

CODE DATA

INTERNATIONAL BUILDING CODE 2015

Slidell LA Building Codes:

International Building Code (2015 Edition)
 International Fuel Gas Code (2012 Edition)
 International Mechanical Code (2015 Edition)
 National Electrical Code (2014 Edition)
 International Plumbing Code (2015 Edition)
 NFPA 1 Fire Code (2015 Edition)
 NFPA 101 Life and Safety Code (2015 Edition)
 NFPA 13 and 13R (sprinkler systems) (2013 Edition)
 ADA- 2010 standard
 Commercial Energy Code ANSI/ASHRAE/IESNA 90.1 (2007 Edition)

OCCUPANCY:	BUSINESS - B
OCCUPANT LOAD (TABLE 1004.1.1):	BUSINESS AREAS = 1 / 100 SF
SEPARATION OF OCCUPANCIES (TABLE 508.4)	N/A
CONSTRUCTION TYPE (TABLE 601)	V-B
PRIMARY STRUCTURAL FRAME	0 HOURS
BEARING WALLS (EXTERIOR)	0 HOURS
BEARING WALLS (INTERIOR)	0 HOURS
NON-BEARING WALLS	0 HOUR
FLOOR CONSTRUCTION AND SECONDARY MEMBERS	0 HOURS
ROOF CONSTRUCTION AND SECONDARY MEMBERS	0 HOURS
INTERIOR FINISH (TABLE 803.11 - NON-SPRINKLERED): (B)	
EXIT ENCLOSURES	CLASS B
CORRIDORS	CLASS B
ROOMS AND ENCLOSED SPACES	CLASS C
AUTOMATIC SPRINKLER REQUIREMENTS:	NOT REQUIRED
CORRIDOR SEPARATION (TABLE 1018.1):	NO RATING REQUIRED
OCCUPANCY CATEGORY (TABLE 1604.5):	II
BASIC WIND SPEED (3-SECOND WIND GUST, FIGURE 1609):	112 MPH
MAXIMUM AREA OF EXTERIOR WALL OPENINGS (TABLE 705.8):	NO LIMIT

Per IBC Table 1006.2.1, B occupancy with less than 30 occupants is allowed to have a single exit if the Common Path of Travel does not exceed 100'.

Per IBC 1020.1, Exception 4, corridors need not be fire rated if only one exit is allowed by 1006.2.1.

Per IBC 1020.2, minimum corridor width is 36" (if occupant load less than 50).

Building Envelope Requirements (2015 IECC)

Climate Zone-2 - Wood Framed Walls and Roof

- Roof/Attic: R-38 Attic Insulation
- Walls: R-13 + R3.8 ci or R-20
- Slab: No Requirement (unheated)
- Swing Doors: U-0.61 Maximum
- Entry Doors: U-0.83 Maximum
- Fixed Windows: U-0.50 Maximum
- Operable Windows: U-0.65 Maximum

Plumbing Fixture Notes:

- Occupant Count per IBC: Business Office = 100 sf / occupant (gross).
- 2,906 sf / 100 = 29 Occupants (15 each gender)
- Separate Facilities: Per IPC 403.2 separate facilities for each gender are required in B Occupancies with an occupant count of greater than 15 occupants.
- Fixtures: Per IPC Table 403.1, for 15 occupants (each gender):
 Water Closets: 1 water closet per 25 Occupants
 Lavatories: 1 lavatory per 40 Occupants.
 Mop Sink: Required for greater than 15 occupants.
- Drinking Fountain: Per IPC 410.2, a drinking fountain is required with an occupant count of greater than 15.

CODE DATA

N.F.P.A. 101 LIFE SAFETY CODE 2015

OCCUPANCY:	HEALTHCARE (CHAPTER 18)
OCCUPANT LOAD (TABLE 7.3.1.2):	BUSINESS AREAS = 1 / 100 SF
SEPARATION OF OCCUPANCIES (TABLE 6.1.1):	N/A
CONSTRUCTION TYPE (TABLE A8.2):	II(332)
EXTERIOR BEARING WALLS	3 HOURS
INTERIOR BEARING WALLS	3 HOURS
COLUMNS (SUPPORTING MORE THAN 1 FLOOR)	3 HOURS
BEAMS, GIRDS AND TRUSSES (SUPPORTING MORE THAN 1 FLOOR)	3 HOURS
FLOOR CEILING JOISTS	2 HOURS
FLOOR JOISTS	1 1/2 HOURS
NON-BEARING WALLS	0 HOURS
EXTERIOR NON-BEARING WALLS	0 HOURS
HARDWARE (18.2.2.2.4)	DELAYED EGRESS LOCKS PERMITTED
(18.2.2.2.7)	ACCESS CONTROLLED HARDWARE PERMITTED HOLD OPEN DEVICES PERMITTED
HORIZONTAL EXITS (18.2.2.5/7.2.4.1.2)	PERMITTED
AREA OF REFUGE (18.2.2.10)	PERMITTED
MIN. NUMBER OF EXITS (18.2.4.1):	2 PER FLOOR 2 PER SMOKE COMPARTMENT
NON-SLEEPING SUITES (18.2.5.7.3)	
18.2.5.7.3.1	SHALL HAVE ACCESS TO A CORRIDOR W/O HAVING TO PASS THROUGH MORE THAN 2 INTERVENING ROOMS
18.2.5.7.3.2 (A)	SUITES MORE THAN 2500 SQ FT SHALL HAVE AT LEAST 2 EXITS.
18.2.5.7.3.2 (B)	ONE MEANS OF EGRESS SHALL BE DIRECTLY TO A CORRIDOR.
18.2.5.7.3.2 (C)	ONE MEANS OF EGRESS SHALL BE PERMITTED THROUGH ANOTHER SUITE.
18.2.5.7.3.3	SUITES SHALL NOT EXCEED 10,000 SQ FT
18.2.5.7.3.4 (A)	TRAVEL DISTANCE FROM A SUITE TO AN EXIT ACCESS SHALL NOT EXCEED 100 FT
18.2.5.7.3.4 (B)	TRAVEL DISTANCE FROM A SUITE TO AN EXIT SHALL NOT EXCEED 200 FT
DEAD END CORRIDOR (18.2.5.2):	30 FT
COMMON PATH OF TRAVEL, CPT (18.2.5.3):	100 FT
TRAVEL DISTANCE (TABLE A.7.6):	200 FT
VERTICAL OPENING PROTECTION (18.3.1/8.6.5):	CONNECTING 3 STORIES OR LESS = 1 HOUR CONNECTING MORE THAN 3 STORIES = 2 HOURS
PROTECTION FROM HAZARDS (TABLE 18.3.2.1):	
BOILER/HEATER ROOMS	1 HOUR
LAB (FLAMMABLE HAZARD)	1 HOUR
LAUNDRY > 100 SF	1 HOUR
SOILED LINEN > 64 GAL	1 HOUR
STORAGE < 100 SF	SMOKE
STORAGE > 100 SF	1 HOUR
TRASH ROOMS > 100 SF	1 HOUR
INTERIOR FINISH (TABLE A.10.2.2):	
EXITS	CLASS A / I OR II
EXIT ACCESS CORRIDORS	CLASS A / I OR II
OTHER SPACES	CLASS A
FIRE ALARM SYSTEM (18.3.4.2):	REQUIRED
EXTINGUISHING REQUIREMENTS (18.3.5/9.7.4.1 NFPA 10):	75 FT MAX TRAVEL DISTANCE
CORRIDOR SEPARATION (18.3.6.2):	NO RATING REQUIRED / SHALL LIMIT TRANSFER OF SMOKE
SMOKE CORRIDORS NOT REQUIRED PER NON-SLEEPING SUITE CONFIGURATION	
SUBDIVISION OF BUILDING SPACES (18.3.7):	EACH STORY HOUSING PATIENTS SHALL BE DIVIDED INTO NO LESS THAN 2 SMOKE COMPARTMENTS EACH NOT TO EXCEED 22,500 SF. SMOKE BARRIERS SHALL HAVE MINIMUM 1 HOUR FIRE RESISTANCE RATING WITH SMOKE TIGHT DOORS

TO BE EDITED

Office Building

FOR

McMath Construction

Lot 2C Phillips Business Park
 2052 Gause Blvd. East, Slidell, LA 70461

SHEET INDEX

- A0.0 COVER SHEET
- A0.1 SYMBOLS, GENERAL NOTES, ACCESSIBILITY REQMTS
- A1.1 SITE PLAN - ACCESS & STAGING
- A2.1 FLOOR PLANS
- A3.1 EXTERIOR ELEVATIONS
- A4.1 BUILDING & WALL SECTIONS
- A5.1 ENLARGED PLANS & ELEVATIONS
- A6.1 REFLECTED CEILING PLAN

