

U.S. HWY 190

210.0'

80.0'

533'

52.9'

53.3'

30'	30'	30'	30'	30'	30'	30'	30'	30'
133	132	131	130	129	128	127	126	
LEE P. DUPONT								
30'	30'	30'	30'	30'	30'	30'	30'	30'
30'	125	120.0'		124	120.0'		30'	
	123			122				
	121			120				
	119			118				
	117			116				
	115			114				
	113			112				
	111			110				
	109			108				
	107			106				
	105			104				
	103			102				
30'	101	120.0'		100	120.0'		30'	

WILKINSON STREET

RAYMOND STREET

LAFAYETTE STREET

50.0'

MONTGOMERY ST

PLAT OF LAND BELONGING TO

LEE P. DUPONT

LOCATION LOTS 127 THRU 133 SQ 40 MANDEVILLE, LA.

SURVEY REQUESTED BY TUTTLE

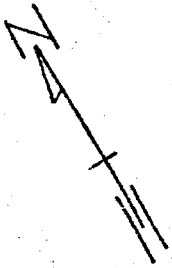
SURVEY BY E.J. CHAMPAGNE SURVEYOR

MAP BY F.H.M.

SCALE 1" = 100'

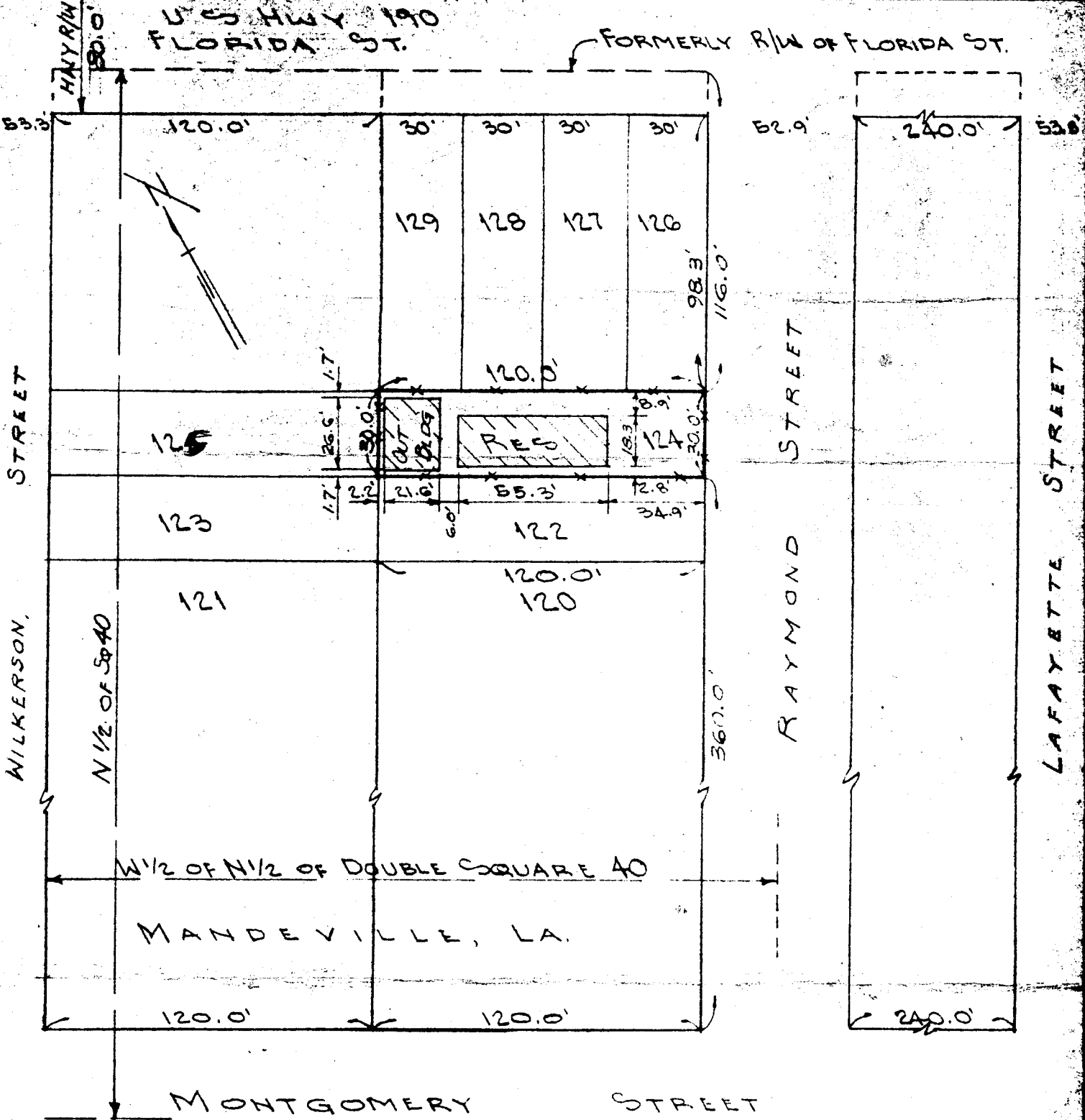
[Signature]
SEPT 1, 1956

DWG No 1255



U.S. HWY 190
FLORIDA ST.

FORMERLY R/W OF FLORIDA ST.



I CERTIFY THAT LOT 126 S340 IS A PART OF THE
PROPERTY DESCRIBED IN COB 26 FOLIO 4.

Eddie Champy, C



PLAT OF LAND SURVEYED FOR

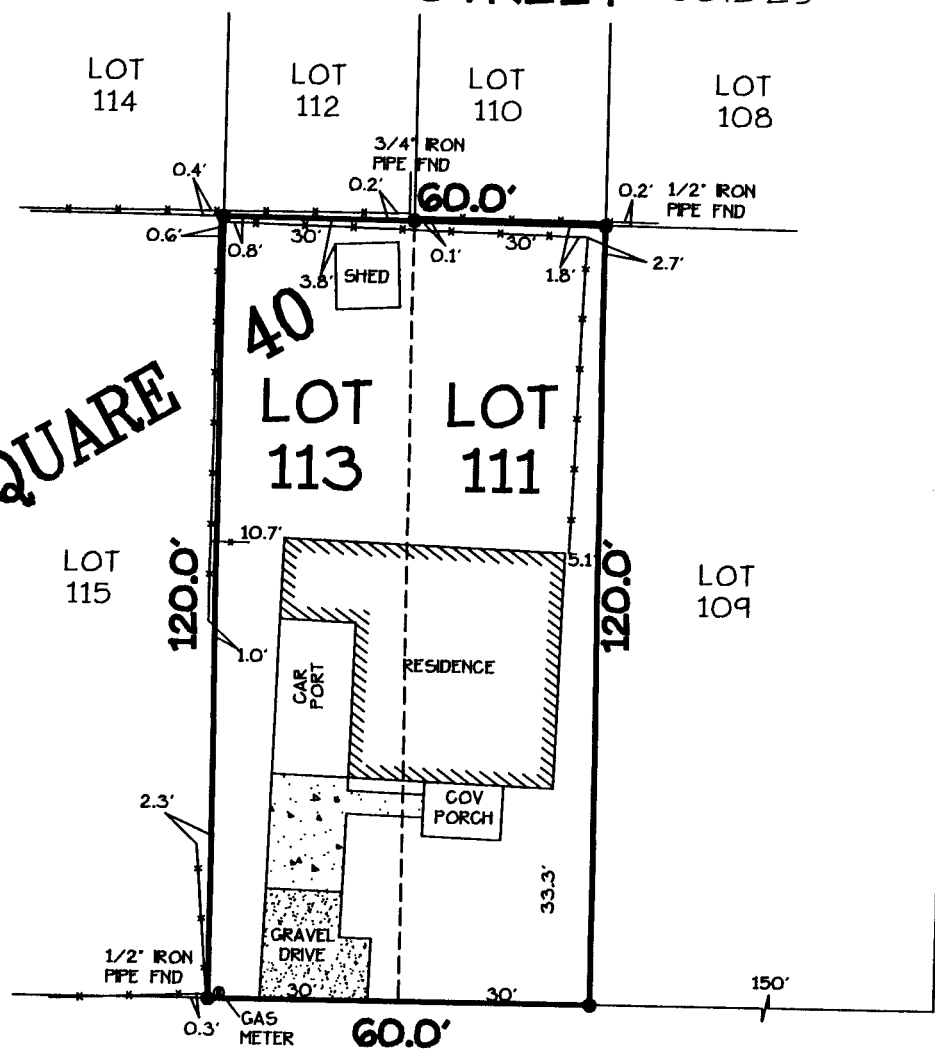
SURVEY BY EDDIE CHAMPY, SURVEYOR, AUG 18, 1972
SCALE 1" = 50' DWG NO 3401

RAYMOND STREET (SIDE)

LA. HWY. NO. 190 (SIDE)

