

GENERAL NOTES

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES AND RECORD DRAWINGS PROVIDED THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES OR STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES OR STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES OR STRUCTURES.

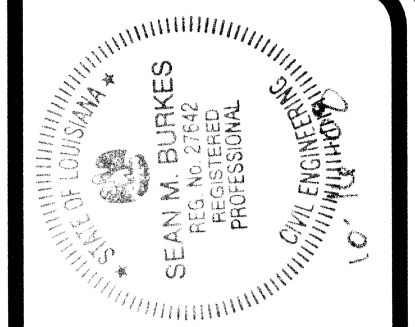
I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS PARTIALLY IN A SPECIAL FLOOD HAZARD AREA. F.I.R.M. COMMUNITY MAP NO. 225205 0440 D; DATED: 04/21/1999. FLOOD ZONE: C; BASE FLOOD ELEVATION: N/A. FLOOD ZONE: B; BASE FLOOD ELEVATION: N/A. FLOOD ZONE: A1; BASE FLOOD ELEVATION: 13.0'

I.B.M.:
NAIL SET IN POWER POLE NEAR THE SOUTHEAST CORNER OF 5.707 ACRE PARCEL AND PEARL ACRES SUBDIVISION ADJACENT TO GAUSE BOULEVARD. TAG NO M34, ELEV. 14.77 N.G.V.D.

ZONING:
C-4 HIGHWAY COMMERCIAL

REFERENCES:

- JOB NO: 97848; BY: ALBERT A. LOVELL & ASSOCIATES, INC.; DATED: 09/14/2004
- SURVEY NO: 970433; BY: J.V. BURKES & ASSOCIATES, INC.; DATED: 03/14/1997
- DWG. NO: 1042987; BY: J.V. BURKES & ASSOCIATES, INC.; DATED: 09/11/2004
- GRANT OF SERVITUDE INST. # 700041 DATED 09-21-1988 COB 1358 FOLD 690



