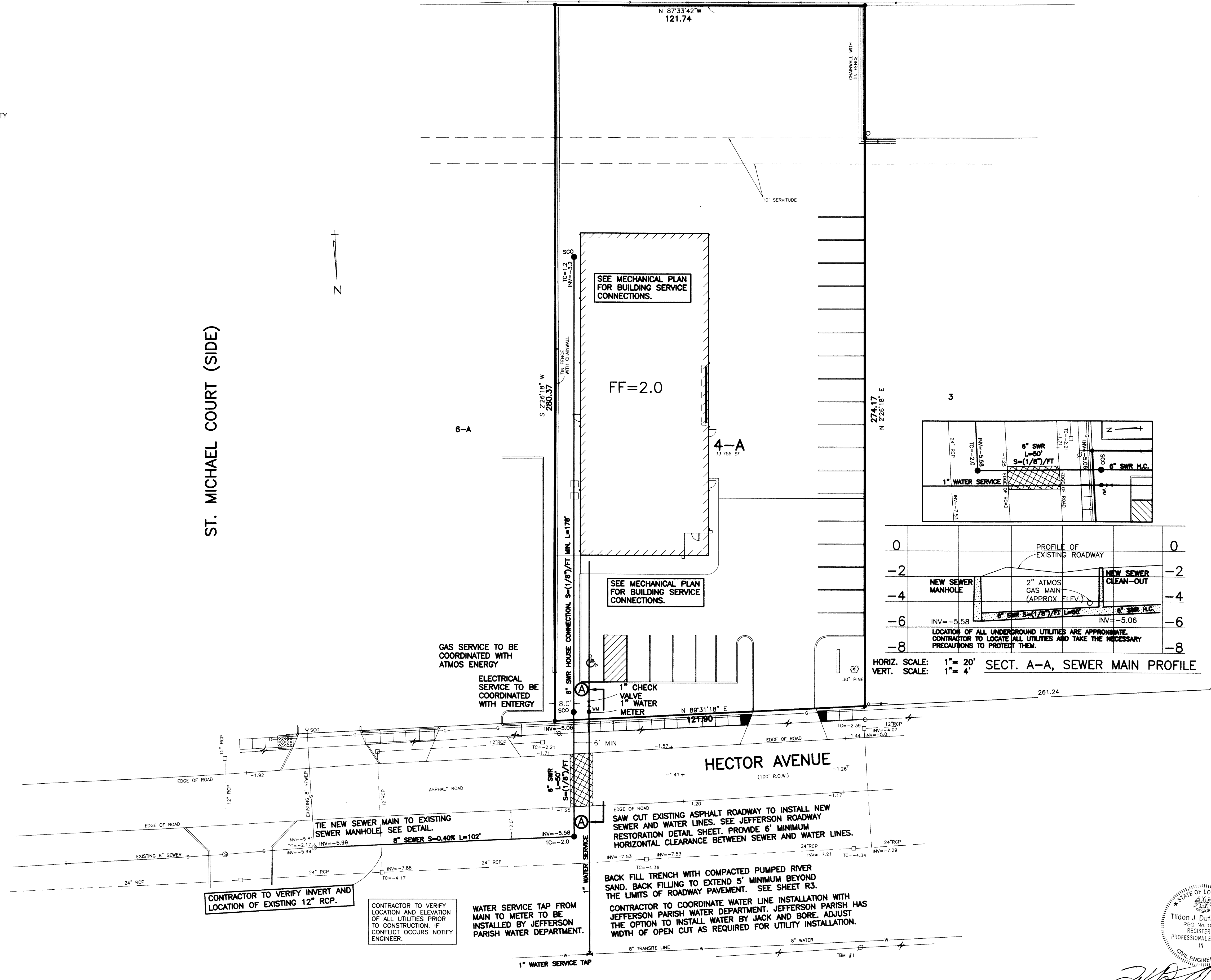
BEARINGS ARE BASED ON RESUBDIVISION PLAN FOR LOT 12-9 ON THE NORTH SIDE OF HECTOR AVENUE BY J.J. KREBS DATED JANUARY 25, 1982.

THE SPECIFICATIONS AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SPECIFICATIONS AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.