OWNER

McMath Construction
 1125 North Causeway Blvd Suite 2
 Mandeville, LA 70471
 (985) 624-9010

CONST. MANAGER / GENERAL CONTRACTOR

XXX

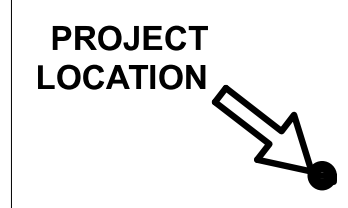
CONSULTANTS

STRUCTURAL - Schrenk Endom & Flanagan, LLC
 4227 Bienville St
 New Orleans, LA 70119
 504-482-7856

ELECTRICAL / LIGHTING - Creative Engineering Group
 PO Box 5167
 985-249-5706 telephone

MECHANICAL / PLUMBING / FIRE PROTECTION
GVA Engineering, LLC
 2615 Edenborne Ave., Suite C
 Metairie, LA 70002
 504-780-9330 telephone

VICINITY MAP



DESIGN PROGRESS DRAWINGS

Not For Construction

PERMIT APPLICATION DRAWINGS



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1404 GREENGATE DRIVE
 SUITE 101
 COVINGTON, LA 70433
 985-893-4100



CONSTRUCTION DOCUMENT

Job No.	220022.01	Sheet No.	A0.0
Drawn by	BDS		
Checked by	KAB		
Date	16.MARCH.2017		

DOOR SCHEDULE													
MARK	TYPE	MATERIAL	SIZE			HARDWARE SET	FRAME MATERIAL	FRAME TYPE	DETAILS			FIRE RATING	REMARKS/ NOTES
			WIDTH	HEIGHT	THICKNESS				HEAD	JAMB	SILL		
100													
101	F	WD	3'-0"	7'-0"			HM	A					
102	F	WD	3'-0"	7'-0"			HM	A					
103	F	WD	3'-0"	7'-0"			HM	A					
103a													
104	F	WD	3'-0"	7'-0"			HM	A					
105	F	WD	3'-0"	7'-0"			HM	A					
106	F	WD	3'-0"	7'-0"			HM	A					
107	F	WD	3'-0"	7'-0"			HM	A					
107A	F	WD	3'-0"	7'-0"			HM	A					
108	F	WD	3'-0"	7'-0"			HM	A					
109	F	HM	3'-0"	7'-0"			HM	A					
110	F	WD	3'-0"	7'-0"			HM	A					
111	F	WD	3'-0"	7'-0"			HM	A					
113	F	WD	3'-0"	7'-0"			HM	A					
114	F	WD	3'-0"	7'-0"			HM	A					
117	F	WD	3'-0"	7'-0"			HM	A					

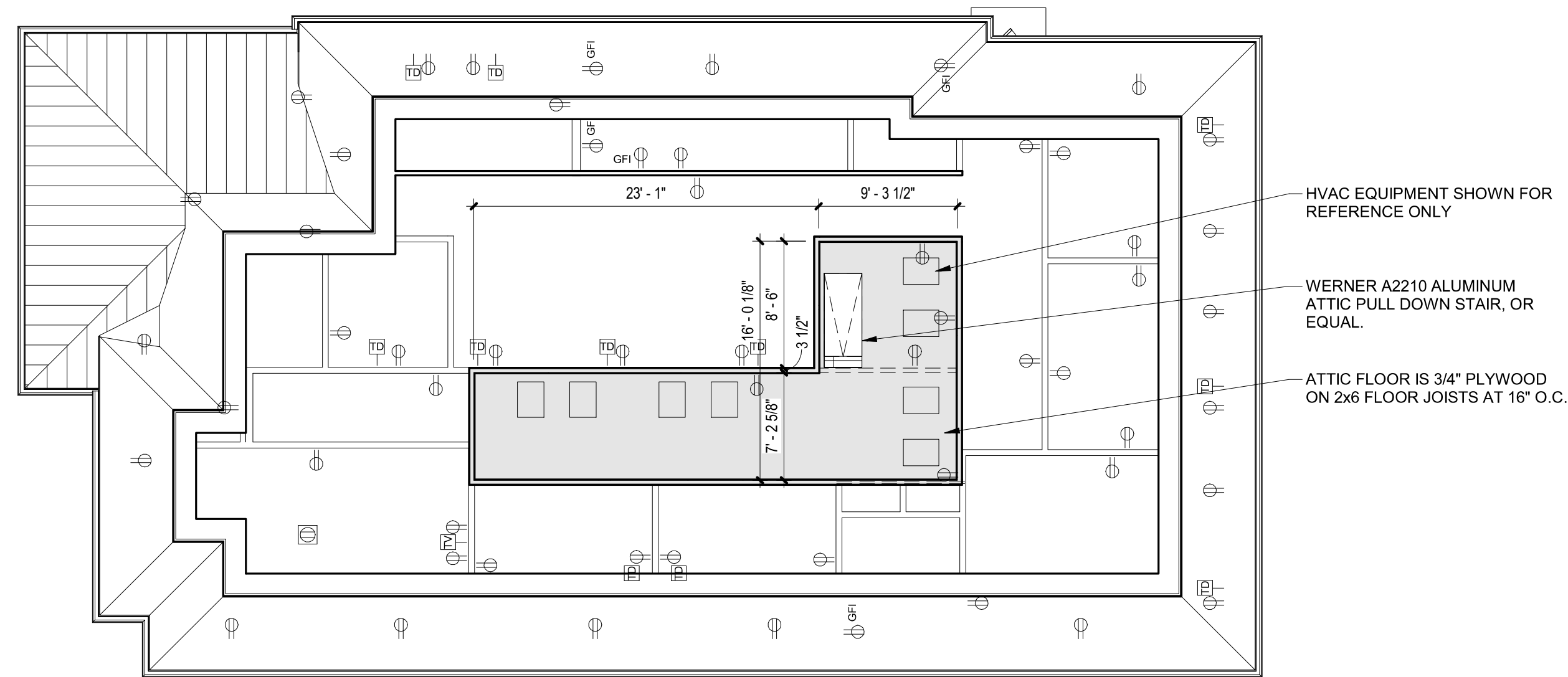
DOOR LEGEND:
AL ALUMINUM
AL-N ALUMINUM - NARROW STILE
DG DUAL-GLASS LITE DOOR
F FLUSH DOOR
HG HALF-GLASS LITE DOOR
HM HOLLOW METAL
HM-GALV HOLLOW METAL - GALVANIZED
NG NARROW-GLASS LITE DOOR
WD WOOD

DOOR REMARKS:
1. ???

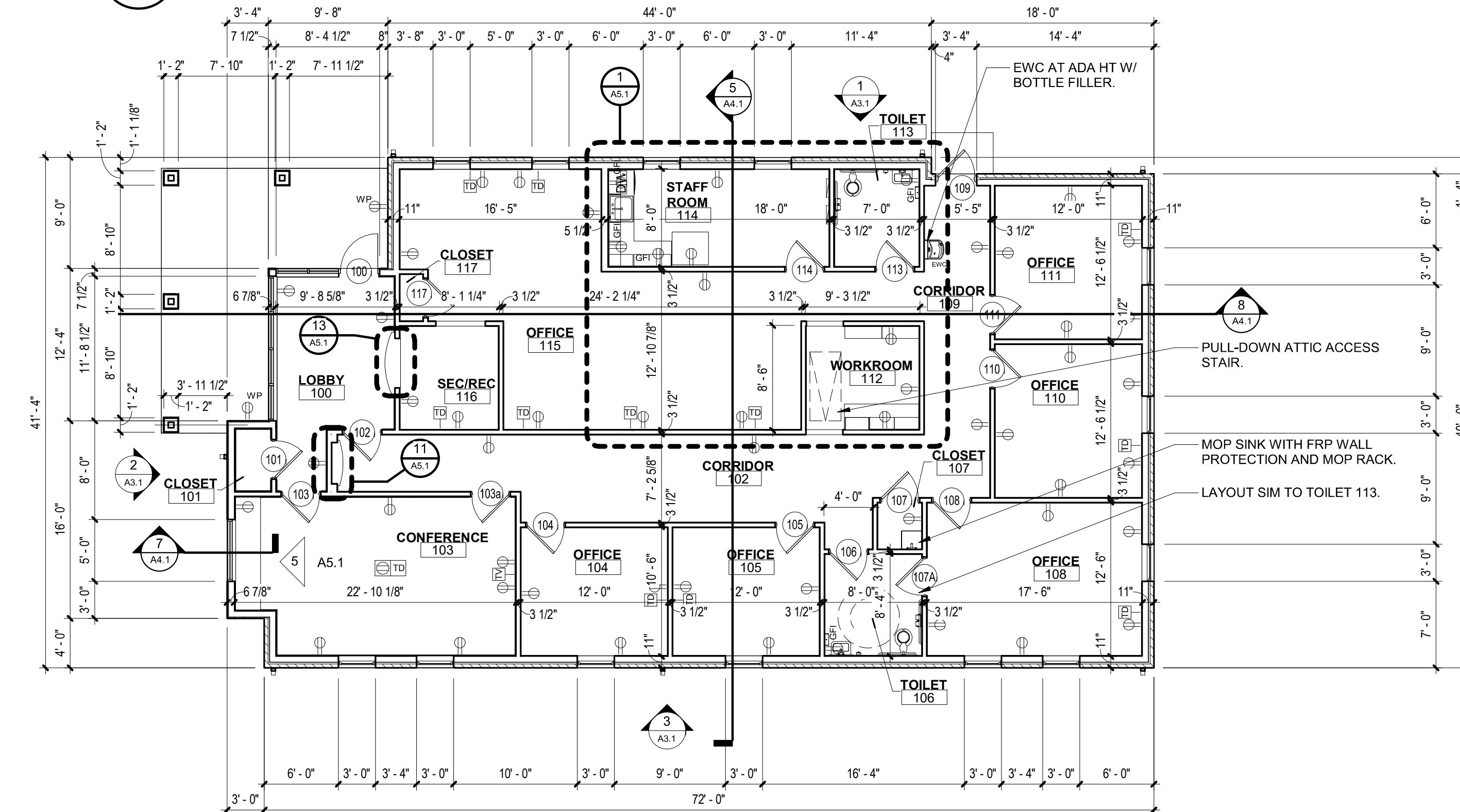
ROOM SCHEDULES							
Number	Name	Area	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Comments
100	LOBBY	140 SF					
101	CLOSET	15 SF					
102	CORRIDOR	329 SF					
103	CONFERENCE	279 SF					
104	OFFICE	124 SF					
105	OFFICE	124 SF					
106	TOILET	65 SF					
107	CLOSET	14 SF					
108	OFFICE	216 SF					
109	CORRIDOR	145 SF					
110	OFFICE	148 SF					
111	OFFICE	148 SF					
112	WORKROOM	77 SF					
113	TOILET	54 SF					
114	STAFF ROOM	141 SF					
115	OFFICE	468 SF					
116	SEC/REC	67 SF					
117	CLOSET	7 SF					

ROOM LEGEND:
ATC ACOUSTIC TILE CEILING
CPT CARPET
CT CERAMIC TILE
GWB GYPSUM WALLBOARD
P PAINT
VB VINYL BASE
WB WOOD BASE

ROOM REMARKS:
1. ???



PROJECT NORTH
2 ATTIC PLAN
A2.1
1/8" = 1'-0"



TRUE NORTH
PROJECT NORTH
1 FIRST FLOOR PLAN
A2.1
1/8" = 1'-0"

LEGEND

- AREA OF WORK NOT IN CONTRACT
- NEW WOOD STUD CONSTRUCTION, RE: PARTITION TYPES.
- EXISTING TO REMAIN
- TEMPORARY WALL
- EXISTING TO BE DEMOLISHED
- 1 HOUR FIRE RATED WALL CONSTRUCTION, RE: PARTITION WALL TYPES.
- 2 HOUR FIRE RATED WALL CONSTRUCTION, RE: PARTITION WALL TYPES.
- SMOKE TIGHT CONSTRUCTION WALL BUILT OF NON-COMBUSTIBLE MATERIALS, RE: PARTITION WALL TYPES.
- FIRE EXTINGUISHER CABINET - SEMI RECESSED
- WALL MOUNTED FIRE EXTINGUISHER
- CORNER GUARD, FLUSH MOUNTED
- ENDCAP, FLUSH MOUNTED
- CARD READER
- PUSH PLATE/ DOOR ACTIVATOR

WALL NOTES:

1. TYPICAL INTERIOR WOOD STUDS SHALL BE 3 5/8", 6", OR 8". SEE PARTITION TYPES FOR SIZE AND HEIGHT OF WALL CONSTRUCTION.
2. SOUND ATTENUATION BLANKETS FULL HEIGHT IN ALL FULL HEIGHT INTERIOR WOOD STUD WALLS.
3. RESTROOM FLOORS SHALL BE RECESSED 1 1/2" TO ALLOW FOR CERAMIC TILE MORTAR BED TO SLOPE TO DRAIN. SLAB RECESS SHALL ALIGN WITH INSIDE EDGE OF WOOD STUD WALL.

KEYNOTES: (FIRST FLOOR PLAN)

X.

MCMATH
develop. design. build.

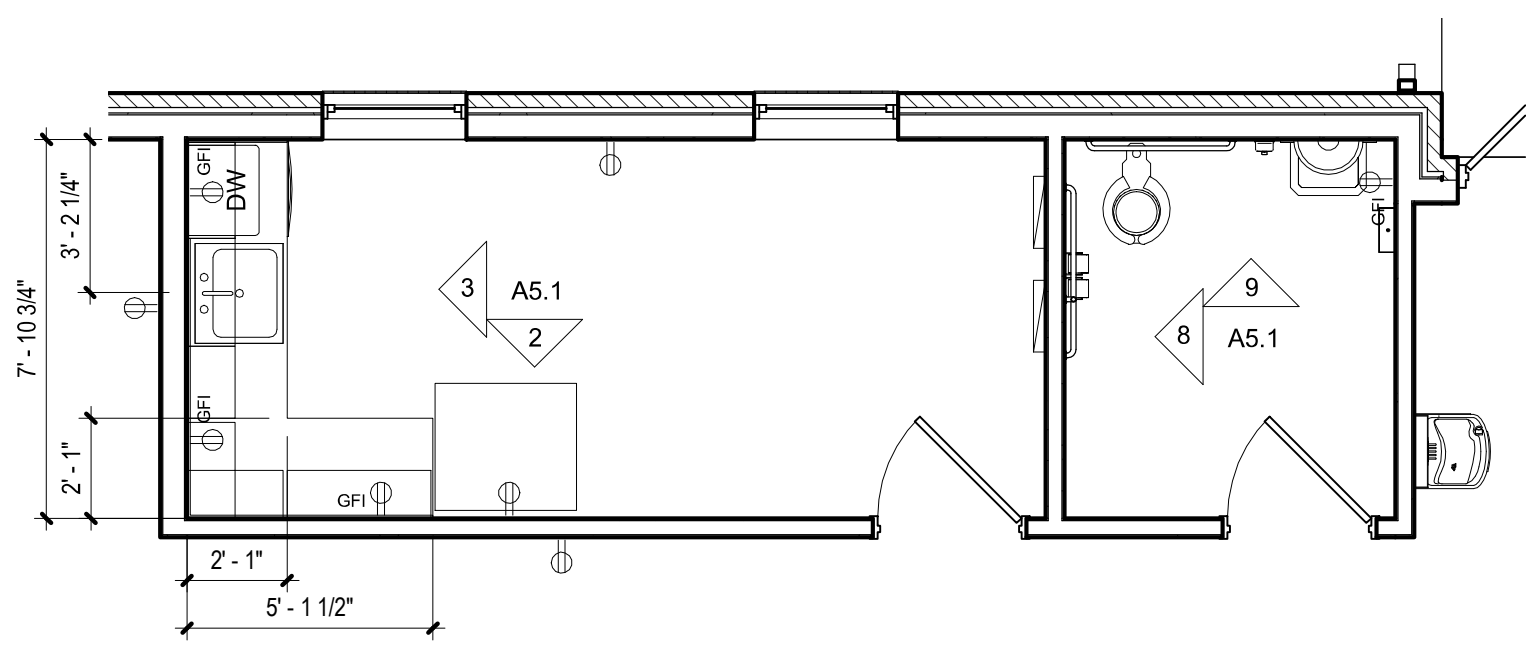
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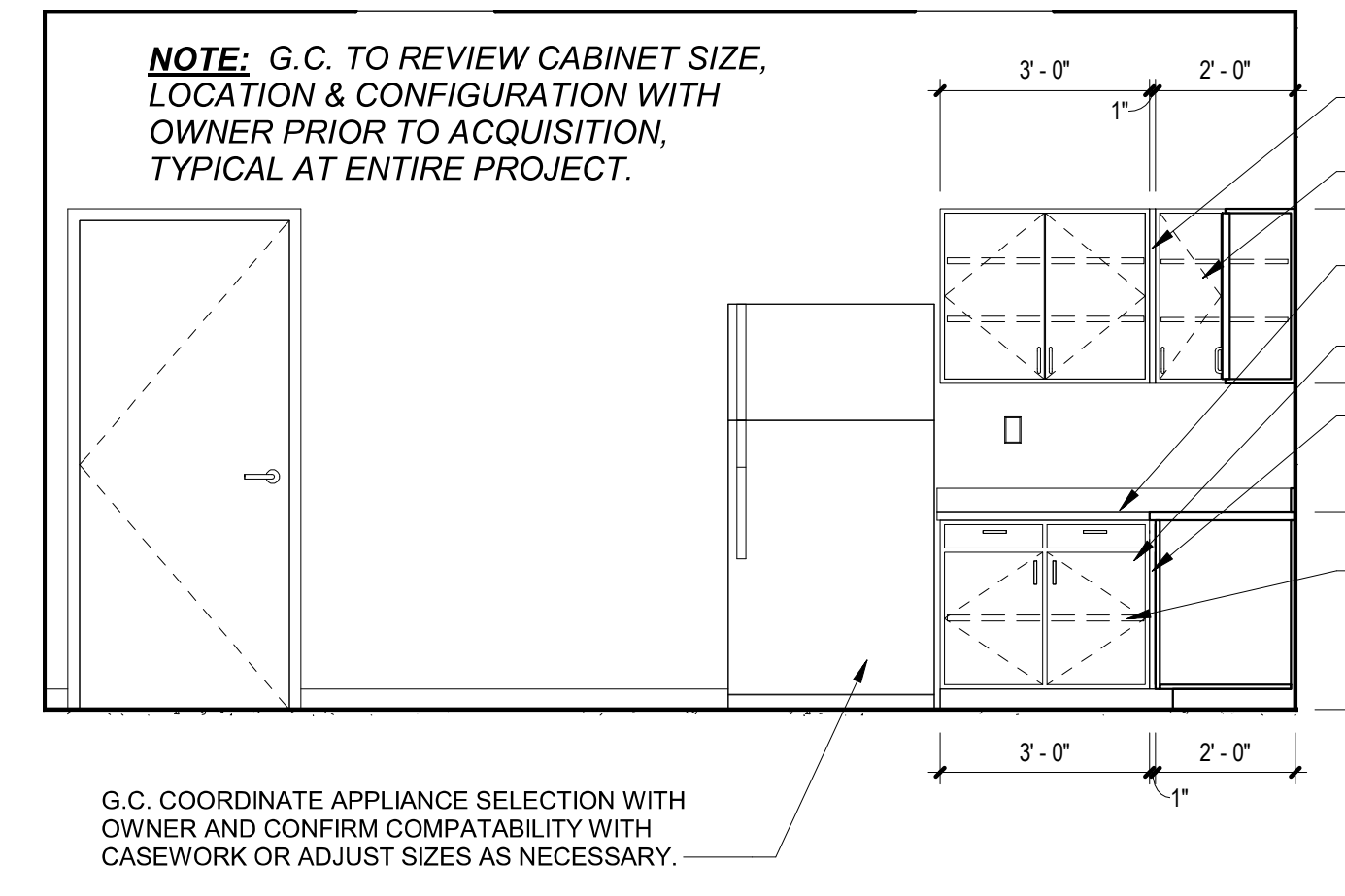
McMath Construction
Office Building
Lot 2C Phillips Business Park

