

Acutec Home Inspectors
Acutec Home Inspectors
Slidell, La 70459



628 Poupee Lane
Slidell, La 70460

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Acutec Home Inspectors

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Definitions

NOTE: All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

Acceptable	Functional with no obvious signs of defect.
Not Present	Item not present or not found.
Not Inspected	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
Marginal	Item is not fully functional and requires repair or servicing.
Defective	Item needs immediate repair or replacement. It is unable to perform its intended function.

General Information

Property Information

Client Name Gil Hawk
Property Address 628 Poupee Lane
City Slidell **State** La. **Zip** 70460

Client Information

Inspection Company

Inspector Name Shawn Gregg
Company Name Acutec Home Inspectors
Address Acutec Home Inspectors
City Slidell **State** La **Zip** 70459
Phone 985-290-8993
E-Mail Shawn@AcutecLLC.com
Report Name Hawk042215
Payment Amount: 365.00
Payment Method: Check

Conditions

Others Present Home Owner **Property Occupied** Occupied
Estimated Age 18 **Entrance Faces** East
Inspection Date 04/22/2015
Start Time 9:00 **End Time** 1:15
Electric On Yes
Gas On Not Applicable
Water On Yes
Temperature 70
Weather Sunny **Soil Conditions** Damp
Building Type Single family **Garage** Attached
Sewage Disposal Septic **How Verified** visual

General Information (Continued)

Water Source Public **How Verified** visual

Excluded: Septic System Shed /Outbuilding As agreed prior to inspection, this inspection is to document the overall condition of the home and it's components for the homeowner presently residing in house. Some outlets, switches, fixtures, appliance and components were not evaluated.

Excluded: Many -wall, floor and/or ceiling surfaces were obscured by large amounts of furniture and/or stored items. Many areas couldn't be evaluated.

Some areas were not accessible with personal property throughout. A further evaluation should be made after occupant moves all items from building.

Other concern: This home inspection does not include an evaluation or determination of termites, other insects or past/ present damage associated with.

Property Grounds

1. **Driveway: Concrete:**
2. **Walkways: Pavestones / Brick:**
3. Marginal **High soil:** High soil to foundation. The soil should be pulled away from the structure to prevent insect and moisture damage.

Some areas of foundation were not visible and could not be evaluated.



4. **Trees:** Trees growing close to structure can cause damage to roof, siding and other components. Regular pruning required.

Some trees may cause damage and injury during high winds or heavy rain. These trees may require attention at some point, I recommend having a professional evaluate the property to see if steps should be taken to prevent damage or injury.



Property Grounds (Continued)

Exterior

1. **Foundation type: Cement: Blocks:**

2. **Siding type: Brick: Stucco:**

3. **Foundation:** One or more areas around the foundation appear to have been repaired or modified as new concrete patches are visible. The cause or purpose was not determined during the inspection.

4. **Siding:** Some of the structure has synthetic stucco. This type of siding can become damaged easily by moisture and insects. If moisture gets into or behind the siding considerable damage can occur to wall structure. If areas of stucco have cracks or exposed foam/ backing, a professional stucco expert should evaluate and make necessary repairs to avoid further damage.



5. Marginal **Brick Veneer:** Alterations or repairs noted in brick siding. Appears functional.

Repairs on brickwork may indicate past or present problems with the structure or foundation. It is recommended that the buyer ask about any past or present problems and details of the repairs. Some repairs may have a warranty or the need for ongoing evaluation.



6. Marginal **Trim:** Soft wood noted at one or more areas. Repairs have been made, monitor for necessary improvements.



7. Marginal **Exterior Electric Outlets:** Non-GFCI protected outlets noted. All exterior outlets should be protected for safety purposes.



8. Marginal **Steps:** Missing handrails. Any steps with more than two risers should have handrails for safety purposes.

Exterior (Continued)

Steps: (continued)



Roof

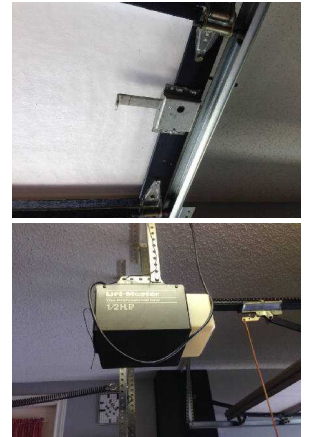
Roof Surface

1. **Method of Inspection:** From ladder at eaves.
2. **Unable to Inspect:** Some areas were too high, steep or wet to traverse. Some areas were not visible and not inspected for that reason.
3. Acceptable **Material:** Asphalt shingle
4. **Type:** Gable
5. **Approximate Age:** 8-10

Garage/Carport

Garage

1. **Type of Structure:** Attached **Car Spaces:** 2
2. Acceptable **Garage Doors:** Metal
3. Acceptable **Door Operation:** Motorized, Manual-- Manuel locks should be removed from garage doors that have automatic openers. Damage or injury can occurred if the remote is used to open the door while locked.
4. Acceptable **Door Opener:** Lift Master-- Modern garage door openers are equipped with a pressure safety reverse sensor that stops the door if it is closing and comes down on top of someone or something. Pressure safety reverse switches are not tested during a home inspection as damage or injury could result, but should be tested by client to ensure they work properly. If the sensor does not reverse the door or if not equipped, the opener should be replaced with a new unit. See manufacture information to determine the best means of testing the model installed.

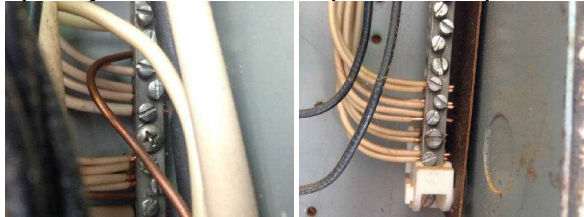


Electrical

1. **Service Size Amps:** Not determined **Volts:** 110-240 VAC

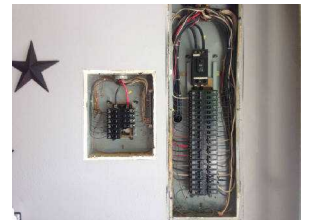
2. Acceptable **Service:** Copper

3. **120 VAC Branch Circuits:** Copper-- The neutral wires are bundled, each wire should be terminated under its own screw. Current standards for new construction specify the wires be separated to prevent fire and electrocution hazards.



4. Acceptable **240 VAC Branch Circuits:** Copper

5. Acceptable **Conductor Type:** Romex



6. Acceptable **Ground:** Not observed

Electric Panel

7. Defective **Breakers:** There are some "double tapped" breakers in the panel. This is where two wires are secured under one screw. On all but a few specific breakers, this can create a hazard and considered incorrect. This should be evaluated by a licensed electrician to determine if the breakers installed are being used appropriately.



8. Not Present **AFCI:** AFCI breakers not present as required in new structures built today. Consider adding to all circuits without GFCI for improved safety.

Structure

1. Acceptable **Structure Type:** Wood frame

2. Acceptable **Foundation:** Poured

3. Acceptable **Bearing Walls:** Wood frame

Air Conditioning /Heat

If the unit has not been serviced within the last two years, I recommend having a licensed HVAC technician service and evaluate the system for proper installation and performance.

AC System

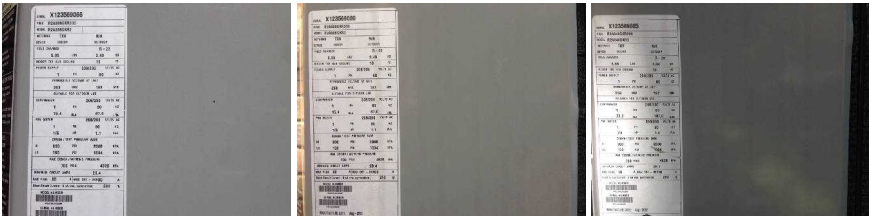
- 1. Acceptable **A/C System Operation:** Appears Functional-- It is typically recommended that the HVAC be serviced by a licensed professional to ensure proper installation and operation when purchasing a home. The units may need routine servicing, undetected repairs or installation corrections.
- 2. Defective **Condensate Removal:** Missing or torn insulation. Should be installed on first 6-8" to prevent water from dripping from pipe. (over garage room with small opening and on third level attic unit.)



- 3. Acceptable **Exterior Unit:** Raised structure



4. Manufacturer: International



- 5. **Model Number:** r2a336gkr2, r2a336gkr2, r2a348gkr2 **Serial Number:** x123569066, x123569080, x123569665
- 6. **Area Served:** Undetermined, Multiple units **Approximate Age:** 3, 3, 3
- 7. **A/C Fuel Type:** Electric **Temperature Differential:** Not measured
- 8. **Heat energy source:** Electric



- 9. **Type:** Central A/C and Heat **Capacity:** 3 Ton, 3 Ton, 4 Ton

Air Conditioning /Heat (Continued)

10. Marginal **Overflow Pan:** Pan has rust from past water. System should be serviced and evaluated by an HVAC technician.