SEAN M. BURKES
REGISTERED PROFESSIONAL ENGINEER
STATE OF LOUISIANA
LICENSE NO. 27642

J.V. Burkes & Associates, Inc.
SURVEYING ENGINEERING • ENVIRONMENTAL

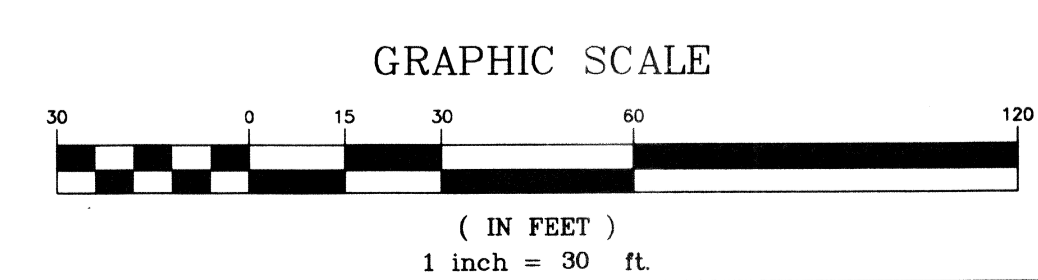
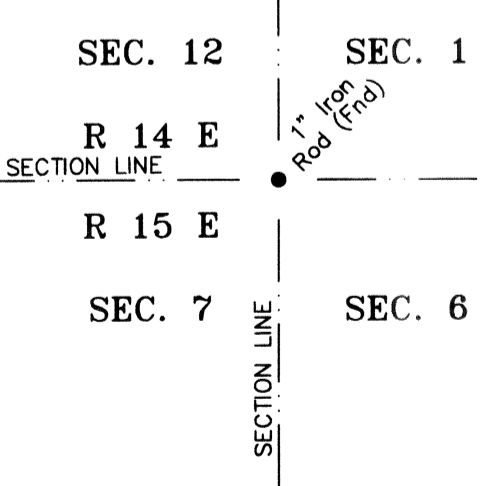
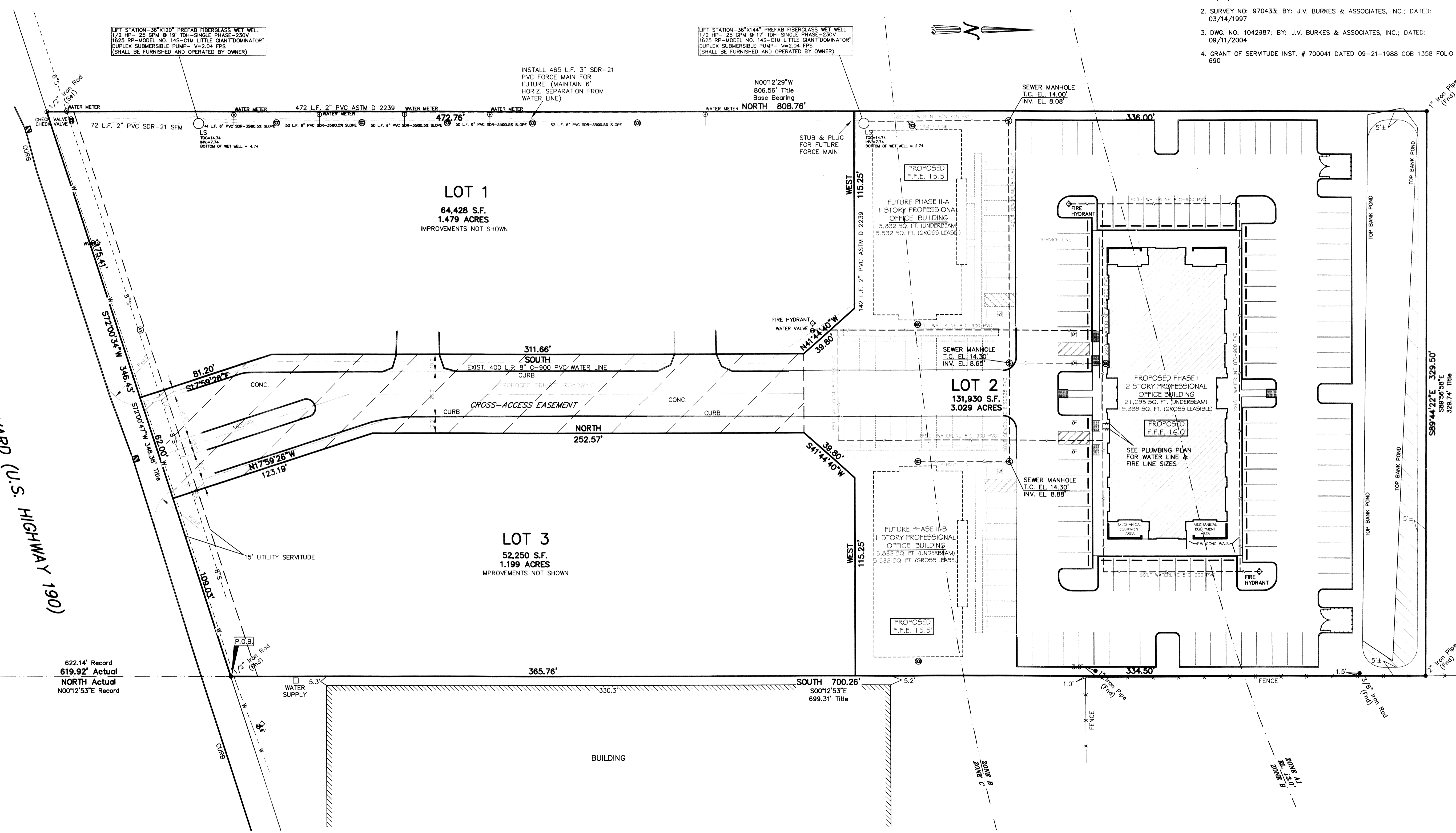
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Mississippi Phone: 228-435-5800

NO.	DESCRIPTION	REVISIONS	DATE	BY	CHKD

**SEWER & WATER PLAN OF LOTS 1, 2, & 3
PHILLIPS BUSINESS PARK
SECTION 1, T9S-R14E
CITY OF SLIDELL
ST. TAMMANY PARISH, LA**

DECLARATION TO BE MADE BY REGISTERED PROFESSIONAL ENGINEER: I, THE SURVEYOR, HEREBY CERTIFY THAT THIS SURVEY IS A TRUE AND CORRECT REPRESENTATION OF THE FACTS AND CONDITIONS AS SHOWN BY ME AND MY INSTRUMENTS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

McMATH CONSTRUCTION



SEWER & WATER PLAN

CERTIFICATION

I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN. ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

PROPERTY IS NOT SURVEYED IN ACCORDANCE WITH THE LOUISIANA "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS." BEARINGS ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.

SCALE: 1" = 30'

DATE: 10/8/2008

DRAWN BY: DLT CHECKED BY: SMB

DWG. NO. 20081364

SHEET 2 OF 3

PHILLIPS BUSINESS PARK, SECTION 1, T9S-R14E, ST. TAMMANY PARISH, LA. SURVEYED BY J.V. BURKES & ASSOCIATES, INC. ON 10/8/2008. DRAWN BY DLT. CHECKED BY SMB. DATE 10/8/2008.