

COMMERCIAL CHECKLIST

This checklist is merely a preliminary review of the proposed site plan received by our office. Please understand that our review is limited and shall not constitute approval development or specific plan layout until all components of this checklist are approved by the Planning Department. **Items that are highlighted are items that need to be corrected.**

FILE NAME: E.C.O. Elwin Orydone
APPLICANT: Dammon Engineering (Chuck Dammon)
DEVELOPMENT
LOCATION: __ Gause Boulevard West
DATE: April 5, 2007
REVIEWER: Nancy Durham
ZONING DISTRICT: C-4 Highway Commercial
PROPOSED USE: Office / Warehouse?
PREVIOUS USE
OF PROPERTY: Vacant
GROSS FLOOR AREA: 4,675 sq. ft.

- I. ZONING CONFORMANCE DETERMINATION: The proposed use of the property is permitted within its zoning district.

COMMENTS: Office / Warehouse will not work at this location. There are no trucks allowed to enter and exit the property from a residential street. This site is geared for retail. **Please submit statement in writing on letterhead that there will be no large trucks entering the site from South Audubon Street.**

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- II. BUFFER ZONE REVIEW:

A. Buffer fence – An opaque fence at least six feet in height above the highest point of ground elevation must be located on the property line between the two abutting land uses.

1. The fence must be installed prior to issuance of a building permit.
2. In situations where fill is placed on a development site, the required fence height shall be computed as follows:

Fence height = (six ft.) + (final grade of site requiring fill – grade of property to be buffered).

COMMENTS: Please show where the buffer fence is along with the height and material on landscape plan. **Fence is 6' above highest elevation according to note on C-1 – O.K. and approved.**

B. Ten foot buffer area established – A ten foot landscaped area is required between the abutting land uses. Trees must be located in the ten-foot area with a 20-25 foot on center spacing (maximum).

COMMENTS: Rear buffer area (South side) – O.K. and approved. Side buffer area (West side) – There are 8-10 trees required in this area with only 7 trees showing on the plan. Please correct and show on the landscape plan. **West Side buffer has 8 trees – O.K. and approved.**

- III. LAND CLEARING REVIEW: In order to preserve existing trees on development sites, the Zoning Ordinance requires that a land clearing permit be approved prior to receiving a building permit. **Parking areas and building sites should be located to preserve such trees.** Canopies of protected trees that overhang the property lines of the lot to be developed must be brought to our attention. The City will give consideration to the following site conditions in its review of land clearing permit applications.

Low EID
COMMENTS: **Please submit land-clearing permit application with tree survey for review and approval. If the land is already cleared, a land-clearing application will still need to be submitted stating that the land is already cleared.**

- IV. LANDSCAPE REQUIREMENTS REVIEW: The Zoning Ordinance establishes landscape requirements for commercial and multi-family developments.

- A. Perimeter Planting Area – A perimeter planting area at least ten (10) feet in width must be provided off the public right-of-way between the right-of-way and parking area or structures. Planting materials should achieve a balance between low-lying vertical and horizontal shrubbery and trees. Trees shall be placed no more than 20-25 foot on center spacing with a compliment of no less than 10 shrubs per tree.

COMMENTS: Gause Boulevard West – There are 5-6 trees required in this area with 4 trees showing on the plan. Please show on the landscape plan that this is 10' of packed landscaping. South Audubon Street – There are 8-10 trees required in this area with only 7 trees showing on the plan. Please correct and show on the landscape plan that this is 10' of packed landscaping. **Gause Boulevard West – 5 trees and 10' packed with shrubs. South Audubon Street – 8 trees and 10' packed with shrubs. O.K. and approved.**

- B. Parking Lot Planting – Parking lot interiors should be designed to provide at least one (1) tree for every twelve (12) parking spaces. Each tree should be located in a landscaped island of at least 200 sq. ft. Trees must be distributed uniformly so as to provide a canopy effect.

Fixed JMT
COMMENTS: Where are the trees by parking spaces # 8 & # 12? Please show on the landscape plan. **There is a tree missing by parking space # 9. Please show on the landscape plan.**

- C. Pedestrian Access Planting – Landscaped areas must be provided between the building faces having access and the parking lot. Four (4) sq. ft. landscaped area should be provided for every linear foot of building face. No planting area should

be less than five (5) feet wide and planting materials should achieve a balance between low-lying shrubbery and vertical trees.