AC System

Fireplace

Proper manufactures installation and operation of fireplaces can not be evaluated during a home inspection and should be evaluated by a professional.

All fireplaces should be serviced prior to its use.

Fireplace

1. Acceptable **Fireplace Construction:** Prefab
2. **Type:** Wood burning
3. Defective **Flue:** Metal-- Minimum clearance to combustibile materials does not appear to be sufficient. Recommend further evaluation and corrective actions taken.



Plumbing

1. Acceptable **Service Line:** Insulated
2. Acceptable **Main Water Shutoff:** Right side of house.
3. Acceptable **Water Lines:** Copper
4. Acceptable **Drain Pipes:** PVC
5. Acceptable **Vent Pipes:** PVC

Utility Room Water Heater

6. Acceptable **Water Heater Operation:** Functional at time of inspection
7. **Manufacturer:** Whirlpool



8. **Model Number:** ee3z50rd055v **Serial Number:** 0646129347
9. **Type:** Electric **Capacity:** 50 Gal.
10. **Approximate Age:** 9 **Area Served:** Multiple units
11. Defective **TPRV and Drain Tube:** The TPR Valve drain line should never route upward. water

Plumbing (Continued)

TPRV and Drain Tube: (continued)

can collect inside causing moving parts to deteriorate. This may create a hazard when valve opens. The drain should be terminated within 6" of the floor/ ground, preferably to the exterior.

Attic over master bedroom. Water Heater

12. Acceptable **Water Heater Operation:** Functional at time of inspection

13. **Manufacturer:** Ruud



14. **Model Number:** pe52-2 c **Serial Number:** ru 0696127694

15. **Type:** Electric **Capacity:** 50 Gal.

16. **Approximate Age:** 19 **Area Served:** Undetermined, Multiple units

Bathroom

Master Bathroom

1. Defective **Electrical:** GFCI outlets are not working properly. Recommend having them evaluated by a qualified electrician.



Top Left Bathroom

2. Defective **Electrical:** GFCI outlets are not working properly. Recommend having them evaluated by a qualified electrician.



3. Marginal **Faucets/Traps:** Shower valve plates and tub spouts should have silicone at base to prevent water damage to walls.



4. Marginal **Toilets:** The toilet is loose to the floor and should be tightened and then secured with silicone to prevent movement. Wax ring may require replacing.



Kitchen

Kitchen

1. Marginal

Dishwasher: Drain line should come through cabinet wall up at the top, near bottom of countertop and drain straight down to the connection point. The hose should not sag down lower than where it connects to the sink drain or disposal. This is to prevent sink water from back flowing into the bottom of the dishwasher.



Interior Living Space

Living Space

1. Defective

Electrical: Loose switches or outlets should be tightened.



2. Marginal

Smoke Detector: Present-- All smoke detectors should be replaced every 10 years. Based on the age of the property and/or appearance of the detectors, these should be replaced.



Attic

Attic

1. **Method of Inspection:** Walked through attic portions

2. **Some areas:** Some areas were not accessible. These areas had insufficient walkways, flooring, headroom or other objects preventing full evaluation.

3. Acceptable **Roof Framing:** Rafter

4. Acceptable **Ceiling Framing:** Joist

5. Acceptable **Sheathing:** Oriented Strand Board, Plywood

6. Acceptable **Ventilation:** Gable, Soffit vents

7. Acceptable **Insulation:** Batts

8. Acceptable **Insulation Depth:** +6" varies

Final Comments

This report is the exclusive property of Acutec Home Inspectors and is intended for the sole use of the client named on the report. Use of this report by any unauthorized persons is prohibited.

This report describes the systems and components inspected by this company. Items not found in this report are considered excluded or beyond the scope of this inspection, and should not be considered inspected at this time or part of this report. Please refer to your inspection agreement and the Standards of Practice for details relating to the scope of the inspection or report.

