

Addendum



Project:
Location:
Date:

Addm.#:

Subject:

To:

From:

Action Required:

Applicable Drawings/Specifications:

Date Required:

Cost Impact:

Schedule Impact:

Question:

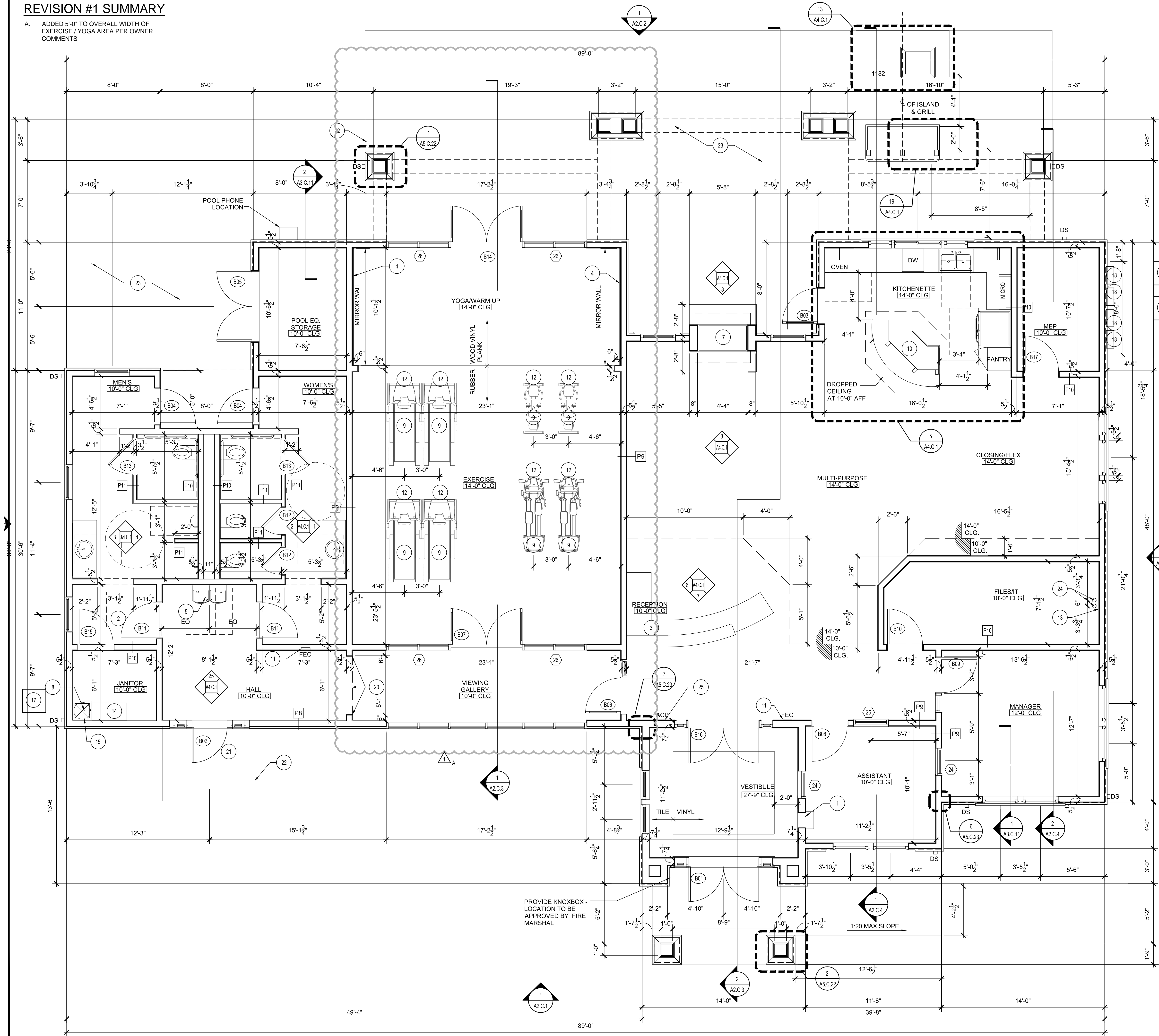
Response Date:

Response By:

Response:

REVISION #1 SUMMARY

A. ADDED 5'-0" TO OVERALL WIDTH OF EXERCISE/YOGA AREA PER OWNER COMMENTS



1 FIRST FLOOR PLAN - CLUBHOUSE
SCALE: 1/4"=1'-0"
NORTH

LEGEND

- (X) KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION
- (X-X) DOOR TAG - SEE SHEET A6.01 FOR MORE INFORMATION
- (X) WINDOW TAG - SEE SHEET A6.02 FOR MORE INFORMATION

GENERAL NOTES

1. CONTRACTOR TO LOCATE METER BANK IN FIELD. LOCATE AT END OF BUILDING CLOSEST TO POWER COMPANY'S ELECTRICAL TRANSFORMER.
2. FLOOR PLANS SHALL BE CONSTRUCTED PER IBC CHAPTER 11 ACCESSIBILITY REQUIREMENTS AND LOCAL ORDINANCES.
3. CONDENSER PADS ARE SHOWN AS GRAPHIC REPRESENTATION OF PAD LOCATION. COORDINATE W/ MECHANICAL FOR FINAL LOCATION AND SPECS.
4. REFER TO MEP DRAWINGS FOR FIRE ALARM, PULL, CONTROL PANEL, SIGNALS, HORN LOCATIONS AND EXIT SIGNS.
5. CONSTRUCTION TO COMPLY WITH SECTION 1609 OF IBC REFER TO STRUCTURAL SHEETS FOR FRAMING CONNECTION DETAILS.
6. PROVIDE R-13 SOUND INSULATION AT ALL BATHROOM PERIMETER WALLS.
7. DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE EVENT OF A CONFLICT NOTIFY ARCHITECT BEFORE PROCEEDING.
8. REFER TO INTERIOR DESIGN DRAWINGS FOR FLOOR FINISH MATERIALS (JOINTS BETWEEN DIFFERENT MATERIALS TO BE LEVEL/FLUSH U.N.O.).
9. HEIGHT OF TABLES OR COUNTERS: THE TOPS OF ACCESSIBLE TABLES AND COUNTERS SHALL BE FROM 28" TO 34" AFF
10. KNEE CLEARANCES WHERE ADA SEATING IS PROVIDED AT TABLES OR COUNTERS, PROVIDE AT LEAST 27" HIGH, 30" WIDE, AND 19" DEEP.
11. CEILING HEIGHT IN RESTROOMS IS 9'-0" AFF. TYP. SEE FLOOR PLAN FOR CEILING TRANSITION LOCATION.
12. TOILET FIXTURES AND ACCESSORIES (MODEL, STYLE, AND FINISH) TO BE AS SELECTED BY OWNER.
13. PARTITIONS TO BE PARTITION TYPE P10 UNLESS OTHERWISE NOTED.
14. POOL AND POOL DECK BY OTHERS. SEE SITE PLAN FOR LAYOUT REFERENCE.
15. REFER TO SHEET A6.01 FOR DOOR SCHEDULE AND WINDOW SCHEDULE.

PLAN KEYED NOTES

- 1 DROPPED RENT SLOT, SALSBURY MAIL SLOT #2255 (TOP OF MAIL SLOT AT 48" AFF) WITH RECEPTACLE #2256
- 2 ATTIC ACCESS: 22" X 36" INSULATED, LOCKABLE PANEL. COORDINATE FINAL LOCATION W/OWNER - SEE DETAIL 23/A5.C.21
- 3 CURVED DESK/COUNTER W/ 42" HIGH GRANITE TRANSACTION COUNTER AND 30" HIGH WORKSTATION COUNTER W/ GRANITE TOP. PROVIDE 36" MIN. WIDE COUNTER AREA FOR ADA TRANSACTIONS. COORDINATE LAYOUT, CABINETS BELOW, AND FINISHES W/ OWNER
- 4 MIRROR WALL. PROVIDE (2) 5'-0"x8'-0" MIRROR PANELS. INSTALL 12" AFF
- 5 ADA ACCESSIBLE (H-I-L-O) DRINKING FOUNTAIN. PROVIDE EXTERIOR GRADE FOUNTAINS AT EXTERIOR LOCATIONS.
- 6 NOT USED
- 7 PREFABRICATED DOUBLE SIDED INDOOR/OUTDOOR GAS FIREPLACE SERIES: MONTEBELLO MODEL #LSM087 NG (BLACK PORCELAIN). PROVIDE HEARTH AND ALL ASSOCIATED ACCESSORIES AS SELECTED BY OWNER. REFER TO MATERIAL AND FINISH SPECIFICATIONS FOR FIREPLACE FINISHES. COORDINATE LOCATION FOR GAS VALVE W/ OWNER
- 8 MOP SINK W/ SHELF AND MOP HOOKS.
- 9 COORDINATE FITNESS EQUIPMENT LOCATIONS IN FIELD, PROVIDE ADEQUATE ELECTRICAL DEVICES - SEE ELECTRICAL
- 10 34" ISLAND W/ GRANITE STONE COUNTERTOP W/ DECORATIVE BRACKETS AND STONE BASE. REFER TO INTERIOR DESIGN MATERIAL AND FINISH SELECTIONS.
- 11 3-A-18-BC FIRE EXTINGUISHER IN RECESSED CABINET - BOTTOM OF CABINET AT 3'-2" AFF. CABINET SHALL NOT BE LOCKABLE AND SHALL NOT PROJECT GREATER THAN 4 INCHES.
- 12 PROVIDE POWER AND DATA FLOOR JACKS FOR EACH PIECE OF EQUIPMENT. DATA JACKS TO RECEIVE CAT5 AND COAX FOR EACH PIECE OF EQUIPMENT, NOT INCLUDING SPIN BIKES.
- 13 4' X 8' PLYWOOD BACKER BOARD FOR FUTURE DATA EQUIPMENT MOUNTED VERTICALLY ON WALL ABOVE BASE. PAINT.
- 14 5 - 18" SHELVES. SEE DETAIL 24/A4.C.1
- 15 LOCATION OF WATER HEATER ABOVE MOP SINK
- 16 NOT USED
- 17 CONDENSER UNITS
- 18 ELECTRICAL METERS/EQUIPMENT
- 19 NOT USED
- 20 WOOD CASED OPENING WITH TRIM TO MATCH TYPICAL DOOR
- 21 24 HR. ACCESS
- 22 FROST-PROTECTED STOOP WALLS BELOW, SEE STRUCTURAL
- 23 DECORATIVE, STAMPED CONCRETE PATIO, CONTINUE EXTENTS OF PATIO TO POOL DECK.
- 24 4" PVC CONDUIT FOR PHONE COMPANY
- 25 FIRE ALARM CONTROL PANEL



PHILLIPS

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CONSULTANT

SEAL

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION
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1	07/22/14	OWNER COMMENTS FOR PERMIT

PROJECT

SPRINGS AT FREMAUX TOWN CENTER
SLIDELL, LA

CLIENT

CONTINENTAL PROPERTIES
CONTINENTAL 294 FUND LLC
W134 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051
262.502.5500 FAX 262.502.5522

PHILLIPS JOB NUMBER 1333104

ISSUE DATE 07/07/14

DRAWN BY/CHECKED BY ATL/DEB

DRAWING TITLE FIRST FLOOR PLAN - CLUBHOUSE

SHEET NUMBER

A1.C.11

NORTH TERRACES
400 PERIMETER CENTER TERRACE
SUITE 650
ATLANTA, GEORGIA 30346



PHILLIPS

Phone 770.394.1616 Fax 770.394.1314

CONSULTANT

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PROJECT

SPRINGS AT FREMAUX TOWN CENTER SLIDELL, LA

CLIENT

CONTINENTAL PROPERTIES CONTINENTAL 294 FUND LLC W134 NB675 EXECUTIVE PARKWAY MEMPHIS, TN 38117 901.502.5500 FAX 901.502.5522

PHILLIPS JOB NUMBER 1333104

ISSUE DATE 07/07/14

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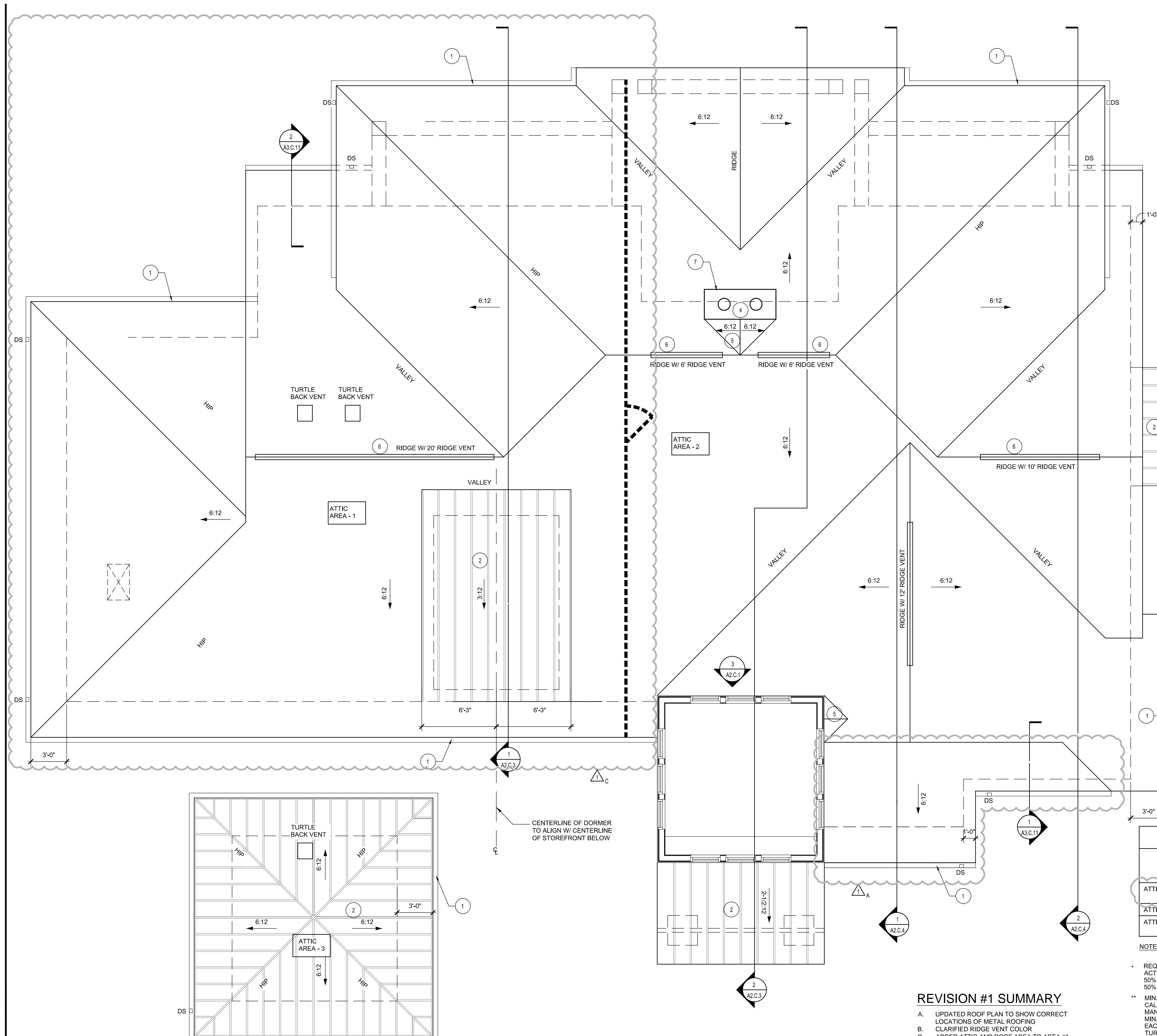
DRAWING TITLE

ROOF PLAN CLUBHOUSE

SHEET NUMBER

A1.C.12

NORTH TERRACES 400 PERIMETER CENTER TERRACE SUITE 650 ATLANTA, GEORGIA 30346



GENERAL NOTES

- REFER TO STRUCTURAL DRAWINGS FOR TRUSS LAYOUT AND CONFIGURATION.
- ROOFING CONTRACTOR TO PROVIDE VENTILATION IN ACCORDANCE W/ IBC 2009. VENTS SHALL BE GALV. STEEL OR ALUMINUM VENT W/ SCREEN. PAINT VENTS TO MATCH ROOF.
- REFER TO MECHANICAL AND PLUMBING PLANS FOR ROOF PENETRATION LOCATIONS.
- REFER TO WALL SECTIONS FOR SIZE AND TYPE OF VENTING AT EAVES.
- REFER TO DETAILS FOR TAPING REQUIREMENTS.
- REFER TO DETAILS FOR DIVERTER REQUIREMENTS.
- PROVIDE A MIN. OF 36" O.C 60 MIL. SELF-ADHERED ROOFING MEMBRANE FLASHING AT ALL RAKE WALLS, HEAD WALLS, CRICKETS, VALLEYS, HIPs AND RIDGES TYP.
- PROVIDE ICE AND WATER SHIELD AT ALL EAVES TO A DISTANCE OF 2'-0" FROM INTERIOR FACE OF EXTERIOR WALL (MIN), 18" EACH SIDE OF ALL VALLEYS, 18" UP VERTICAL PLANE AT ROOF TO WALL INTERSECTIONS.
- ALL DOWNSPOUTS TO BE 3"x4" PRE-FINISHED ALUMINUM.

PLAN KEYED NOTES

- PRE-FINISHED 5" ALUMINUM GUTTERS W/ METAL DRIP EDGE. COLOR AS SELECTED BY OWNER. PROVIDE DIVERTERS AND SPLASH GUARDS AT CORNERS AND VALLEYS
- STANDING SEAM PRE-FINISHED METAL ROOF, TYP., COLOR SELECTED BY OWNER
- NOT USED
- TERMINATION FOR CHIMNEY 2'-0" ABOVE ANY ROOF SURFACE WITH 10'-0" HORIZONTALLY (REFER TO TRUSS SUBMITTAL FOR WD FRAMING).
- ROOF CRICKET ASSEMBLY.
- RIDGE VENT TO MATCH SHINGLE COLOR.
- PRE-FINISHED U.L. APPROVED CHIMNEY TERMINATION CAP AND FLUE BY FIREPLACE MANUFACTURER.

ROOF LEGEND

- DS DOWNSPOUT - 3"x4" PRE-FINISHED ALUMINUM
- 22" x 36" LOCKABLE ATTIC ACCESS PANEL. REFER TO DETAIL 23/A5.C.21
- DRAFTSTOPPING IN ATTIC AREA. REFER TO FIRE BLOCKING AND DRAFTSTOPPING NOTES ON SHEET G0.20
- 22" x 36" ACCESS DOOR INSTALLED VERTICALLY IN DRAFTSTOPPING W/ SELF-CLOSING HINGES

ATTIC VENTILATION SCHEDULE

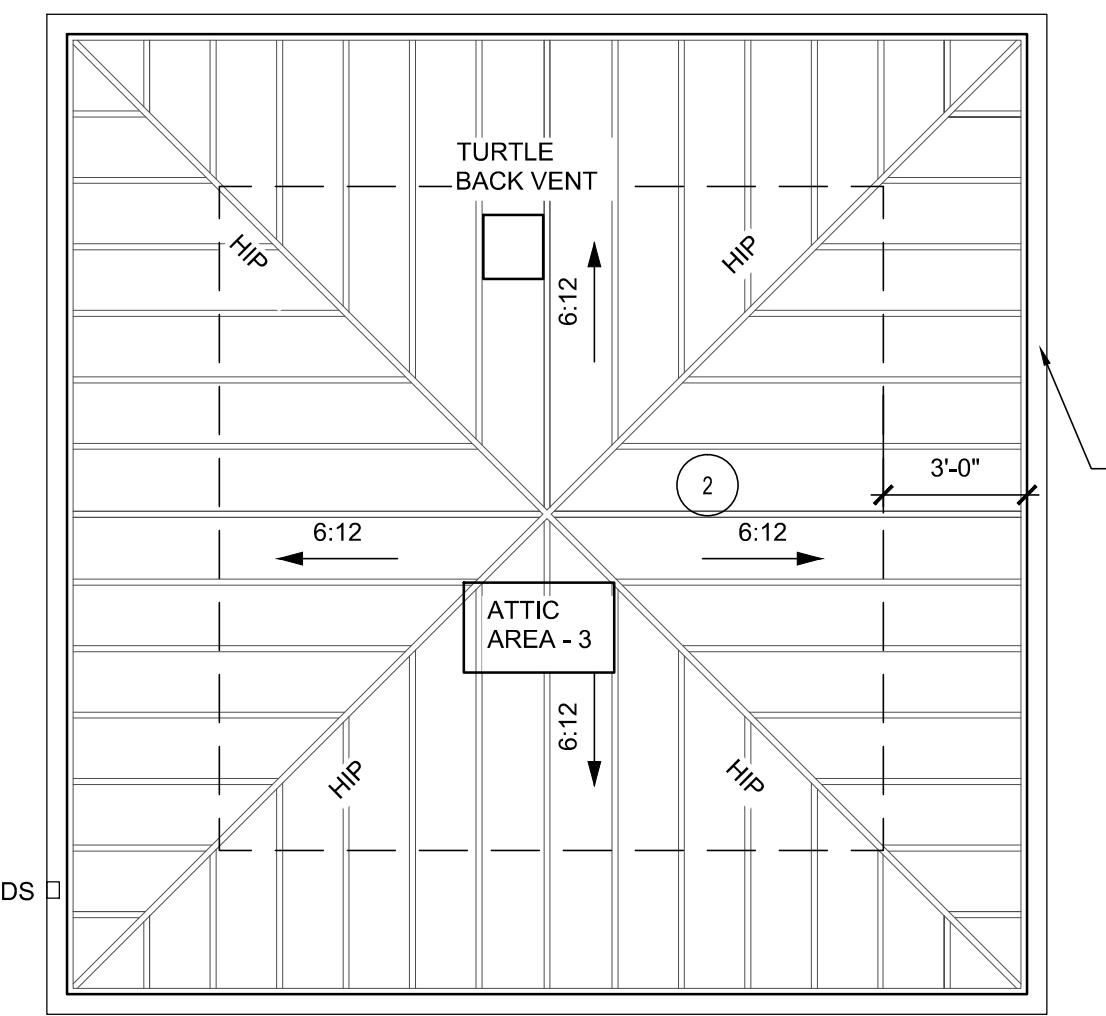
AREA	ATTIC AREA (SQ FT)	TOTAL NET FREE VENTED AREA REQ. [(1/300)X144] (SQ IN)	RIDGE (50%) (SQ IN)		SOFFIT (50%) (SQ IN)	
			REQ	PROVIDED	REQ	PROVIDED
ATTIC AREA 1	1923	923	462	20 LINEAL FT. & 2 TURTLE BACK VENTS	462	69 LINEAL FT.
ATTIC AREA 2	2292	1100	550	34 LINEAL FT.	550	93 LINEAL FT.
ATTIC AREA 3	195	94	47	1 TURTLE BACK VENT	47	6 LINEAL FT.

NOTE:

- * REQUIRED NET FREE VENTED AREAS ARE CALCULATED BY MULTIPLYING THE ACTUAL ATTIC AREA (SQ FT) BY 1/300 AND MULTIPLYING SUM BY 144 SQ IN/SQ FT. 50% OF TOTAL NET FREE VENTED AREA IS REQUIRED AT THE RIDGE (HIGH) AND 50% IS REQUIRED THE SOFFIT (LOW).
- ** MIN. REQUIRED LINEAL FEET OF VENTED RIDGE PROVIDED (HIGH AREAS) IS CALCULATED BY DIVIDING THE REQUIRED NET FREE AREA BY THE MANUFACTURERS STATED ACTUAL VENTED NET FREE AREA (BASED ON 18.0 SQ IN MIN. NET FREE AREA PER FT.). TURTLEBACK VENTS (BASED ON 50 SQ IN MIN. EACH) TO BE USED TO SUPPLEMENT RIDGE (HIGH) VENTING AS REQUIRED. PLACE TURTLE BACK VENTS ON REAR OF BUILDINGS, TYPICAL.
- *** MIN. REQUIRED NET FREE VENTED SOFFIT PROVIDED (LOW AREAS), CALCULATED BY DIVIDING THE REQUIRED NET FREE AREA OF SOFFIT (CONTINUOUS) VENT BY THE MANUFACTURERS STATED ACTUAL VENTED NET FREE AREA (BASED ON 5.9 SQ IN MIN. NET FREE AREA PER FT.). SOFFIT VENTING SHALL BE EVENLY DISTRIBUTED BETWEEN EAVES.