MONTGOMERY STREET R/W

SQUARE 40



825 WILKERSON STREET

REF.: Plat by Eddie J. Champagne
Dated: 7-30-64, Dwg. No. 2031

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS located in a special flood hazard area. It is located in Flood Zone "A10"

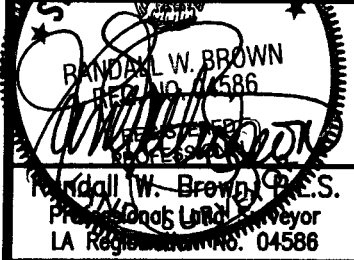
FIRM Panel# 220202 0002 C Rev. 4-4-83

● DENOTES 1/2" IRON PIPE SET UNLESS OTHERWISE NOTED

Survey of
LOTS 111 & 113, SQUARE 40, TOWN OF MANDEVILLE
CITY OF MANDEVILLE
ST. TAMMANY PARISH, LOUISIANA
 FOR
DE LE MAR CORPORATION

THE SEPARABLE AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DEEDS WHICH WE HAVE BEEN PROVIDED AND THERE IS NO REPRESENTATION THAT ALL ASSUMED SEPARABLES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE A REASONABLE SEARCH OF PUBLIC RECORDS IN COMPILING THE DATA FOR THIS SURVEY

SURVEYED IN ACCORDANCE WITH THE LOUISIANA "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" FOR A CLASS C SURVEY.



Randall W. Brown & Associates, Inc.
 Professional Land Surveyors
 Planners • Consultants
 228 W. Causeway App. Mandeville, LA 70448
 (985) 624-5368 FAX (985) 624-5309

Date: JUNE 24, 2004
 Survey No. 04609
 Project No. B04609
 Scale: 1"=30'±
 Drawn By: dcw
 Revised:

NOTE:

1) PROPOSED DRAINAGE FLOW MAY BE AFFECTED BY OBSTRUCTIONS SUCH AS TREES, FENCES, ETC. BUILDER OR OWNER SHALL BE RESPONSIBLE FOR ASSURING NO ADDITIONAL RUNOFF IS PLACED UPON AN ADJACENT LOT.

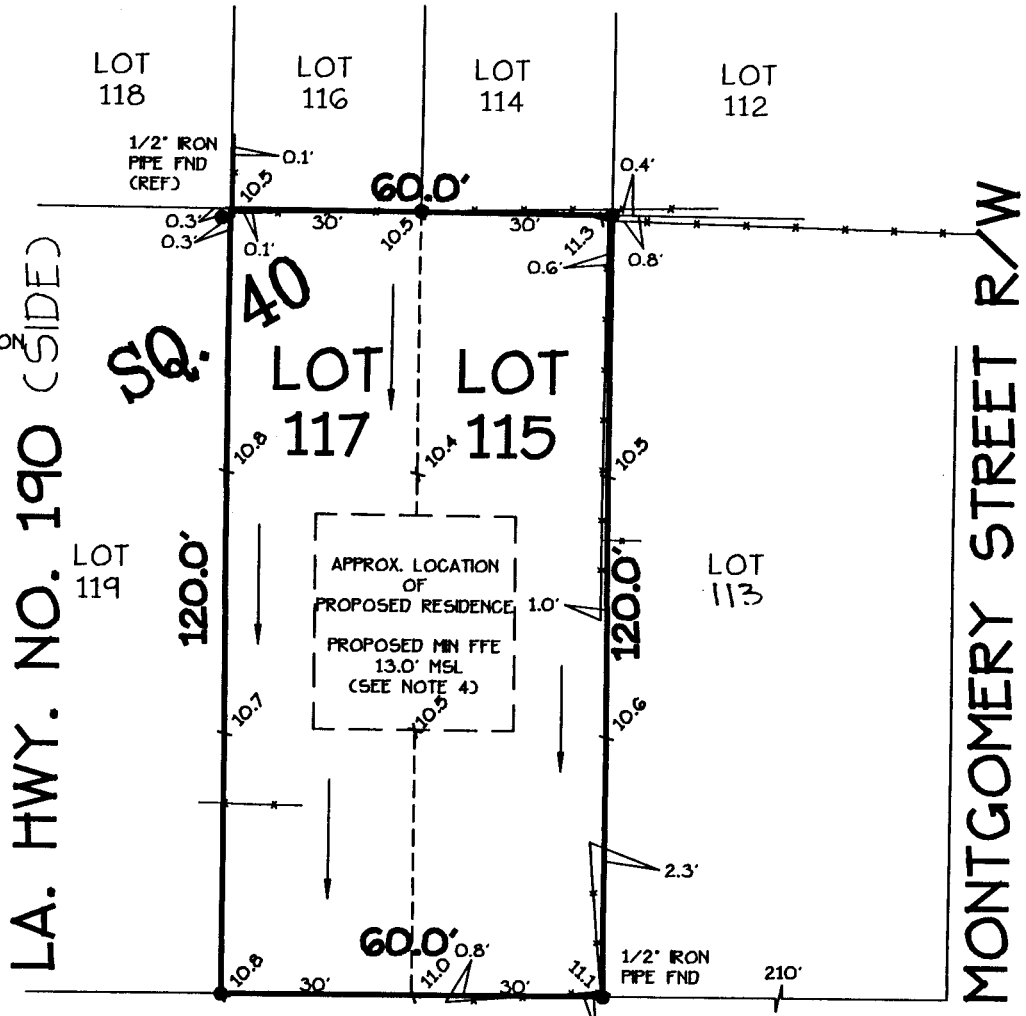
2) PROPOSED DRAINAGE SHALL CONFORM TO MEET ALL REQUIREMENTS OF THE C.L.U.R.O.