IMPORTANT NOTICE TO THIRD PARTIES OR OTHER PURCHASERS: RECEIPT OF THIS REPORT BY ANY PURCHASERS OF THIS PROPERTY OTHER THAN THE PARTY(IES) IDENTIFIED ON THE CONTRACT PAGE IS NOT AUTHORIZED BY THE INSPECTOR. THE INSPECTOR PROHIBITS USE AND STRONGLY ADVISES AGAINST ANY RELIANCE ON THIS REPORT. WE RECOMMEND THAT YOU RETAIN A QUALIFIED PROFESSIONAL LICENSED INSPECTOR TO PROVIDE YOU WITH YOUR OWN INSPECTION AND REPORT OF THIS PROPERTY.

This inspection / report is not meant to be technically exhaustive but an analysis of the general overall condition of this property. This inspection and report is based upon observations of the conditions that existed at the time of the inspection only. This report excludes any and all components, items and conditions, which are concealed or otherwise difficult to inspect. This report does not include an inspection for past or active termite damage or infestation, contaminated (Chinese) drywall, radon gas, mold, asbestos, lead paint, or any other hazardous materials, substance or dangerous conditions on this property.

The limitation of liability for errors, omissions or judgment shall be limited to the cost of the service and report. This limitation shall include and apply to all bodily injury and property damages of any nature. No warranties or guarantees of any kind are given or implied with this inspection.

This Report includes a copy of the Louisiana State Board of Home Inspectors Standards of Practice and Code of Ethics. By reading or possessing this report you agree that you have read and understand the Standards of Practice and Code of Ethics and confirm that you have received copies of the documents as part of the report.

Thank you for choosing Acutec Home Inspectors for your inspection needs. I am here to serve your needs so if you have any questions, please feel free to contact me at (985) 290-8993.

Summary

Property Grounds

1. **High soil:** High soil to foundation. The soil should be pulled away from the structure to prevent insect and moisture damage.

Some areas of foundation were not visible and could not be evaluated.

Exterior

2. **Brick Veneer:** Alterations or repairs noted in brick siding. Appears functional.

Repairs on brickwork may indicate past or present problems with the structure or foundation. It is recommended that the buyer ask about any past or present problems and details of the repairs. Some repairs may have a warranty or the need for ongoing evaluation.

3. **Trim:** Soft wood noted at one or more areas. Repairs have been made, monitor for necessary improvements.
4. **Exterior Electric Outlets:** Non-GFCI protected outlets noted. All exterior outlets should be protected for safety purposes.
5. **Steps:** Missing handrails. Any steps with more than two risers should have handrails for safety purposes.

Electrical

6. **Electric Panel Breakers:** There are some "double tapped" breakers in the panel. This is where two wires are secured under one screw. On all but a few specific breakers, this can create a hazard and considered incorrect. This should be evaluated by a licensed electrician to determine if the breakers installed are being used appropriately.

Air Conditioning /Heat

7. **AC System Condensate Removal:** Missing or torn insulation. Should be installed on first 6-8" to prevent water from dripping from pipe. (over garage room with small opening and on third level attic unit.)
8. **AC System Overflow Pan:** Pan has rust from past water. System should be serviced and evaluated by an HVAC technician.

Fireplace

9. **Fireplace Flue:** Metal-- Minimum clearance to combustible materials does not appear to be sufficient. Recommend further evaluation and corrective actions taken.

Plumbing

10. **Utility Room Water Heater TPRV and Drain Tube:** The TPR Valve drain line should never route upward. water can collect inside causing moving parts to deteriorate. This may create a hazard when valve opens. The drain should be terminated within 6" of the floor/ ground, preferably to the exterior.

Summary (Continued)

Bathroom

11. **Master Bathroom Electrical:** GFCI outlets are not working properly. Recommend having them evaluated by a qualified electrician.
12. **Top Left Bathroom Electrical:** GFCI outlets are not working properly. Recommend having them evaluated by a qualified electrician.
13. **Top Left Bathroom Faucets/Traps:** Shower valve plates and tub spouts should have silicone at base to prevent water damage to walls.
14. **Top Left Bathroom Toilets:** The toilet is loose to the floor and should be tightened and then secured with silicone to prevent movement. Wax ring may require replacing.

Kitchen

15. **Kitchen Dishwasher:** Drain line should come through cabinet wall up at the top, near bottom of countertop and drain straight down to the connection point. The hose should not sag down lower than where it connects to the sink drain or disposal. This is to prevent sink water from back flowing into the bottom of the dishwasher.

Interior Living Space

16. **Living Space Electrical:** Loose switches or outlets should be tightened.
17. **Living Space Smoke Detector:** Present-- All smoke detectors should be replaced every 10 years. Based on the age of the property and/ or appearance of the detectors, these should be replaced.