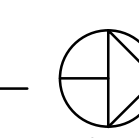
REVISION #1 SUMMARY

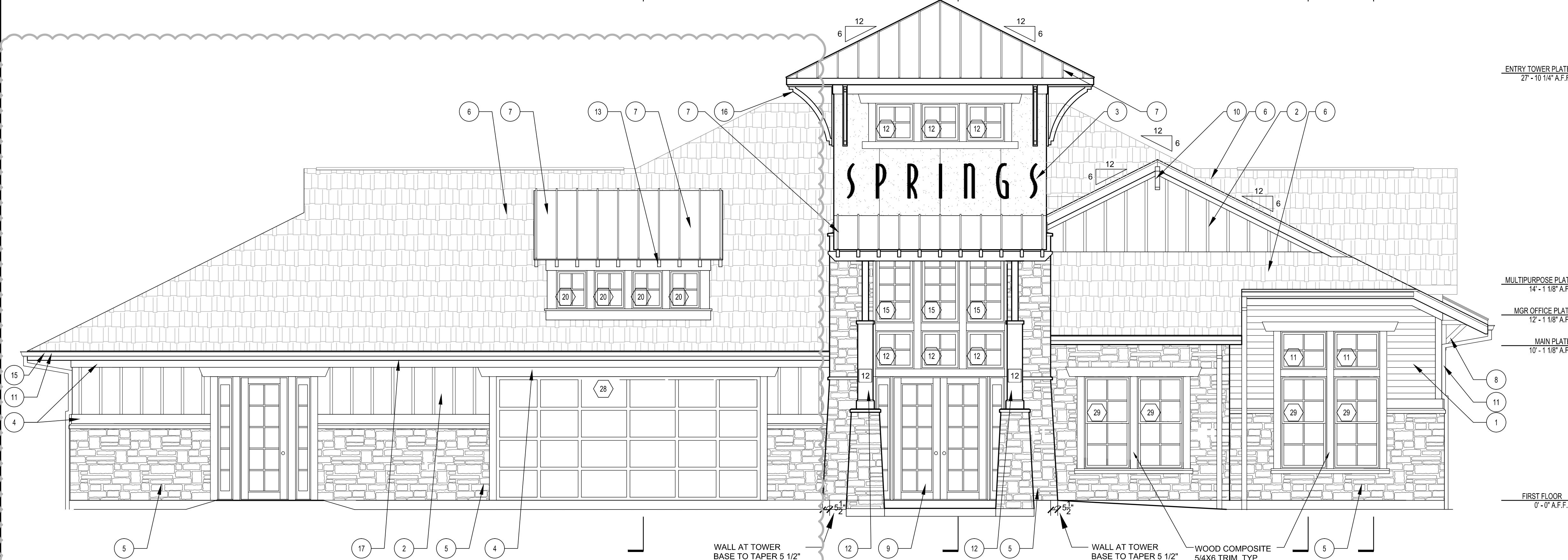
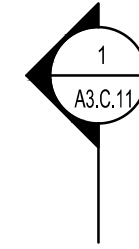
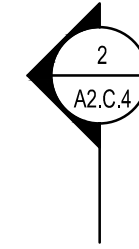
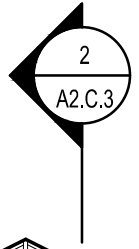
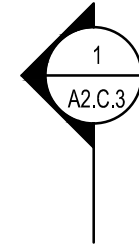
- UPDATED ROOF PLAN TO SHOW CORRECT LOCATIONS OF METAL ROOFING
- CLARIFIED RIDGE VENT COLOR
- ADDED ATTIC AND ROOF AREA TO AREA #1 TO COORDINATE WITH ADDITIONAL FLOOR AREA
- UPDATED ATTIC VENTILATION SCHEDULE FOR ADDITIONAL ATTIC AND ROOF AREA