3) ELEVATIONS SHOWN HEREON WERE DETERMINED BY ACTUAL FIELD SURVEYING AND ARE CORRECT AS OF THE DATE ISSUED. ALL OF THESE ELEVATIONS ARE SUBJECT TO CHANGE OVER A PERIOD OF TIME.

4) THE MINIMUM ELEVATION SHOWN FOR THE PROPOSED RESIDENCE REFLECTS AN ADDITIONAL 12" ABOVE THE PUBLISHED BASE FLOOD ELEVATION WHICH IS REQUIRED BY THE CITY OF MANDEVILLE PER AMENDMENT #15 TO ORDINANCE NO. 92-14, AUG. 31, 2000.

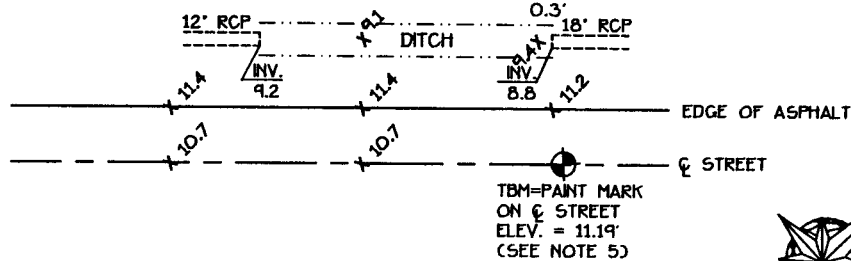
5) TBM SHOWN IS REFERENCE ONLY AND NOT NECESSARILY THE BASE FLOOD ELEVATION OWNER RESPONSIBLE FOR OBTAINING TRUE B.F.E. FROM LOCAL GOVERNMENT AGENCY.

RAYMOND STREET (SIDE)



LEGEND

- x 10.5 DENOTES EXISTING ELEVATIONS
- DENOTES FLOW
- DENOTES 1/2" IRON PIPE SET UNLESS OTHERWISE NOTED

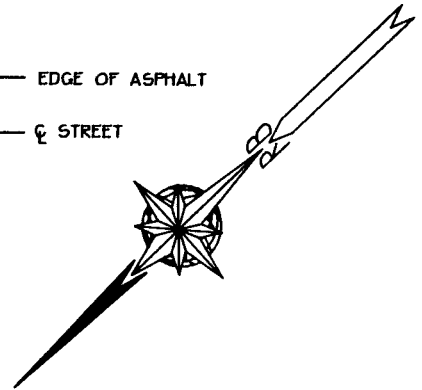


WILKERSON STREET

REF.: Plat by Eddie J. Champagne
Dated: 7-30-84, Dwg. No. 2031

Note: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described IS located in a special flood hazard area. It is located in Flood Zone "A10"

FIRM Panel# 220202 0002 C Rev. 4-4-83



Proposed Drainage Plan of
LOTS 115 & 117, SQUARE 40, TOWN OF MANDEVILLE
CITY OF MANDEVILLE
ST. TAMMANY PARISH, LOUISIANA
FOR
DE LE MAR CORPORATION

THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY

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Date: JUNE 24, 2004
Survey No. 04610
Project No. B04609

Scale: 1"=30'±
Drawn By: dcw
Revised:

