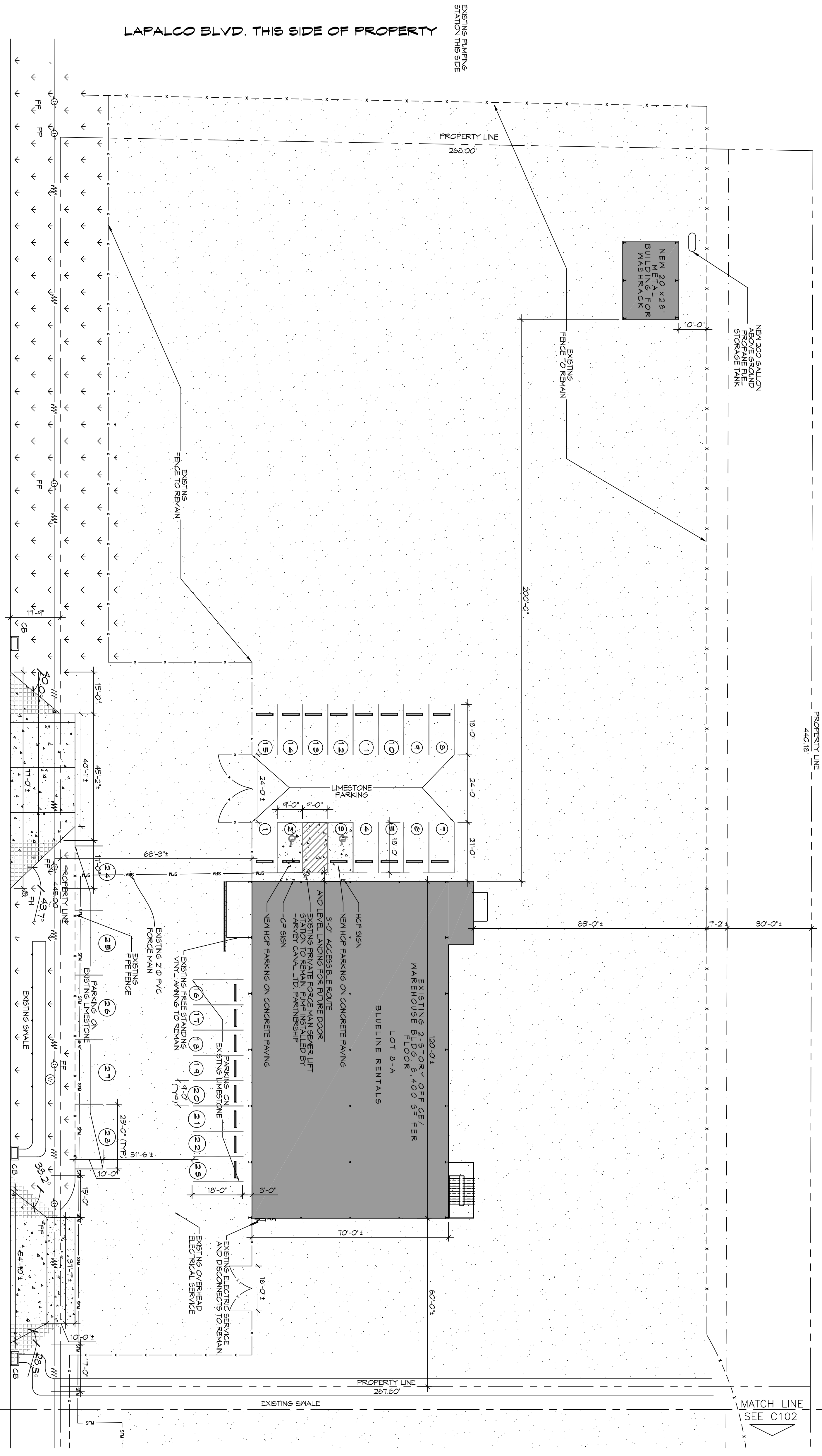


**1 SITE PLAN**  
SCALE: 1" = 20'



**DESTREHAN AVENUE**

MATCH LINE  
SEE C102

MATCH LINE  
SEE C102

PARKING SPACE CALCULATIONS		
OCCUPANCY	REQUIREMENTS	REQUIRED SPACE
OFFICE SPACE, 2ND FLOOR ± 2,000 S.F.	300 S.F. / SPACE	7
MERCANTILE, SHOWROOM	200 S.F. / SPACE	3
AUTOMOBILE REPAIR, SERVICE BAYS & EMPLOYEES PER COMPANY VEHICLES	1 SPACE / 3 EMPLOYEE	4
COMPANY VEHICLES	1 SPACE / VEHICLE	10
<b>TOTAL</b>		<b>24</b>

**GENERAL NOTES**

- THIS PLAN IS BASED ON A VISUAL INSPECTION OF THE PROPERTY AND FROM A SURVEY BY DIFFERENT SURVEYING & ENGINEERING INC DATED JUNE 28RD 1985. PLACEMENT OF THE BUILDING WITH RESPECT TO THE PROPERTY LINES IS BASED ON FIELD OBSERVATIONS. AIE CANNOT BE RESPONSIBLE FOR ANY DISCREPANCIES OR OMISSIONS BETWEEN THE ACTUAL EXISTING CONDITIONS AND THIS DRAWING.
- ALL WORK SHALL CONFORM TO 2012 IBC CODE.

**LEGEND**

- (⊗) EXISTING FIRE HYDRANT
- (⊙) EXISTING WATER METER
- (⊕) EXISTING POWER POLE
- (⊖) EXISTING SANITARY SEWER LIFT STATION
- FENCE
- PROPERTY LINE
- EASEMENT

#	DESCRIPTION	DATE
1	UPDATE PARKING SPACES	12/21/15
2	UPDATE DRIVEWAY	12/30/15



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**PRELIMINARY**

**WASH RACK**

2450 DESTREHAN AVENUE  
HARVEY, LOUISIANA 70058

JOB No: 2279 DATE: 25 FEBRUARY 2016  
DRAWN BY: DPD CHECKED BY: KJK

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SHEET TITLE:  
SITE PLAN 1 OF 2

DRAWING NUMBER:

**C101**

SHEET No: 1 OF 5