Schematic Design	
Date 7 April 2020	
Project Location	
FLOOR PLANS	
Job No. 220022.01	
Drawn by Author	Checked by Checker
A2.1	
Sheet No.	

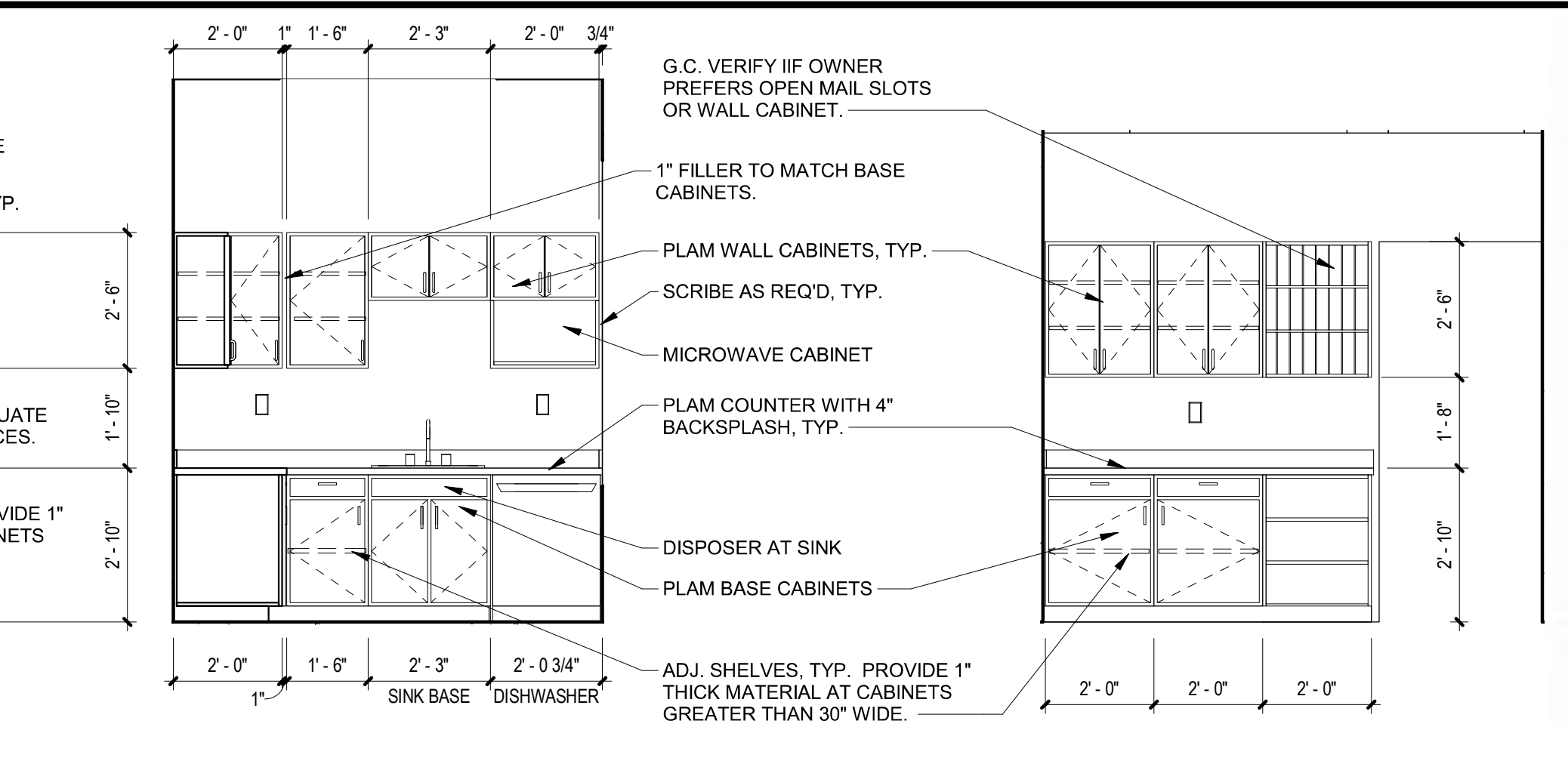
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1 ENLARGED PLAN
A5.1 1/4" = 1'-0"