COMMENTS: Please add more landscaping to this area in the front of the building and show where this area is in the rear of the building on the landscape plan and show the legend. **O.K. and approved.**

V. PARKING AND ACCESS REVIEW:

A. Demand Computation – The applicable demand computation for indicated use is calculated as follows:

Total Gross Floor Area: 4,675 sq. ft.
Required Parking Spaces: 16 spaces for retail
Handicap Parking Spaces Provided: 1

COMMENTS: Please submit an interior building layout showing the suite measurements. Office / Warehouse will not work at this location. There are no trucks allowed to enter and exit the property from a residential street. This site is geared for retail. **Office/Warehouse with no 18-wheelers allowed. 17 parking spaces provided with 1 handicap parking space. O.K. and approved.**

B. Access Analysis:

1. Off-site improvements: At the location of the proposed development, the anticipated peak demand warrants installation of off-site access improvements such as turning lanes or median cuts.

NOTE: You must use one of the following qualified traffic study firms for a letter or a study: Urban Systems (N.O.), Birk-Kleinpeter (N.O.), Neel Schaffer (B.R.), Evans-Graves Engineering (Met.), Sain Associates, Inc. (Birm., AL), Krebs, LaSalle, LeMiex Consultants, Inc. (Met.), or Kelly J. McHugh & Associates, Inc. (Mandeville).

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COMMENTS: **Please submit a traffic impact study (2 copies) or letter stating one is not required.**

2. Access point location:

- a. Access points should not be located so as to encourage difficult or hazardous vehicular movements on adjacent streets.

COMMENTS: Please widen the driveway on South Audubon Street to 24' from 22' and show on site plan. **South Audubon Street – 24' driveway – O.K. and approved.**

- b. Unless dictated by the size or configuration of a site, the centerline of access driveways should not be located closer than seventy-five (75) feet from the centerline of access driveways on or off of the

site, or, in the case of a corner parcel, closer than seventy-five (75) feet to an adjacent right-of-way line.

* COMMENTS: **Please show locations of existing driveways adjacent to and across from this property on both Gause Boulevard West and South Audubon Street.**

- c. Corner parcels which front a thoroughfare on one side and a residential street on the other side should not locate access points on the residential street.

COMMENTS: Is this office/warehouses? Are there going to be big trucks entering the rear area of the building to load and unload? Office / Warehouse will not work at this location. There are no trucks allowed to enter and exit the property from a residential street. This site is geared for retail. **Please submit statement in writing on letterhead that there will be no large trucks entering the site from South Audubon Street.**

- d. Whenever possible, access driveways should be aligned directly with access driveways on the opposite side of the street. This requirement is not applicable on streets divided by a median.

* COMMENTS: **Please show locations of existing driveways adjacent to and across from this property on both Gause Boulevard West and South Audubon Street.**

- 3. Design of access driveways:
 - a. Driveway width-commercial driveways should have a minimum width of twenty-four (24) feet.

COMMENTS: Please widen the driveway on South Audubon Street to 24' from 22' and show on site plan. **South Audubon Street – 24' driveway – O.K. and approved.**

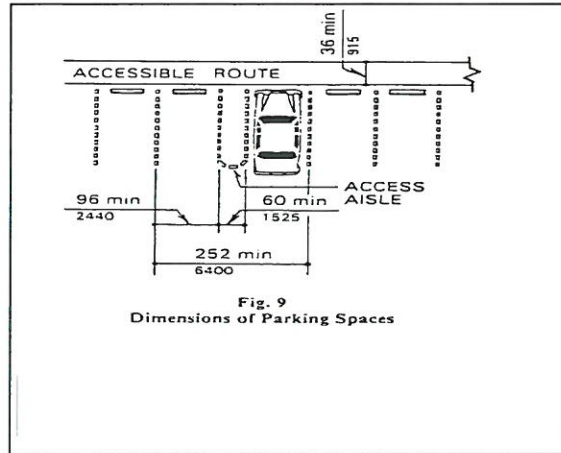
- 4. Internal traffic lanes:
 - a. Travel lane width – Travel lanes servicing 30, 45, 60 and 90 degree adjacent parking should provide travel lane widths as follows:

30 DEGREE PARKING – 11-13 FEET
45 DEGREE PARKING – 13-15 FEET
60 DEGREE PARKING – 18-20 FEET
90 DEGREE PARKING – 24-26 FEET

COMMENTS: What is the measurement from the landscaping to the baking in the front of the property? **O.K. and approved.**

- 5. Parking stall size – One automobile parking space shall be an area not less than nine (9) feet by twenty (20) feet. This stall size must be appropriately adjusted for other angular configurations. Provided that a lot is double

striped to accommodate targeted parking, an 8.5' stall is allowed for C-6 Zoning Districts. Handicap parking spaces shall be a minimum of 13' X 20' for cars and 17' X 20' for vans. A vertical sign as per ADA requirements shall mark each handicap space. Additionally, if more than one handicap space is required, and then two spaces may share a center 5' access aisle. See Diagram below as per ANSI standards.



COMMENTS: Please show measurements of front parking spaces. **9' X 20' parking space stall – O.K. and approved.**

6. Parking area surface – Parking areas should be surfaced with at least four (4) inches of concrete, four (4) inches of bituminous asphalt paving, or a pervious material such as grass crete. Shell, gravel, or limestone is not an acceptable surface material

already done

COMMENTS: **Please submit parking area surface detail or statement of pavement.**

- VI. PEDESTRIAN ACCESS: Sidewalks shall be provided within the public right-of-way adjacent to new residential and commercial development as follows:

Development Types	Minimum Width	Minimum Thickness
Single Family Detached	4 ft.	4 in.
Attached Residential	5 ft.	4 in.
Commercial	5 ft.	4 in.

Such sidewalks generally should be located one (1) foot from the property line within the right-of-way. However, when this location would cause the loss of specimen trees, the sidewalk should be designed to maintain as many trees as possible. Note: Sidewalks are not required along LA D.O.T.D. thoroughfares per the State of Louisiana.



COMMENTS: N/A along Gause Boulevard West. **Are there any sidewalks on South Audubon Street?**

VII. LOCATION OF DUMPSTERS:

- A. Section 23-16 of the City of Slidell Solid Waste Ordinance states that the location of the construction dumpsters shall not be located within 10 feet of an adjacent dwelling, blocks the sidewalk, or placed on any public street or public alley.

COMMENTS: Please show on site plan. **Dumpster Location, fence and gated – O.K. and approved.**

- B. Section 23-16 of the City of Slidell Solid Waste Ordinance states that the location of the construction dumpsters shall not be located within 10 feet of an adjacent dwelling, blocks the sidewalk, or placed on any public street or public alley.

✓ already done COMMENTS: **Please show on site plan.**

- VIII. SIGNS: All types of signage require permits. Experience has indicated that in all too many cases, signage is an afterthought. Signage should be part of the design process and considered an integral part of the site planning process. A sign review and approval will be made by the Permit Department before a permit is issued. Submit the sign packet as a separate packet for the types of signage listed below for review and approval.

Freestanding Signs (Single or Complex)
Facia Signs (Building or Wall Signs)
Directional Signs
Interstate Signs (if applicable)
Banners (Temporary Signs)

COMMENTS: **Please submit sign permit application for any new freestanding or facia signs.**

- IV. EXTERIOR LIGHTING: Section 2.19(J) in the Zoning Ordinance regulates glare. No use in any district shall be operated so as to produce direct sky-reflected glare, or direct illumination, across the adjacent property line from a visible source of illumination of such intensity as to create a nuisance, or traffic hazard, or detract from the use or employment of adjacent property. Residential lighting fixtures shall be directed or shaded to prohibit the intensity of light to exceed one-half foot-candle as measured at any adjacent residential property line. Commercial lighting fixtures shall be directed and shaded to prohibit the intensity of light to exceed one (1) foot-candle as measured at any adjacent property line.

done COMMENTS: **Please submit exterior lighting details that show number of foot-candles measured at property lines, and/or submit a letter stating that Section 2.19(J) of the City of Slidell Zoning Ordinance will not be violated.**