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TOC 10.84  
INV 8.17

\*11.08

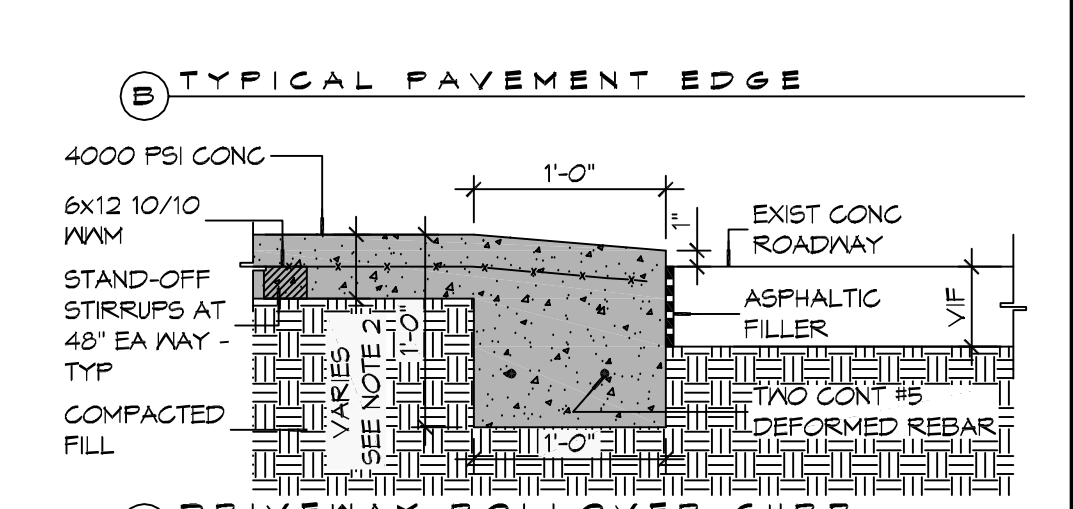
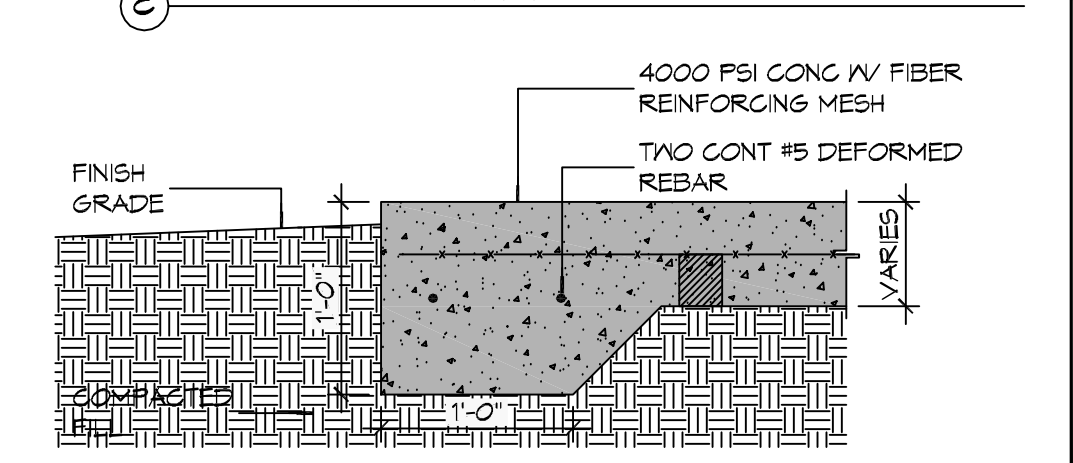
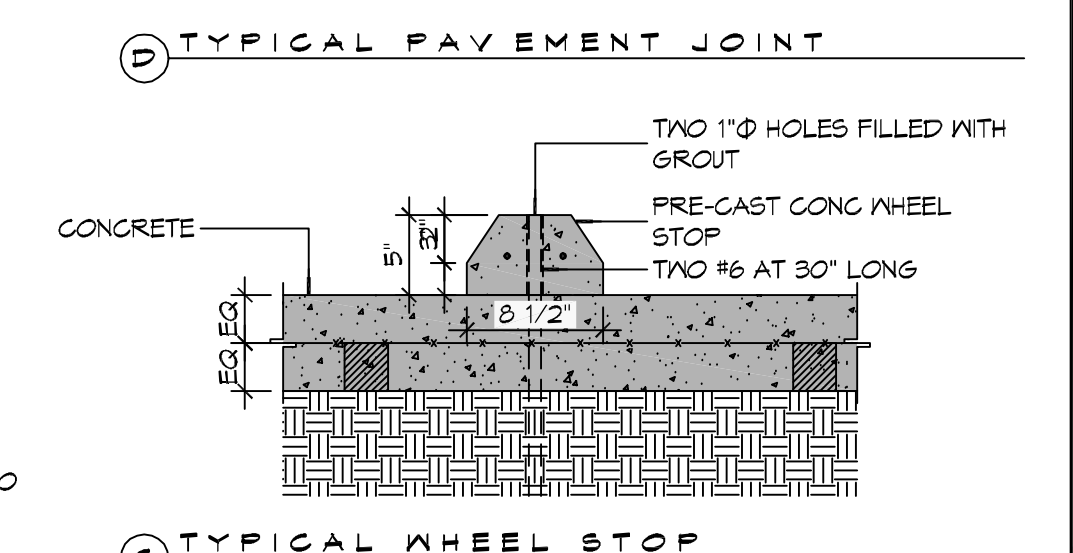
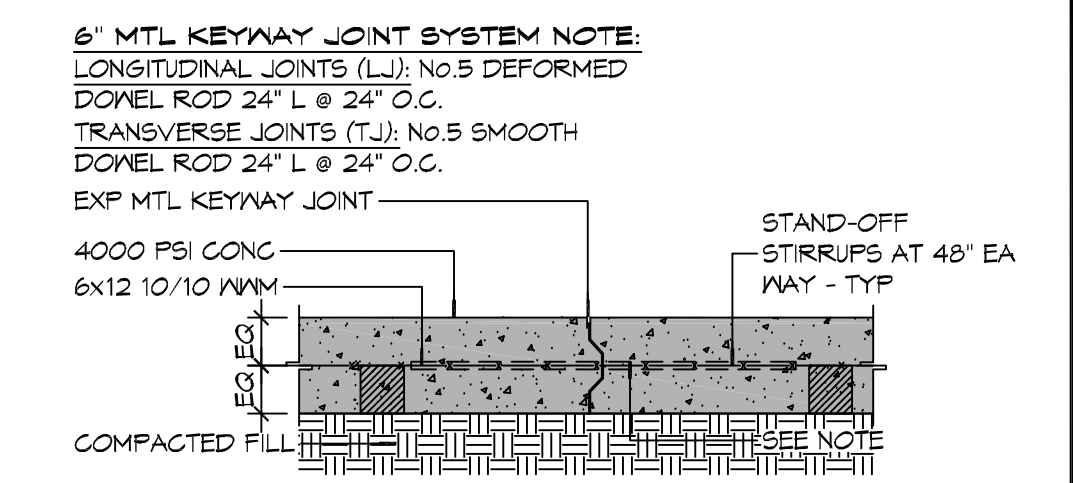
7TH STREET

TOC 10.44  
INV 8.26

TOC 10.55  
INV 7.42

### GENERAL PAVING NOTES

- ALL NEW CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND A MINIMUM THICKNESS OF 6". CONCRETE MIX SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF ASTM C-150 TYPE 1.
- CONCRETE PAVING THICKNESS SHALL VARY AS FOLLOWS:
  - APRONS & LOADING AREAS = 8" THICKNESS (INDICATED WITH CROSS HATCH WHERE OCCURS)
  - DRIVE LANES & PARKING AREAS = 6" THICKNESS (STANDARD UNO)
- ALL REINFORCING STEEL SHALL MEET ASTM-A615 (GRADE 60).
- ALL REINFORCING STEEL SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACEMENT. ALL CONTROL AND EXPANSION JOINTS SHALL BE LOCATED AND INSTALLED AS SHOWN ON THE PAVING PLAN AND IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- ALL SUB GRADE FILL SHALL BE SELECT GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY IN A MAXIMUM OF 6" LIFTS.
- ANY WORK WITHIN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFORM MANUAL OF TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL NECESSARY TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.



### 1 DETAILS

SCALE: 1" = 1'-0"

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REVISIONS	DATE	DESCRIPTION

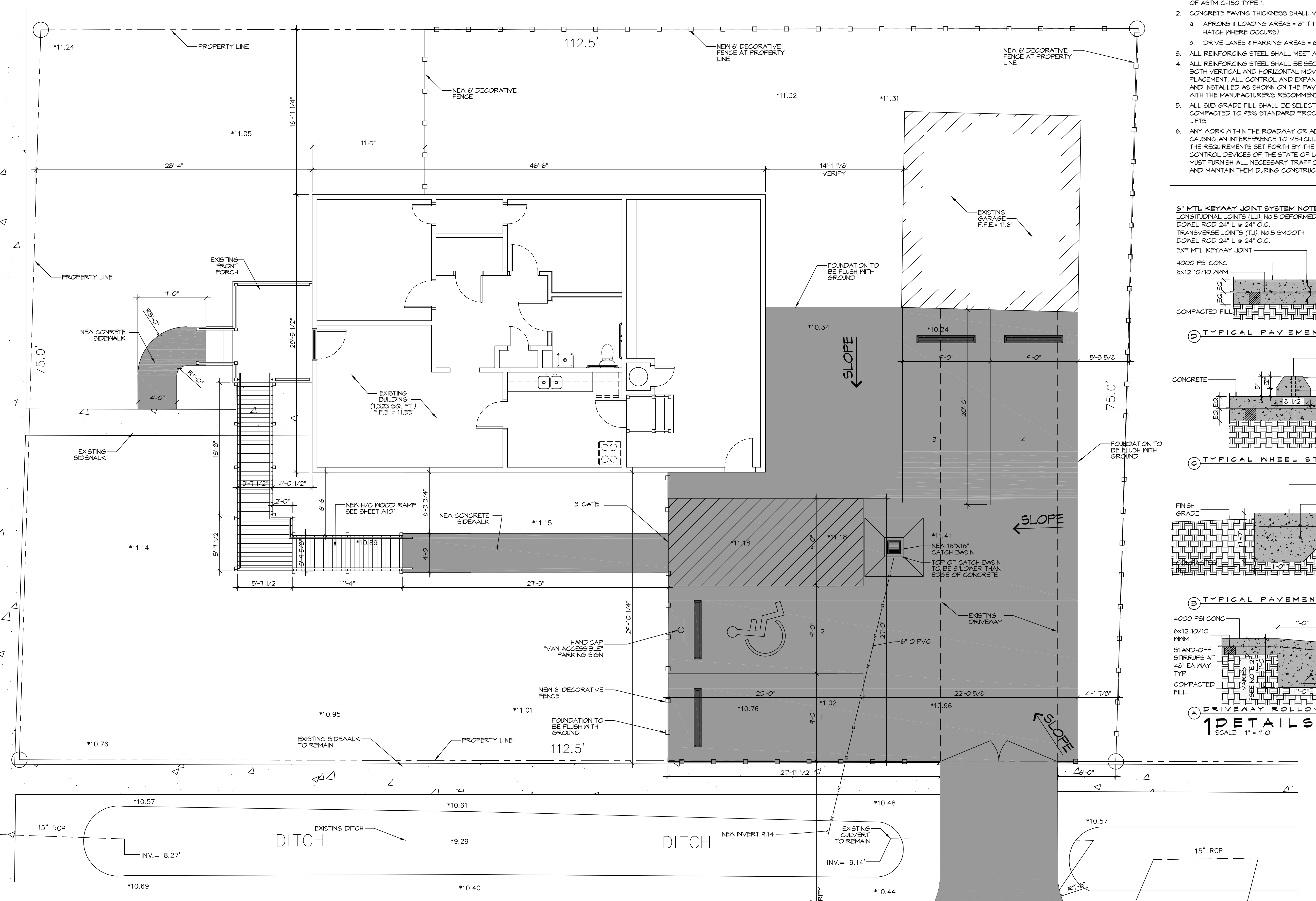


A OFFICE BUILDING & SITE RENOVATION FOR  
**FRAZIER INDUSTRIES INC.**  
 JOHN FRAZIER  
 1992 7TH STREET  
 SLIDELL, LA 70459  
 JOB No: 04-20-2016  
 DATE: 04-20-2016  
 DRAWN BY: JWS  
 CHECKED BY: JTL