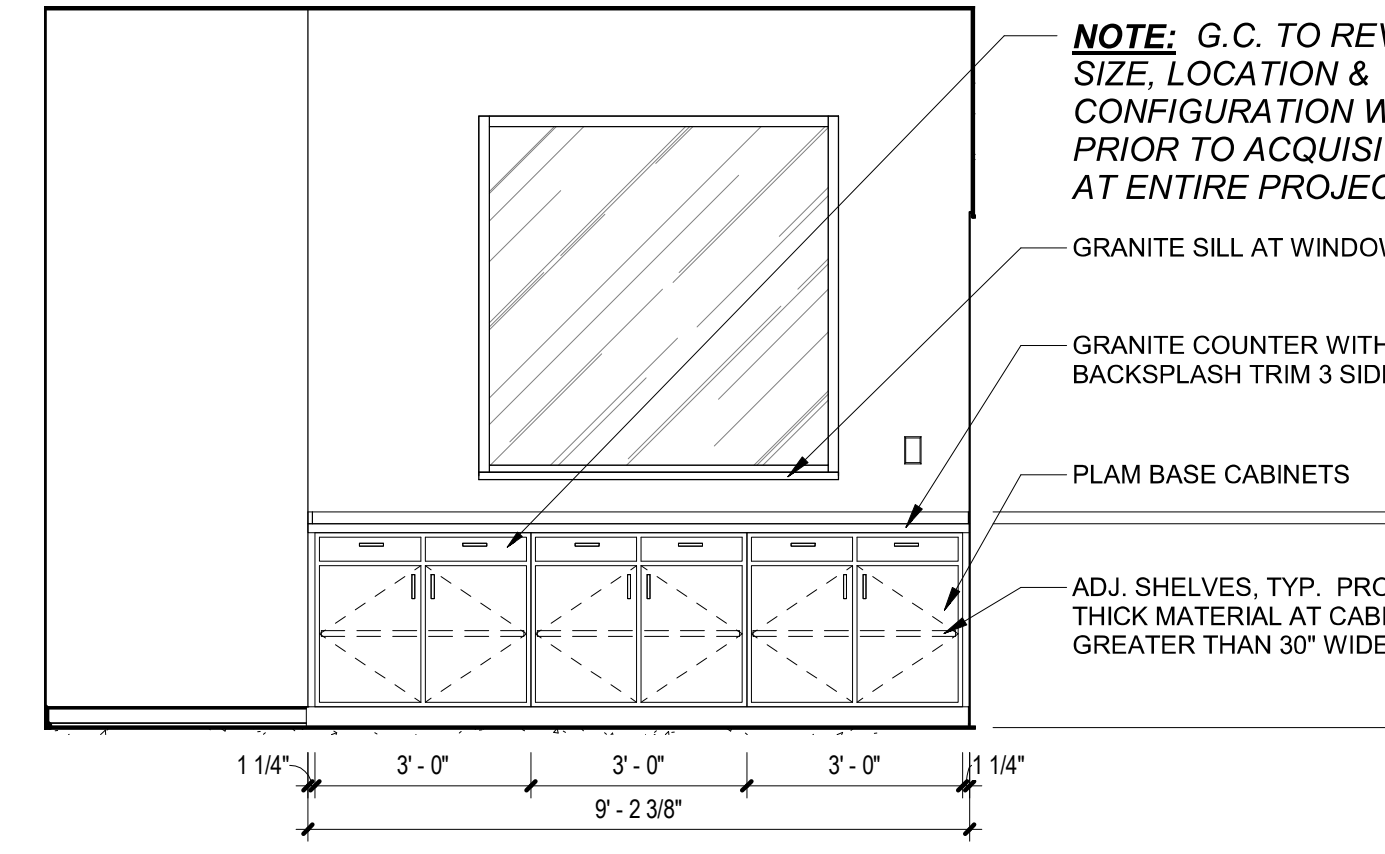


2 STAFF ROOM - SOUTH
A5.1 3/8" = 1'-0"

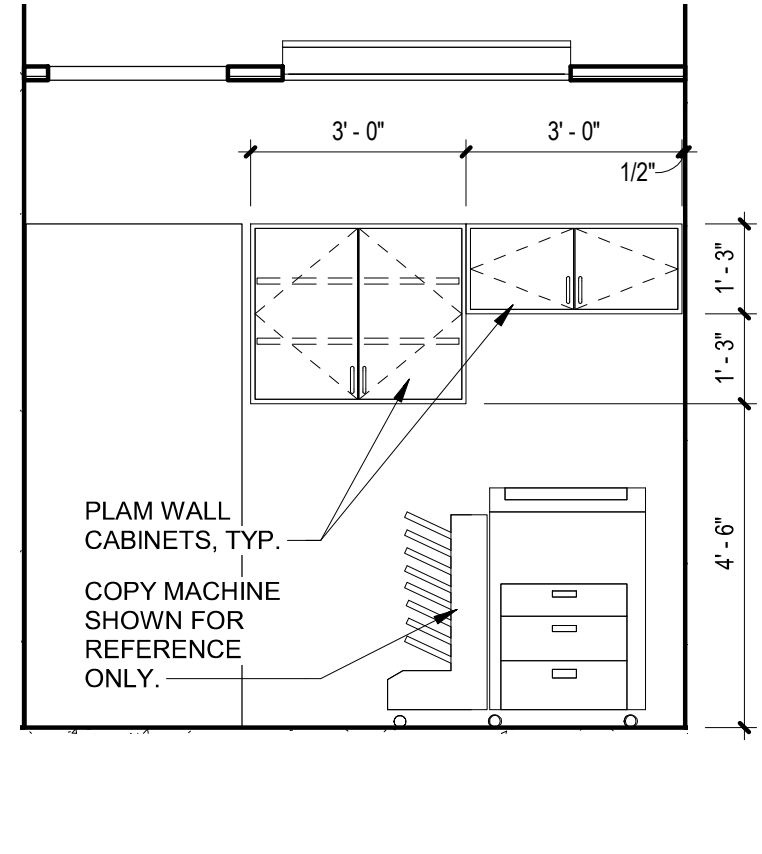


3 STAFF ROOM - WEST
A5.1 3/8" = 1'-0"

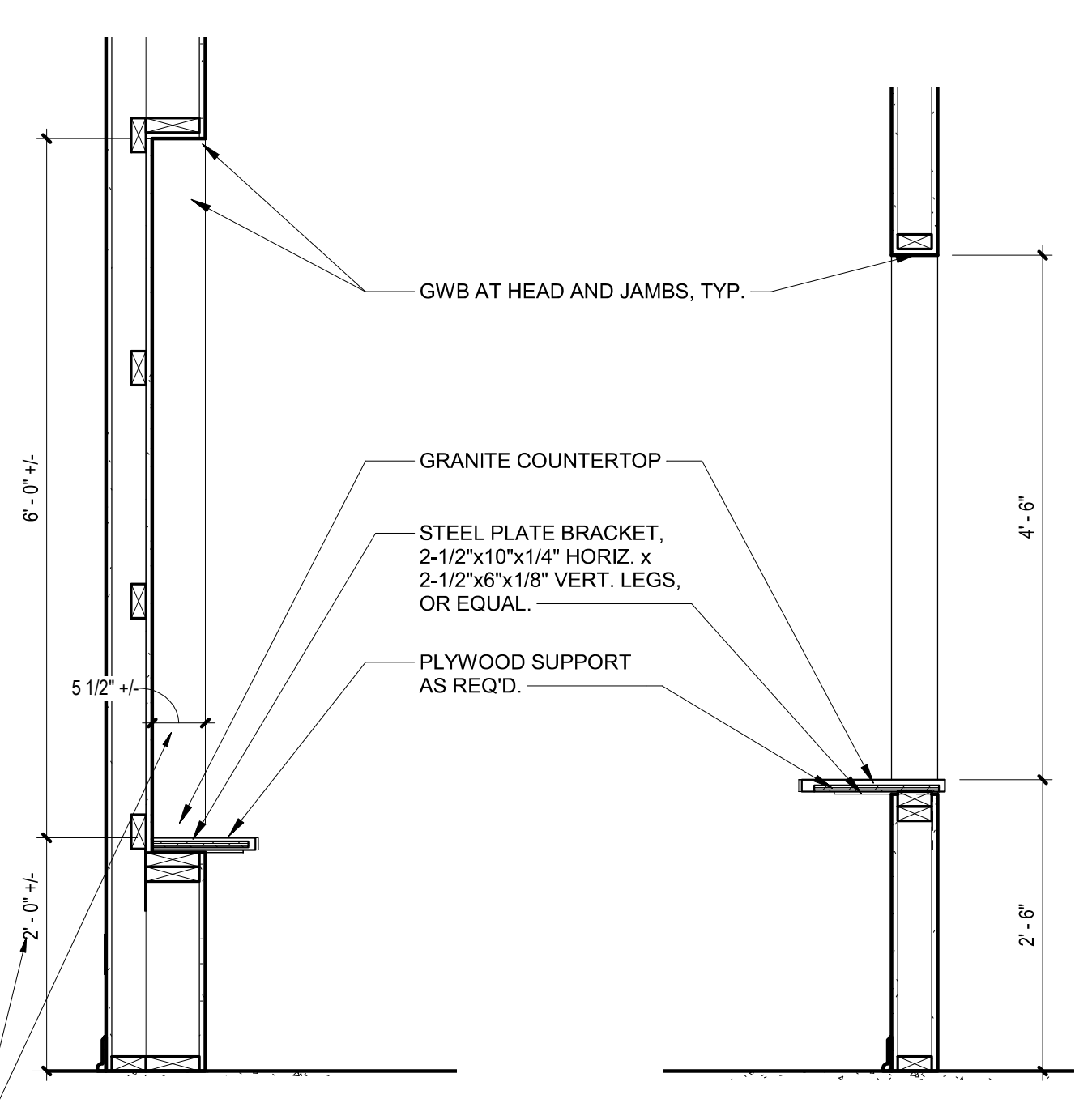
4 WORKROOM - SOUTH
A5.1 3/8" = 1'-0"



