

LIFE-SAFETY INFORMATION

APPLICABLE CODES		
NFPA 101 LIFE-SAFETY CODE 2015		
OCCUPANCIES: STORAGE (CHAPTER 42), BUSINESS (CHAPTER 38) & MERCANTILE (CHAPTER 36); CONSTRUCTION TYPE IIB		
MIXED OCCUPANCIES (REFERENCE CHAPTER 6)		
OCCUPANT LOAD FACTOR (REFERENCE TABLE 7.3.1.2)		
B (OFFICES) 535 S.F.	100 SF GROSS / OCCUPANT =	5 OCCUPANTS
M (PARTS & WAITING AREA) 2,410 S.F.	30 SF GROSS / OCCUPANT =	40 OCCUPANTS
TOTAL OCCUPANTS = 122 OCCUPANTS		
CLASSIFICATION OF HAZARD OF CONTENTS		
(REFERENCE: OCCUPANCY CHAPTER AND 6.2.2: SPECIFY LOW, ORDINARY, OR HIGH) LOW HAZARD		
CONSTRUCTION TYPE(S) (REFERENCE: CHAPTERS, TABLE A.9.2.1.2 AND COMMENTARY TABLE 8.1 IN HANDBOOK)		
2 (000)		
MINIMUM EXIT SEPARATION DISTANCE FOR REMOTELY LOCATED EXITS		
(REFERENCE: SECTION 7.5; SPECIFY 1/2 (NON-SPRINKLED) OR 1/3 (SPRINKLED) DIAGONAL DISTANCE OF AREA SERVED)		
1/2 DIAGONAL (MERCANTILE): 61.7 FT / 2 = 30.8 FT	SECTION 42.2.4.1 LOW AND ORDINARY HAZARD STORAGE OCCUPANCIES & SECTION 30.2.4.2 FOR BUSINESS ALLOWS FOR SINGLE MEANS OF EGRESS	
MAXIMUM DEAD-END CORRIDORS	(REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)	50 (S), 50 (B), 20 (M)
MAXIMUM COMMON PATH OF TRAVEL DISTANCE	(REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)	50 (S), 75 (B), 75 (M)
MAXIMUM TRAVEL DISTANCE TO EXITS	(REFERENCE: OCCUPANCY CHAPTER AND TABLE A.7.6)	200 (S), 200 (B), 150 (M)
EXTINGUISHMENT REQUIREMENTS		
SPRINKLER (NOT REQUIRED)		
DETECTION, ALARM, AND COMMUNICATION SYSTEMS		
NONE REQUIRED (12.3.4.4 - 42.3.4.4)		
ALLOWABLE HEIGHT AND BUILDING AREA		
PER IBC EQUIVALENT CONSTRUCTION TYPE		

BUILDING CODE

APPLICABLE CODES		
BC 2021		
OCCUPANCY: B (BUSINESS OFFICES), M (MERCANTILE AT PARTS AND WAITING AREA)		
OCCUPANT CALCULATIONS (TABLE 1004.5)		
B (OFFICES) 535 S.F.	150 S.F. / PERSON	3 OCCUPANTS
M (PARTS & WAITING AREA) 2,410 S.F.	60 S.F. / PERSON	40 OCCUPANTS
TOTAL OCCUPANTS		
43 OCCUPANTS		
CONSTRUCTION TYPE(S) (TABLE 503)		
2 B (SECTION 503)		
ALLOWABLE HEIGHT AND BUILDING AREA LIMITED BY TYPE OF CONSTRUCTION		
MAXIMUM ALLOWABLE HEIGHT IN FEET (SECTION 503 & 504, TABLE 504.3)	NON-SPRINKLED	55
MAXIMUM ALLOWABLE NUMBER OF STORIES (SECTION 503 & 504, TABLE 504.4)	NON-SPRINKLED	2
MAXIMUM ALLOWABLE AREA IN SQUARE FEET (SECTION 503, 506 & 507, TABLE 506.2)	NON-SPRINKLED	17,500 S.F.

WIND SPEED DESIGN REQUIREMENTS

THIS BUILDING SHALL BE DESIGNED WITH IBC SEC 1609 AS A FULLY ENCLOSED BLDGS USING THE FOLLOWING INFORMATION:

WIND DESIGN DATA:

DETERMINATION OF WIND LOADS SHALL BE IN ACCORDANCE WITH IBC SEC 1609.3 (1), (2), OR (3) DEPENDING ON THE RISK CATEGORY

WIND SPEED V_{ult} = 143 MPH (IBC FIG 1609.3(1))

NOMINAL DESIGN WIND SPEED V_{asd} = 111 MPH ($V_{ult} \times (0.6)^{1/2}$)

RISK CATEGORY: CATEGORY II BLDG SURFACE ROUGHNESS = B

TOPOGRAPHIC FACTOR = 1 EXPOSURE = B

INTERNAL PRESSURE COEFFICIENT (ASCE 7-10 TABLE 26.11-1): ± 0.18

LIVE LOADS (IBC SEC 1607)

STORAGE WAREHOUSE, LIGHT DUTY (IBC TABLE 1607.1): 125 PSF

OFFICE LOBBIES & CORRIDORS 1ST FLOOR: 100 PSF

OFFICES (IBC TABLE 1607.1): 50 PSF

ROOF LIVE LOADS (IBC TABLE 1607.1): 20 PSF UNIFORM, 300 LB CONCENTRATED

SNOW LOADS (IBC SEC 1609.2):

GROUND SNOW LOAD (IBC FIG 1609.2): 5 PSF

FLOOD ZONE INFORMATION

BASED ON THE SURVEY OF THIS PROPERTY BY J.V. BURKES AND ASSOCIATES. THIS PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA.

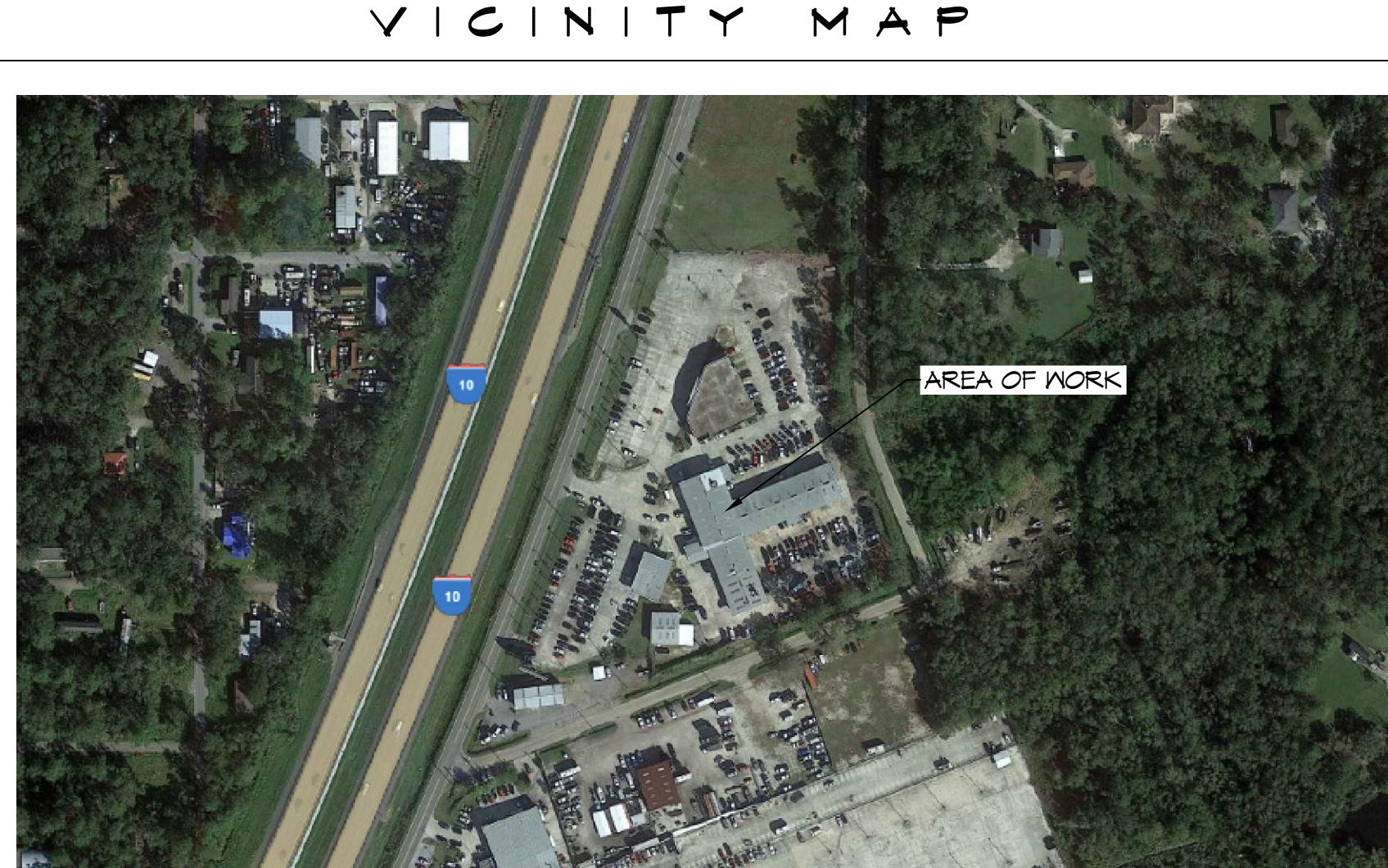
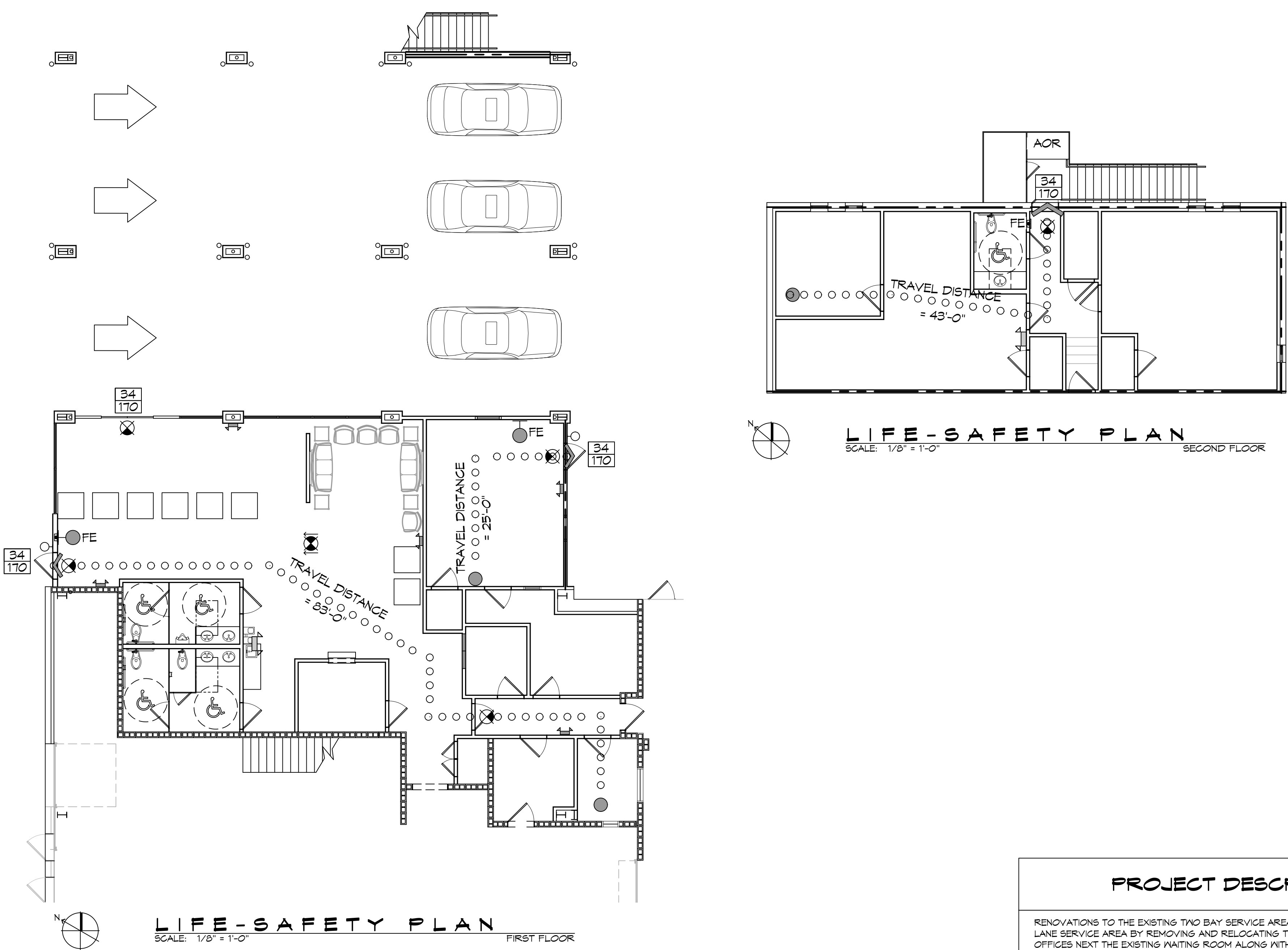
FIRM, COMMUNITY NO. 225205 0595 D DATE: 04/02/1991