SHEET TITLE:  
 SITE PLAN

DRAWING NUMBER:  
**C101**

SHEET No: 2 of 3

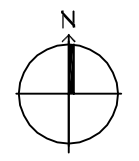


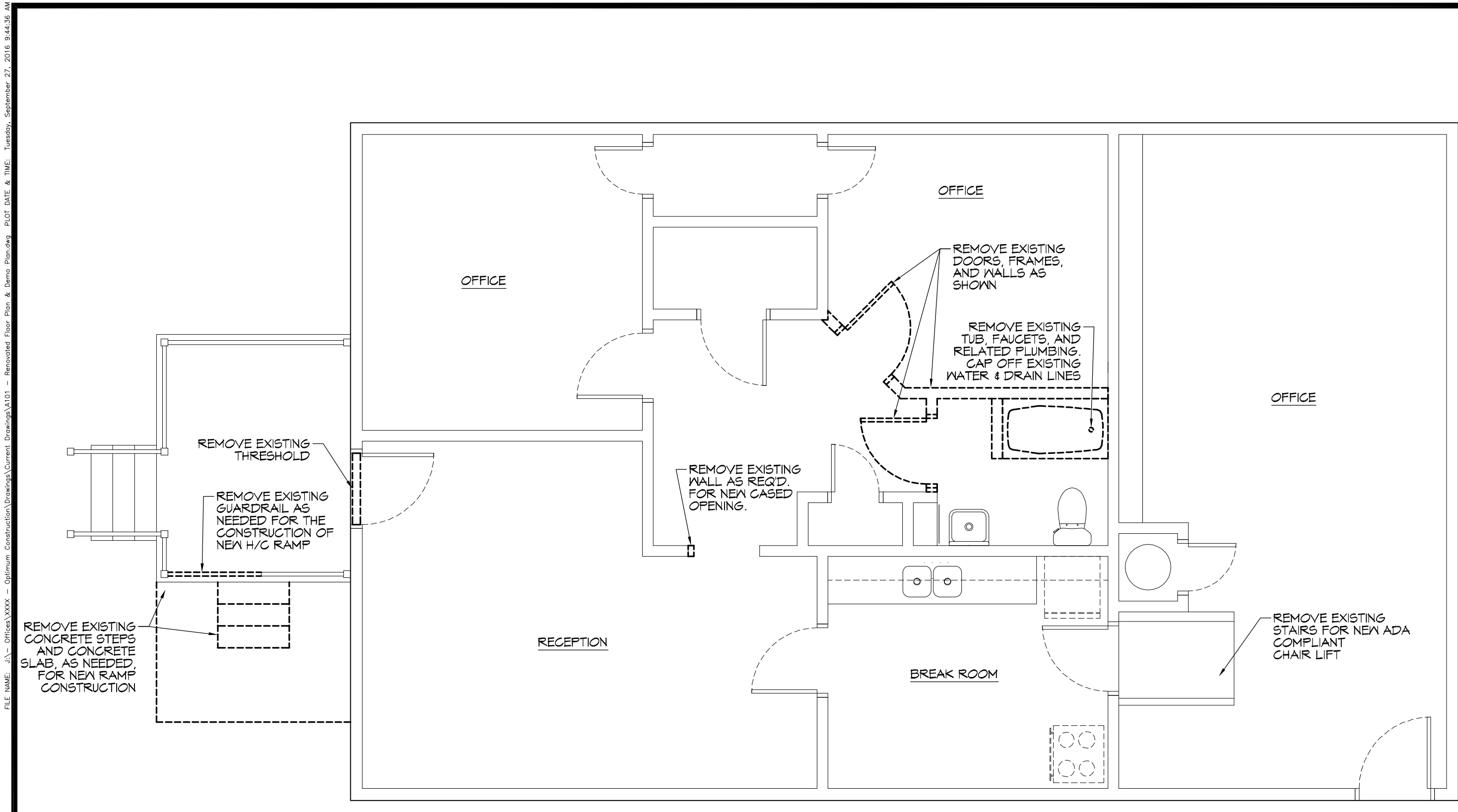
LOUISIANA AVENUE

REVIEWED FOR  
 STATE FIRE MARSHAL  
 AS PER REVIEW LETTER  
 BY: WILLIAM D. JONES, ARCHITECT, CBO  
*William D. Jones*

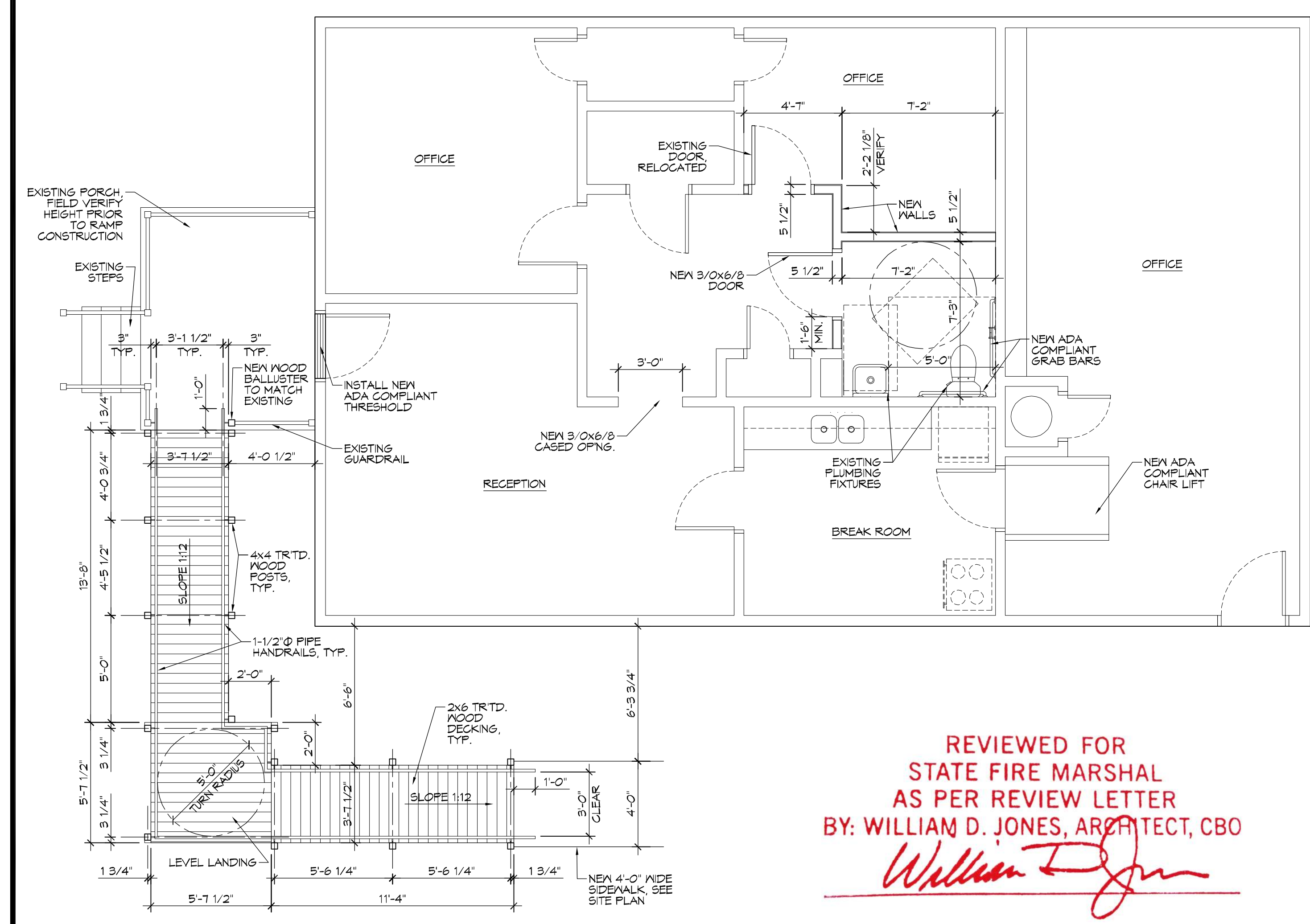
### 1 SITE PLAN

SCALE: 1" = 5'-0"





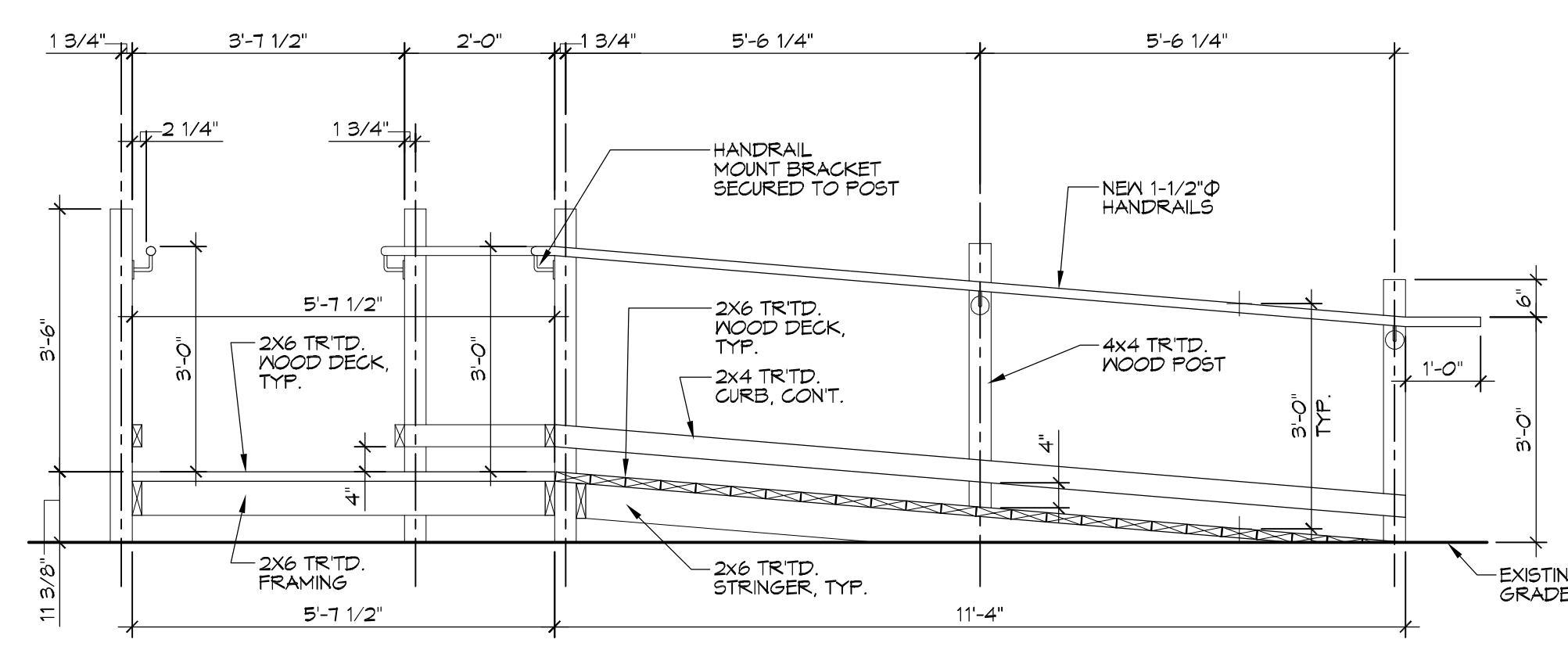
**2 DEMO PLAN**  
SCALE: 1/4"=1'-0"