5 CONFERENCE ROOM - WEST
A5.1 3/8" = 1'-0"

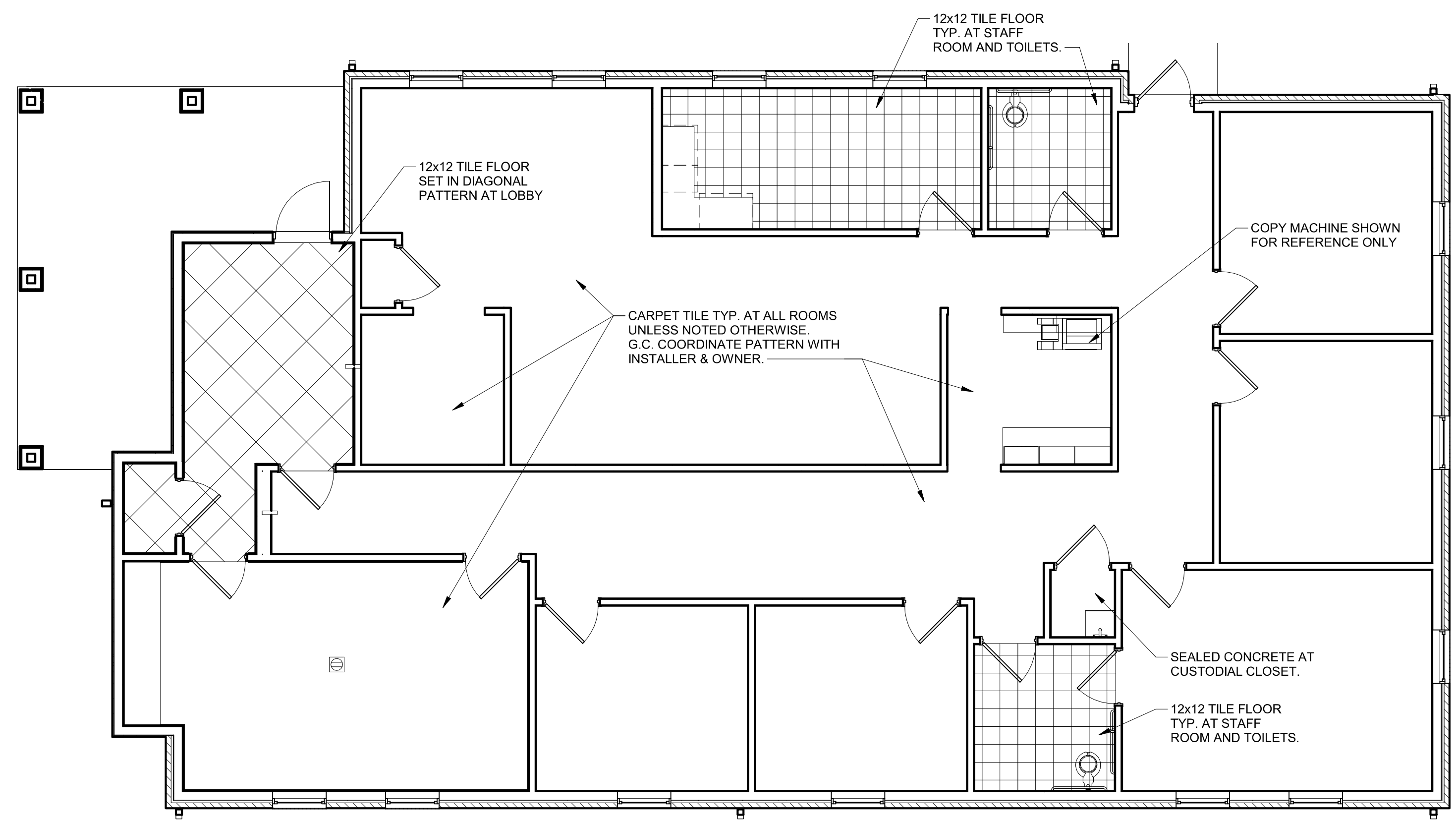


6 WORKROOM - NORTH
A5.1 3/8" = 1'-0"

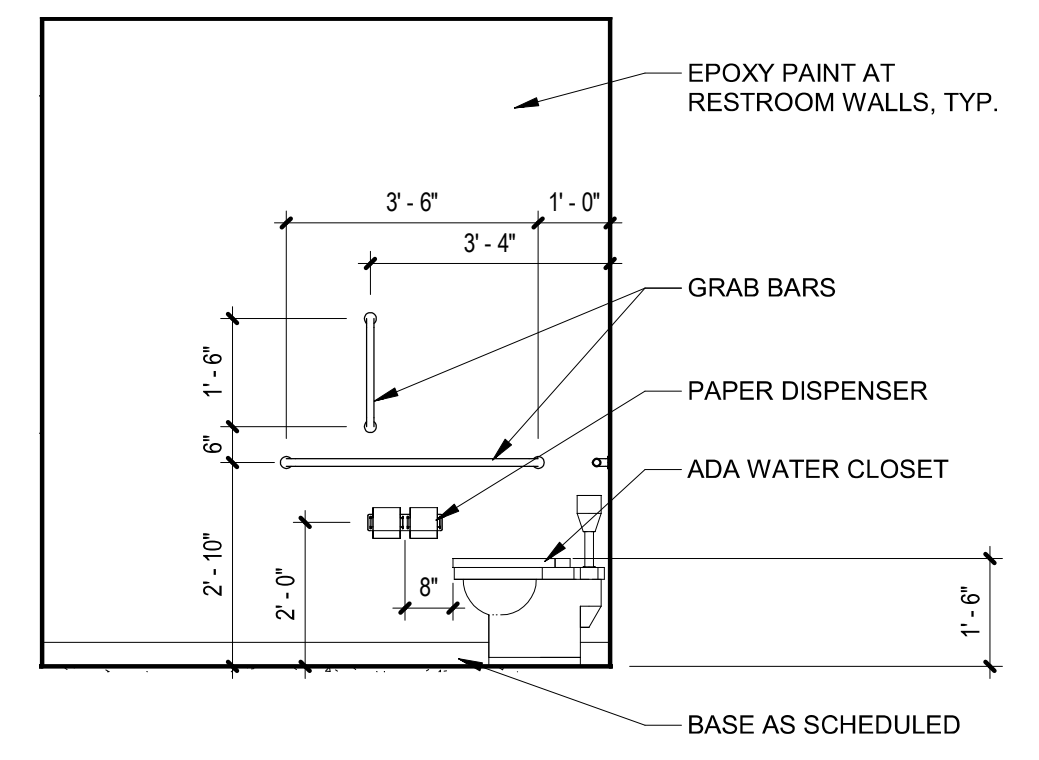


10 ART NICHE SECTION
A5.1 3/4" = 1'-0"

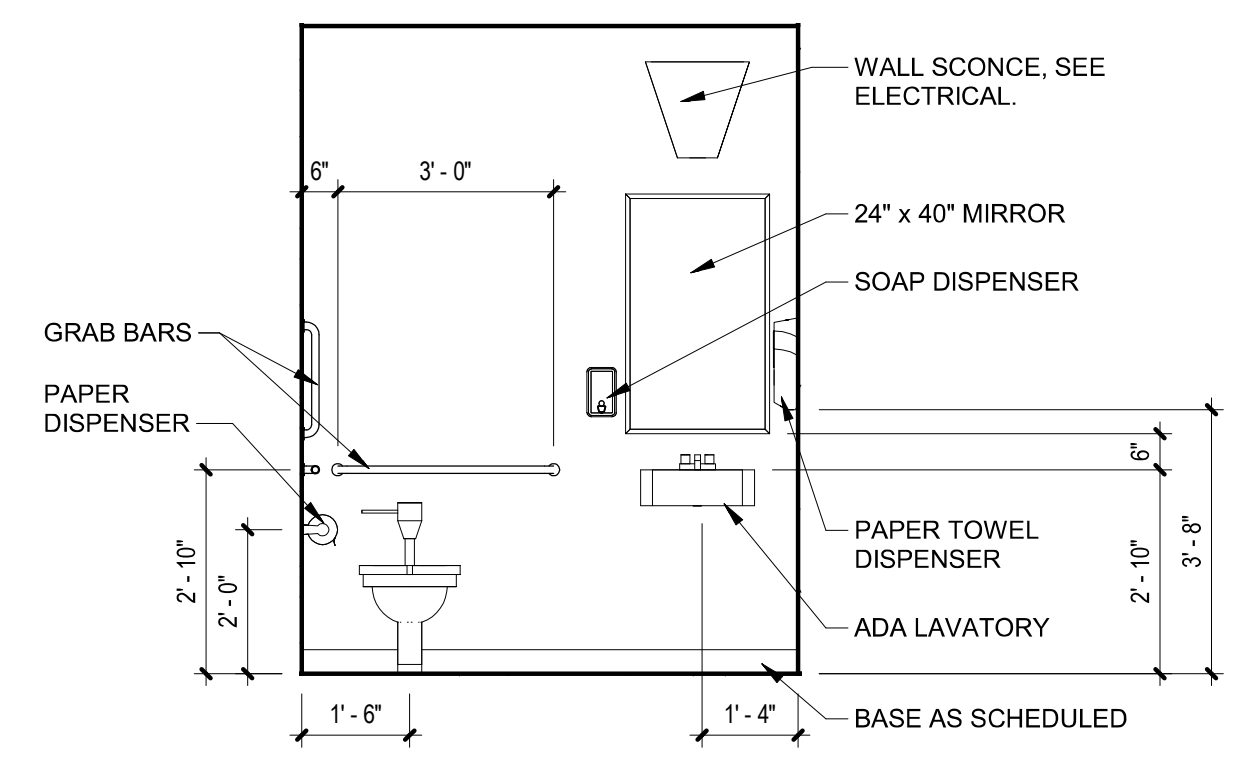
12 RECEPTION COUNTER SECTION
A5.1 3/4" = 1'-0"