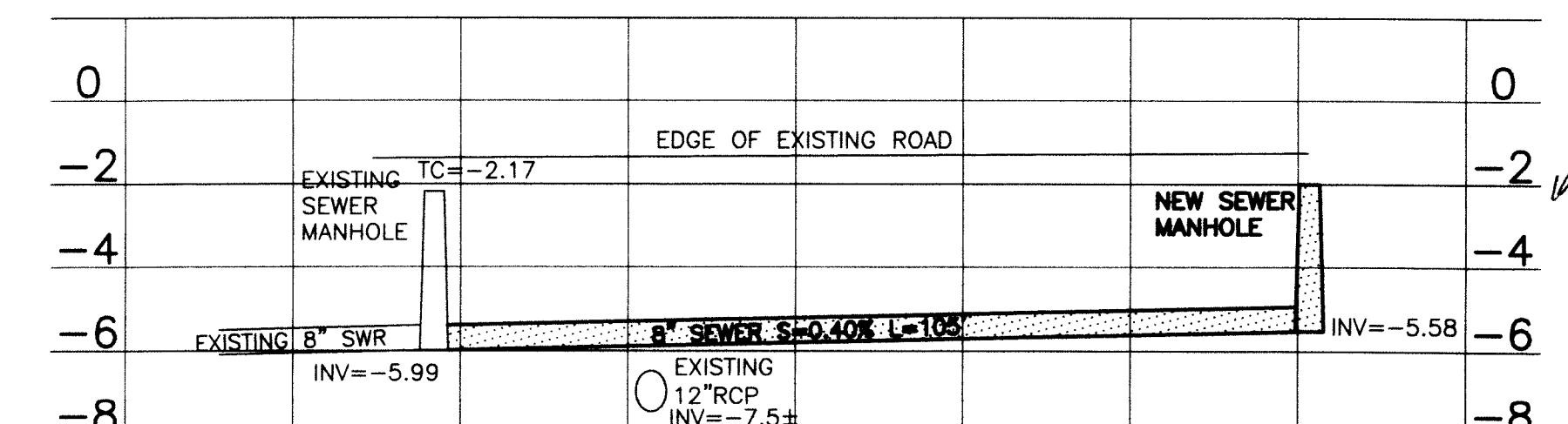


ST. MICHAEL COURT (SIDE)

WHITNEY AVENUE
(100' R.O.W.)



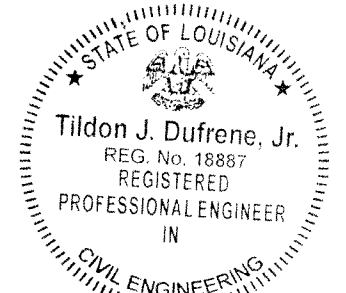
SECT. A-A, SEWER MAIN PROFILE
HORIZ. SCALE: 1" = 20'
VERT. SCALE: 1" = 4'



SEWER MAIN PROFILE - HECTOR AVENUE
HORIZ. SCALE: 1" = 20'
VERT. SCALE: 1" = 4'

APPROVED:
Mark R. Drewes
MARK R. DREWES, P.E., DIRECTOR
JEFFERSON PARISH DEPT. OF ENGINEERING

1. APPROVAL OF THESE PLANS BY THE DIRECTOR OF ENGINEERING IS VALID FOR SIXTY (60) MONTHS AFTER DATE OF SIGNATURE. IF CONSTRUCTION HAS NOT STARTED WITHIN THIS PERIOD, IT WILL BE NECESSARY TO RESUBMIT THESE PLANS TO THE DEPARTMENT OF ENGINEERING TO BE RE-EVALUATED AND APPROVED.
2. RESUBMIT THESE PLANS TO THE DEPARTMENT OF ENGINEERING WITH APPROVAL OF THE DIRECTOR OF ENGINEERING. THE DIRECTOR'S APPROVAL WILL BE VOIDED, REQUIRING THE PLAN TO BE RESUBMITTED FOR REVIEW AND APPROVAL, ONCE AGAIN.
3. IF FACILITIES ARE NOT INSTALLED IN ACCORDANCE WITH THE PLAN, THE DIRECTOR'S APPROVAL WILL BE VOIDED, REQUIRING THE PLAN TO BE RESUBMITTED FOR REVIEW AND APPROVAL, ONCE AGAIN.
4. APPROVAL OF THIS PLAN IS BASED ON THE UNDERSTANDING THAT ALL SERVICES SHOWN, EITHER HAVE BEEN RECORDED OR WILL BE RECORDED PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THIS UNDERSTANDING WILL VOID THE DIRECTOR'S APPROVAL AND REQUIRE THE REVISED PLAN TO BE RESUBMITTED FOR REVIEW AND APPROVAL, ONCE AGAIN.
5. ALL OR PART OF THIS PROJECT MAY BE IN VIOLATION OF THIS PROJECT BY THE PARISH OF JEFFERSON GRANTS NO PROPERTY RIGHTS AND DOES NOT ELIMINATE THE NEED TO OBTAIN APPROVALS FROM STATE AND FEDERAL AGENCIES PRIOR TO BEGINNING THE PROJECT.



BABIN SUBDIVISION
128 HECTOR AVENUE
JEFFERSON PARISH, LA.
UTILITY PLAN

DUFRENE SURVEYING & ENGINEERING INC.

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