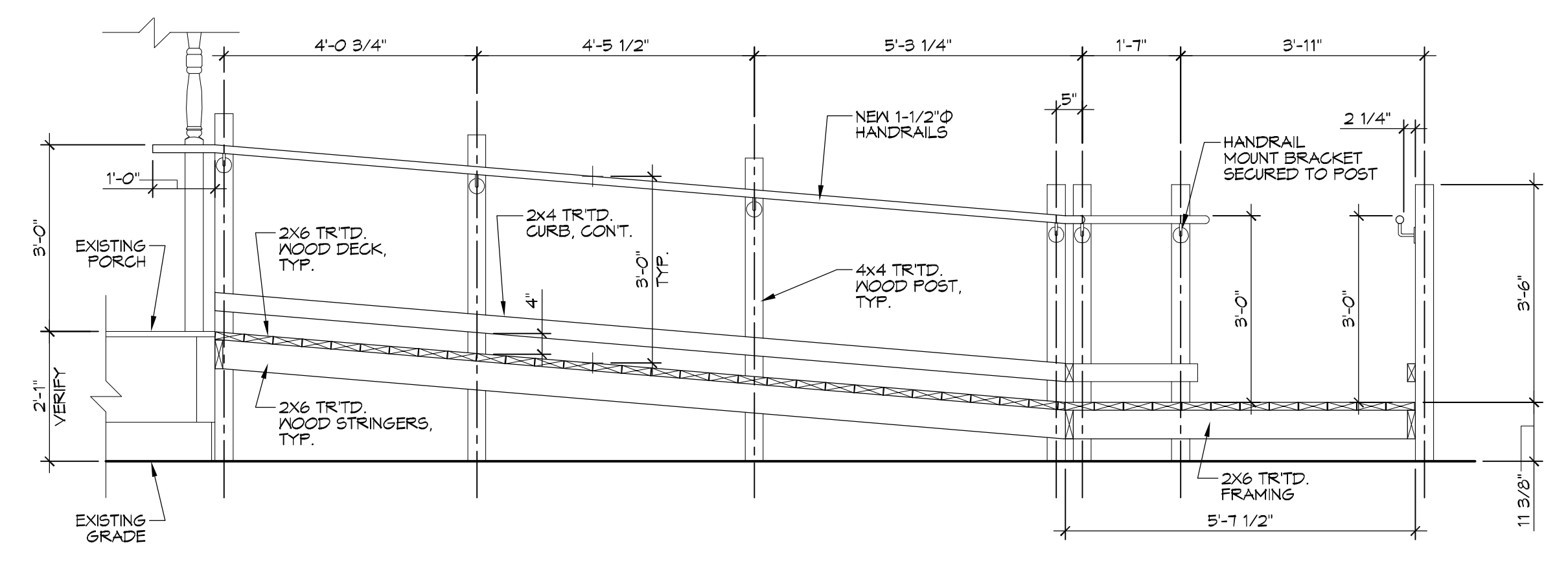
**1 FLOOR PLAN**  
SCALE: 1/4"=1'-0"

REVIEWED FOR  
STATE FIRE MARSHAL  
AS PER REVIEW LETTER  
BY: WILLIAM D. JONES, ARCHITECT, CBO  
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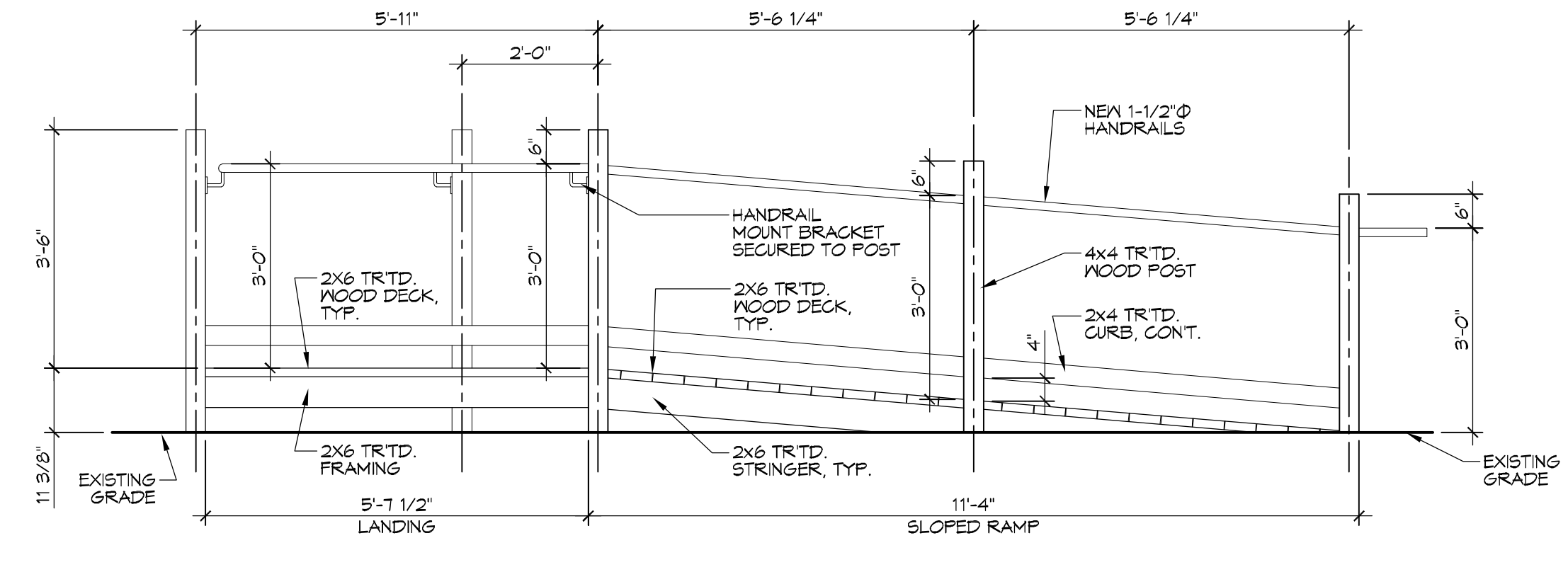
NEATLY RENOVATED FLOOR PLAN WITH EXTERIOR H/C RAMP