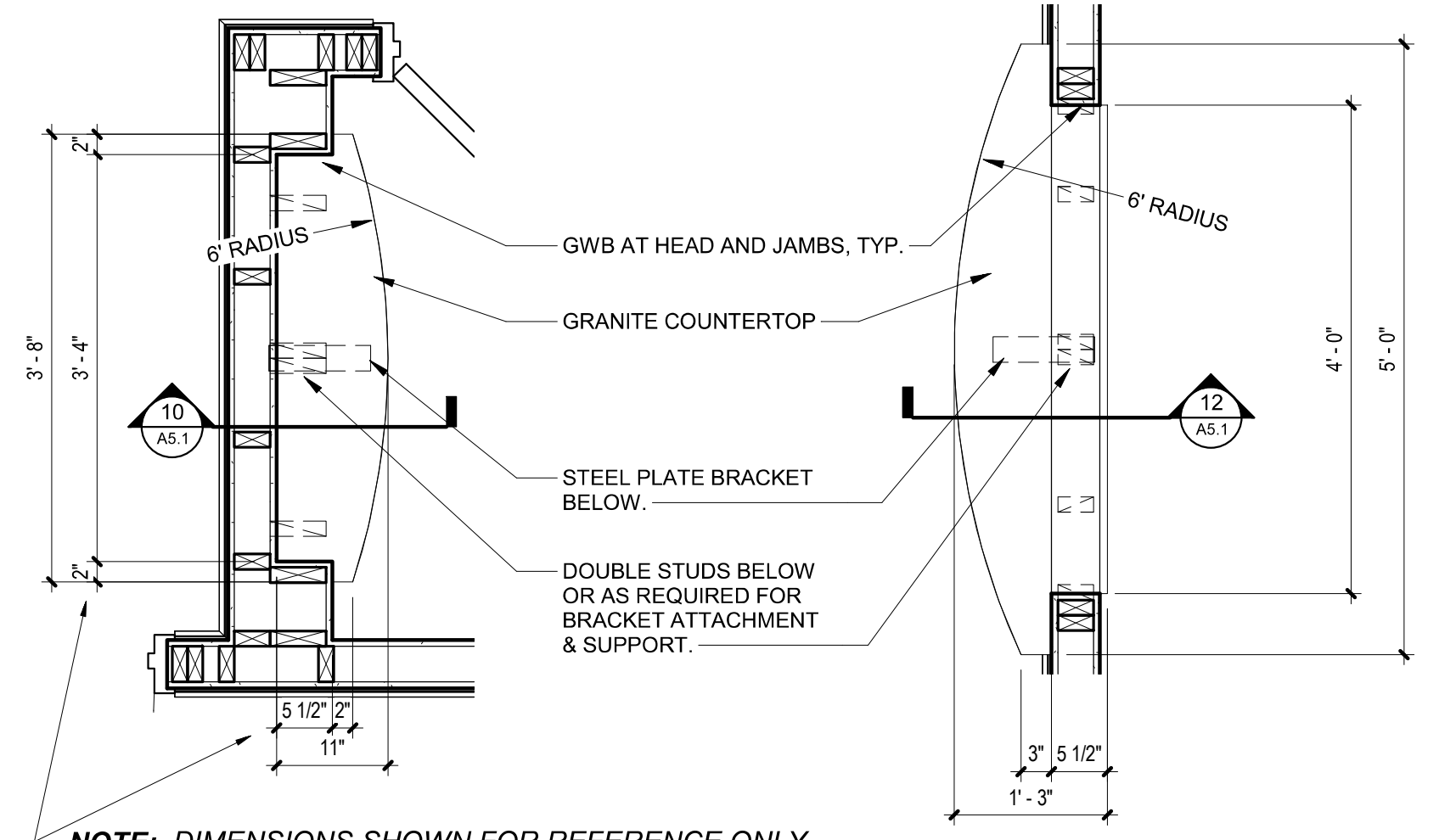
7 FLOOR PATTERN PLAN
A5.1 3/16" = 1'-0"



8 TOILET - SIDE WALL
A5.1 3/8" = 1'-0"



9 TOILET - WET WALL
A5.1 3/8" = 1'-0"



11 ART NICHE PLAN
A5.1 3/4" = 1'-0"


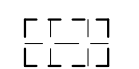
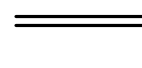

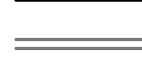
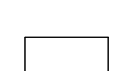
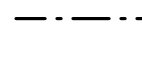

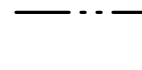
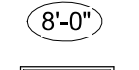

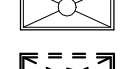

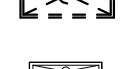






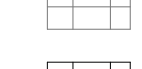

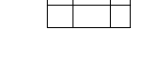
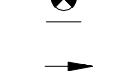

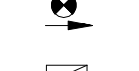



13 RECEPTION COUNTER PLAN
A5.1 3/4" = 1'-0"

DATE	ISSUE

GENERAL NOTES:

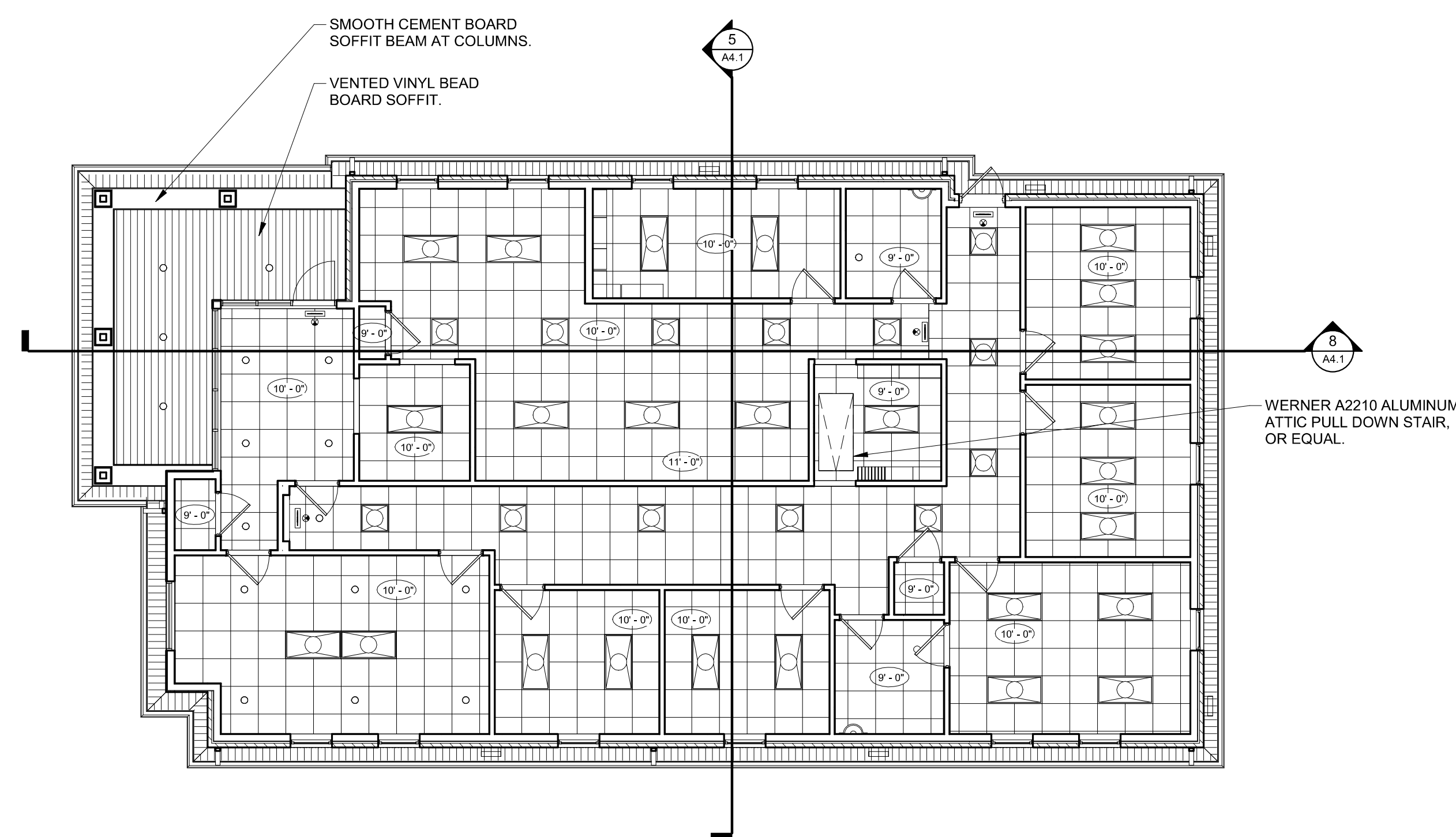
- GENERAL CONTRACTOR IS ADVISED THAT RENOVATION WORK WILL BE TAKING PLACE WITHIN AN OPERATIONAL MEDICAL FACILITY. GENERAL CONTRACTOR SHALL DEMOLISH EXISTING CEILING SYSTEMS TO MAINTAIN A COMPLETE CEILING SYSTEM IN ALL ROOMS AND AREAS THAT ARE TO REMAIN OCCUPIED DURING CONSTRUCTION. COMPLETE CEILING SYSTEMS SHALL ABUT TIGHT TO EXISTING, NEW OR TEMPORARY WALLS AND SHALL NOT BE OPEN TO STRUCTURE ABOVE.
- PHASING PLANS INDICATED ARE THE ARCHITECT'S BEST JUDGEMENT ON HOW TO PHASE EXISTING AND NEW CONSTRUCTION TO ACCOMPLISH NEW WORK WITHOUT DISRUPTING THE EXISTING OPERATIONAL FACILITY.
- GENERAL CONTRACTOR SHALL REVIEW THE OUTLINED PHASING FOR CONSTRUCTABILITY AND SHALL BE RESPONSIBLE FOR MAKING ANY MODIFICATIONS TO THE PHASING PLAN TO ACCOMPLISH THE WORK AND KEEP THE EXISTING FACILITY OPERATIONAL DURING CONSTRUCTION. ALL PHASING WORK AND MODIFICATIONS SHALL BE COORDINATED WITH OWNER.
- DEMOLITION INDICATED SHALL INCLUDE EXISTING CEILING SYSTEM IN ITS ENTIRETY, EXISTING MECHANICAL DUCTWORK AND LIGHTING FIXTURES AND SUPPORTS AS PER MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION. EXISTING LIGHTING FIXTURES MAY BE RE-USED FOR TEMPORARY LIGHTING IN AREAS WITH TEMPORARY CEILINGS SPECIFIED. ALL OTHER LIGHT FIXTURES SHALL BE DISCARDED. EXISTING SPRINKLER SYSTEMS SHALL BE MODIFIED AS NECESSARY TO PROVIDE TEMPORARY PROTECTION IN TEMPORARY AREAS AND CONSTRUCTION WITHOUT CEILINGS. EXISTING MECHANICAL DUCTWORK SHALL BE REMOVED BACK TO DEMOLITION PERIMETER AND CAPPED AS NECESSARY. REFER TO MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE PROTECTION DRAWINGS FOR A FULL DESCRIPTION OF WORK.
- TEMPORARY WALLS INDICATED SHALL EXTEND TO UNDERSIDE OF STRUCTURE ABOVE. EXISTING CEILING SYSTEMS SHALL BE CUT BACK ON EITHER SIDE TO ACCOMMODATE TEMPORARY WALL INSTALLATION AND RECONSTRUCTED TO FIT TIGHT AGAINST TEMPORARY WALL.
- ARCHITECTURAL REFLECTED CEILING PLAN SHOWS THE GENERAL LAYOUT AND LOCATION OF SYSTEMS. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR TYPE AND SIZE OF EACH FIXTURE.
- ACOUSTICAL CEILING TILE ASSEMBLIES ARE LOCATED AT 8'-6" AFF, TYPE ACT-1, UNLESS NOTED OTHERWISE.
- GYPSUM WALL BOARD FURRDOWNS ARE LOCATED AT 8'-0" AFF UNLESS NOTED OTHERWISE.
- SMOKE DETECTOR AND OTHER ELECTRICAL AND MECHANICAL EQUIPMENT SHALL BE CENTERED IN THE CEILING TILE OR UNIFORMLY SPACED AT TYPE-X GYPSUM BOARD CEILINGS.
- SEE SPECIFICATIONS FOR TYPE-X GYPSUM BOARD CEILING CONTROL JOINT INFORMATION.
- COORDINATE LOCATION OF CEILING TILES LOCATED BELOW DAMPERS TO BE REMOVED TO BALANCE HVAC SYSTEMS. TILES TO BE MARKED PER MECHANICAL DRAWINGS AND SPECS.
- SPRINKLER ESCUTCHEONS IN TYPE-X GYPSUM BOARD FURR DOWNS TO BE FACTORY PAINTED TO MATCH CEILING COLOR.
- CONTRACTOR SHALL APPLY ACCOUSTICAL SEALANT AT EDGES OF ALL EDGE TRIM MOLDINGS WITH GAPS THAT EXCEED 1/8" FROM FACE OF WALL.

LEGEND

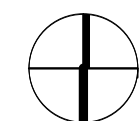
	AREA OF WORK NOT IN CONTRACT		EXISTING SUSPENDED ACOUSTICAL TILE TO BE REMOVED
	NEW WOOD STUD CONSTRUCTION (RE: PARTITION TYPES)		TEMPORARY SUSPENDED ACOUSTICAL TILE, COORDINATE HEIGHT WITH ADJACENT CEILINGS AND WALLS
	TEMPORARY WALLS		TEMPORARY SUSPENDED ACOUSTICAL TILE TO BE REMOVED
	EXISTING TO REMAIN		NO CEILING
	1 HOUR FIRE RATED WALL CONSTRUCTION (RE: PARTITION WALL TYPES)		CEILING HEIGHT
	2 HOUR FIRE RATED WALL CONSTRUCTION (RE: PARTITION WALL TYPES)		2X4 LIGHT FIXTURE (RE: ELECTRICAL)
	SMOKE TIGHT WALL CONSTRUCTION (RE: PARTITION WALL TYPES)		LIGHT FIXTURE TO BE DEMOLISHED (RE: ELECTRICAL)
	SUPPLY AIR (RE: MECHANICAL)		1X4 LIGHT FIXTURE (RE: ELECTRICAL)
	RETURN AIR (RE: MECHANICAL)		WALL MOUNTED LIGHT FIXTURE (RE: ELECTRICAL)
	EXHAUST FAN (RE: MECHANICAL)		2X2 LIGHT FIXTURE (RE: ELECTRICAL)
	TYPE-X GYPSUM BOARD CEILING		RECESSED DOWN LIGHT (RE: ELECTRICAL)
	EXISTING GYPSUM BOARD CEILING TO BE REMOVED		TEMPORARY EXIT LIGHT (RE: ELECTRICAL)
	EXISTING SUSPENDED ACOUSTICAL TILE TO REMAIN		WALL MOUNTED EXIT LIGHT (RE: ELECTRICAL)
	SUSPENDED ACOUSTICAL TILE (ACT-1 UNLESS NOTED OTHERWISE)		CEILING MOUNTED EXIT LIGHT WITH DIRECTIONAL ARROWS (RE: ELECTRICAL)
			ACCESS PANEL

KEYNOTES: (FIRST FLOOR REFLECTED CEILING PLAN)

X.



PROJECT NORTH



1
A6.1

FIRST FLOOR REFLECTED CEILING PLAN

1/8" = 1'-0"

ISSUE DATE

McMath Construction
Office Building

Lot 2C Phillips Business Park

Schematic Design

Date
7 April 2020

Project Location

Key Plan

REFLECTED CEILING PLAN

Job No. 220022.01

Drawn by Author Checked by Checker

A6.1

Sheet No.

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