FLOOD ZONE: A10 BASE FLOOD ELEVATION: 13 FT

LIFE-SAFETY LEGEND

SYMBOL	DESCRIPTION
	EXITS
	DOOR FIRE RATING (MINUTES)
	DOOR WIDTH/EGRESS CAPACITY
	EXIT LIGHT
	FIRE EXTINGUISHER IV/ WALL MTD BRACKET
	COMMON PATH OF TRAVEL
	TRAVEL DISTANCE
	DECISION POINT

LEGACY BUICK GMC SERVICE AND OFFICE BUILDING RENOVATIONS



SHEET INDEX

SHEET #	SHEET TITLE
G101	GENERAL INFORMATION SHEET
G102	ACCESSIBILITY INFORMATION
C101	EXISTING SITE PLAN
A101	EXISTING FIRST & SECOND FLOOR DEMO PLAN
A102	EXISTING ELEVATION PLAN
C102	PROPOSED SITE PLAN
G103	PROPOSED DRAINAGE & EROSION CONTROL PLAN
A103	PROPOSED FIRST & SECOND FLOOR PLAN
A104	PARAPET WALL SECTION & FIRE RATING PLAN
A105	INTERIOR ELEVATIONS
A106	FINISH SCHEDULE
A107	NEW ELEVATION PLAN
A108	REFLECTIVE CEILING PLAN
P101	PLUMBING PLAN
M101	MECHANICAL PLAN
E101	FIRST FLOOR SECOND FLOOR POWER PLAN
E102	FIRST FLOOR SECOND FLOOR LIGHTING PLAN
E103	POWER PANEL & ONE LINE DIAGRAM

GENERAL NOTES

- ALL MATERIALS AND WORK, INCIDENTAL TO THE CONSTRUCTION OF THIS PROJECT, SHALL CONFORM TO ALL GOVERNING CODES, AND REGULATIONS OF AGENCIES IN AUTHORITY.
- CONTRACTOR SHALL PROVIDE ALL PUBLIC PROTECTIONS NECESSARY AS REQUIRED BY LAW.
- THE DRAWINGS AND ANY SUBSEQUENTLY ISSUED ADDENDA, AMENDMENTS OR SUCH CHANGE ORDERS APPROVED BY THE OWNER AND THE CONTRACTOR ARE PART OF THESE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS. CONSULT WITH THE ENGINEER REGARDING ANY ITEMS IN THE CONTRACT DOCUMENTS THAT REQUIRE CLARIFICATION.
- TRASH SHALL BE REMOVED FROM THE SITE NOT LESS THAN TWICE MONTHLY.
- THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR VEHICLES AND EQUIPMENT NECESSARY FOR CONSTRUCTION MAY BE PARKED ON THE SITE. OTHER VEHICLES PARKED ON THE SITE REQUIRE THE OWNER'S PERMISSION.
- ALL MATERIALS/EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. WORK NOT CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS WILL BE REJECTED BY OWNER/ARCHITECT.

PROJECT DESCRIPTION

RENOVATIONS TO THE EXISTING TWO BAY SERVICE AREA WILL BE INCREASED TO A THREE LANE SERVICE AREA BY REMOVING AND RELOCATING THE EXISTING GROUND FLOOR OFFICES NEXT TO THE EXISTING WAITING ROOM ALONG WITH NEW ADA RESTROOMS.

DAMMON ENGINEERING, INC.
 LOUISIANA & MISSISSIPPI
 Chief Engineer: Brian Mistich, PE
 554 Old Spanish Trail
 Slidell, LA 70458
 www.dammonengineering.com
 info@dammonengineering.com
 PH: 985.649.5832

DATE	DESCRIPTION

SEAL:

NEW SERVICE AREA
LEGACY BUICK GMC SLIDELL

SHEET TITLE:
GENERAL INFORMATION SHEET

DRAWING NUMBER:

G101