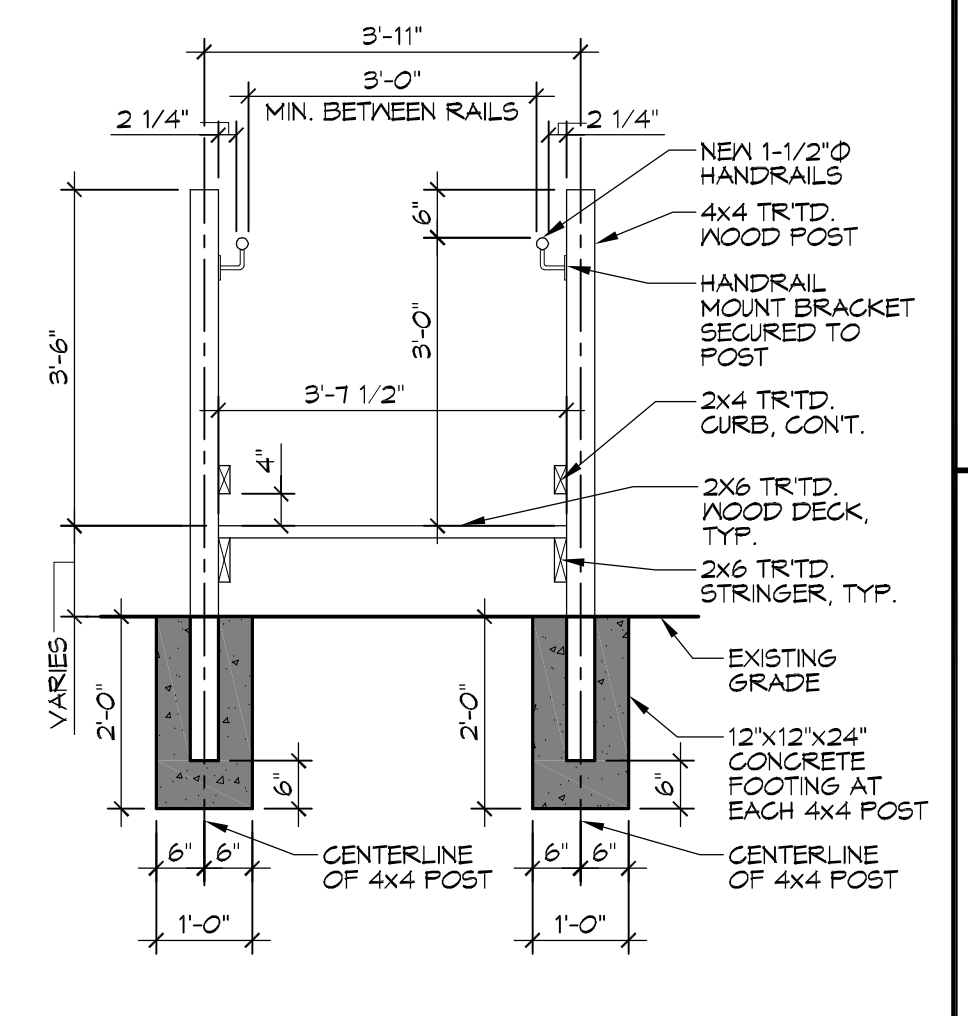
**6 RAMP SECTION**  
SCALE: 1/2"=1'-0" HANDICAP RAMP SHORT SIDE SECTION



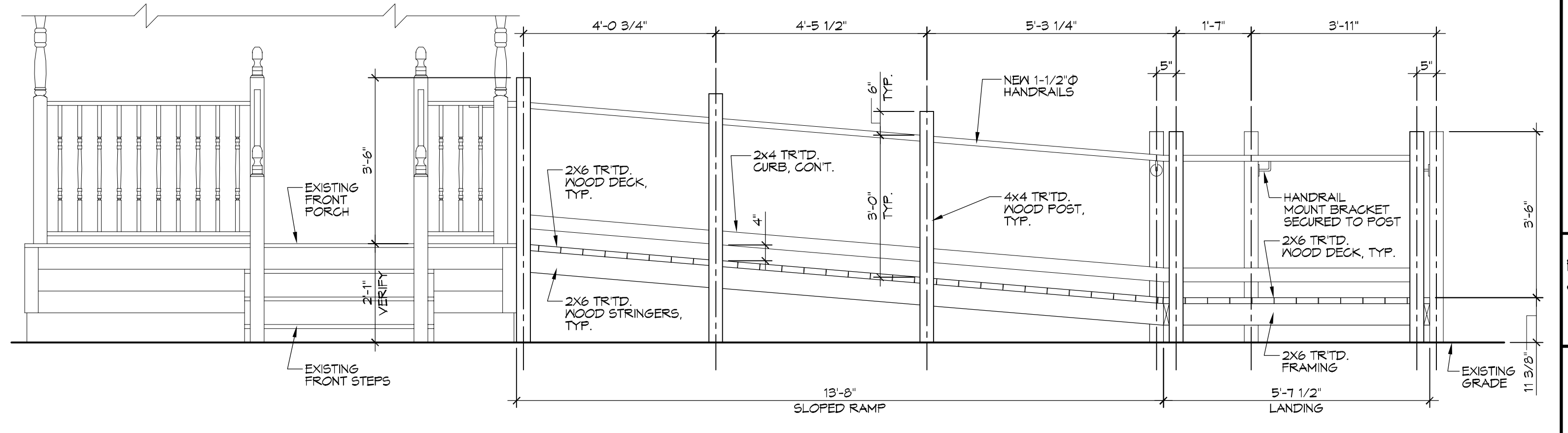
**5 RAMP SECTION**  
SCALE: 1/2"=1'-0" HANDICAP RAMP LONG SECTION



**4 RAMP ELEVATION**  
SCALE: 1/2"=1'-0" HANDICAP RAMP SIDE ELEVATION



**7 SECTION**  
SCALE: 1/2"=1'-0" TYP. CROSS-SECTION



**3 RAMP ELEVATION**  
SCALE: 1/2"=1'-0" HANDICAP RAMP FRONT ELEVATION

**DEMOLITION NOTES**

1. REMOVE ALL WALLS (GYPSUM BOARD, STUDS, & OTHER FRAMING) AS INDICATED ON DEMOLITION DRAWINGS, ALONG WITH ANY ELECTRICAL AND/OR MECHANICAL ITEMS IN SAID WALLS.
2. PRIOR TO REMOVAL OF ANY ELECTRICAL AND/OR MECHANICAL ITEMS, THE CONTRACTOR SHALL COORDINATE WITH THE OWNER THE SHUTDOWN AND STARTUP SEQUENCE WITH THE NEW ELECTRICAL AND MECHANICAL WORK.
3. REMOVE ALL DOORS AND FRAMING WHERE INDICATED ON DRAWINGS.
4. REMOVE ALL PLUMBING FIXTURES WHERE INDICATED ON DRAWINGS. CAP ALL DRAIN LINES, WATER LINES, ETC.
5. THE CONTRACTOR IS RESPONSIBLE TO COMPLY WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS IN THE REMOVAL/DEMOLITION OF ANY HAZARDOUS MATERIALS.
6. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED BY LOCAL AUTHORITIES.
7. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVALS AND NOTIFICATIONS TO ALL LOCAL, STATE, AND FEDERAL AUTHORITIES.
8. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ITEMS THAT ARE INTENDED TO REMAIN AND SHALL REPAIR ANY DAMAGED ITEMS TO LIKE NEW CONDITION.
9. IF NOT SHOWN ON THE DEMOLITION DRAWINGS, THE CONTRACTOR SHALL REMOVE ALL EXISTING MATERIALS AS NECESSARY TO COMPLETE ALL NEW WORK AS REQUIRED BY OTHER PORTIONS OF THE CONTRACT DOCUMENTS.
10. SALVAGE RIGHTS FOR ALL DEMOLISHED MATERIALS SHALL FIRST BE GIVEN TO THE OWNER. ANY MATERIALS NOT RETAINED BY THE OWNER SHALL BE REMOVED FROM THE SITE AND DISPOSED OF BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

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DATE	REVISIONS	DESCRIPTION



**FRAZER INVESTMENTS INC.**  
A OFFICE BUILDING & SITE RENOVATION FOR  
JOHN FRAZER  
1352 7TH STREET  
SLIDELL, LA 70469  
JOB No: 04-20-2018  
DRAWN BY: JTL  
CHECKED BY: JTL  
DATE: 04-20-2018  
SHEET TITLE: RENOVATED FLOOR PLAN & DEMO PLAN  
DRAWING NUMBER:  
**A101**  
SHEET No: 3 of 3