2 TOWER ROOF PLAN - CLUBHOUSE SCALE: 1/4"=1'-0"

1 ROOF PLAN - CLUBHOUSE SCALE: 1/4"=1'-0"

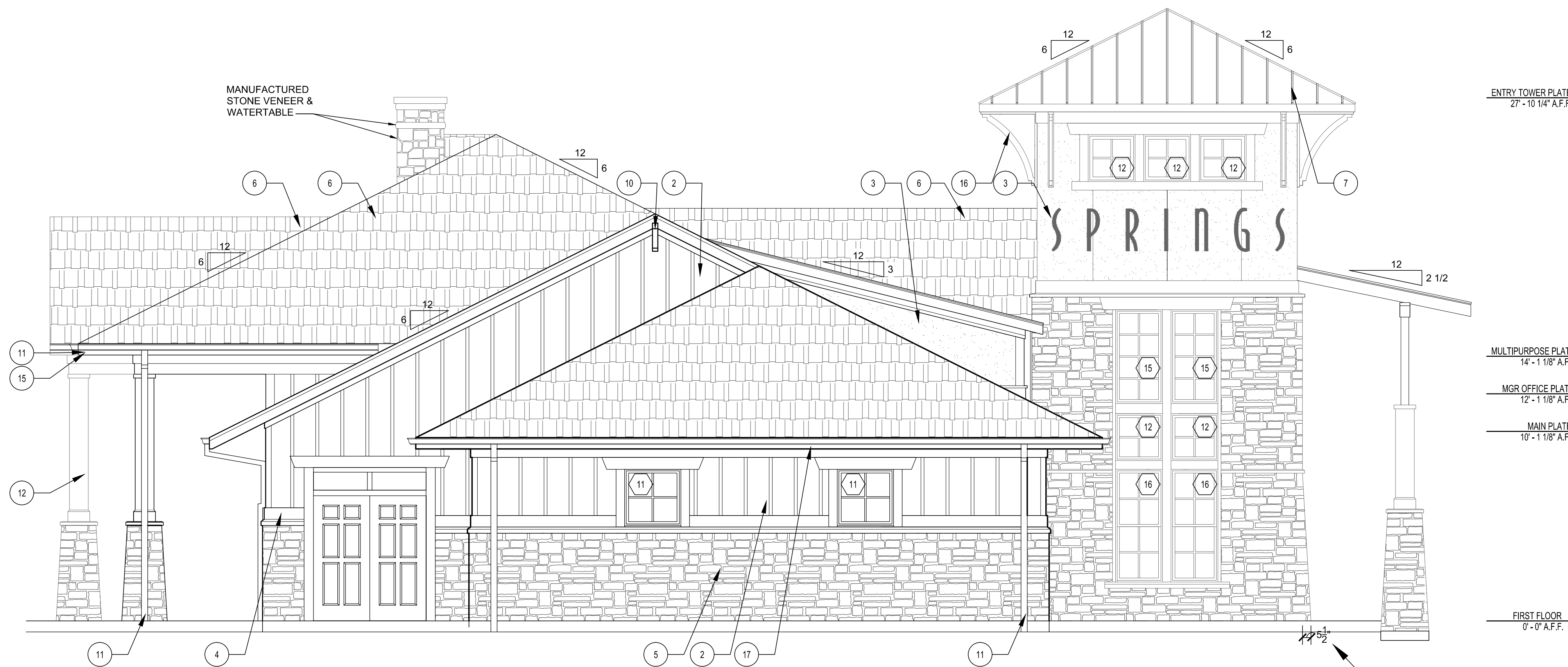




1 FRONT ELEVATION - CLUBHOUSE
SCALE: 1/4"=1'-0"

REVISION #1 SUMMARY

- A. UPDATED FRONT ELEVATION TO COORDINATE WITH ADDITIONAL FLOOR PLAN AREA



2 LEFT ELEVATION - CLUBHOUSE
SCALE: 1/4"=1'-0"

LEGEND

- XX WINDOW TAG - SEE SHEET A6.02
- X KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION

GENERAL NOTES

1. PROVIDE DRIP CAPS AT ALL WINDOW AND DOOR HEADS.
2. REFER TO FLOOR PLANS & SCHEDULES FOR DOOR AND WINDOW SIZES AND LOCATION.
3. PROVIDE FLASHING AS REQUIRED TO PREVENT THE PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING.
4. MAINTAIN OPENING IN ROOF SHEATHING AT OVERFRAMING TO PROVIDE VENTILATION.
5. SEE GENERAL NOTES AND DETAILS FOR MORE INFORMATION.
6. PROVIDE FIBER CEMENT PADS BEHIND ALL BRACKETS, ELECTRICAL DEVICES, FIXTURES, ETC. PAINT: TYP.

KEYED NOTES

- 1 SIDING 1: HORIZONTAL SIDING: HARDPLANK SELECT CEDARMILL C+, 8.25" W/ 7" EXPOSURE (WOOD GRAIN), INSTALLED W/ FLASHING @ BUTT JOINTS PER MANUFACTURER RECOMMENDATIONS. COLOR: PRE-FIN. HEATHERED MOSS OR PPG PAINT #410-4 OLIVE SPRING.
- 2 SIDING 2: BOARD AND BATTEN: HARDIPANEL (SMOOTH) W/ VERTICAL HARDITRIM BATTENS (SMOOTH) AT 16" OC. COORDINATE PANEL SEAMS WITH BATTEN LOCATIONS. COLOR: PRE-FIN. MOUNTAIN SAGE OR PPG PAINT #410-7 PINETOP.
- 3 SIDING 3: HARDIPANEL 'STUCCO' W/ 'H' CLIPS AT SEAMS. SEE ELEVATIONS FOR SEAM LOCATIONS. COLOR: PRE-FIN. MONTEREY TAUPE OR PPG PAINT #515-5 STONEHEDGE GREIGE
- 4 HARDITRIM (SMOOTH)- AT FRIEZE, RAKE, WINDOWS, DOORS, AND CORNER BOARDS. PRE-FINISHED COLOR: TIMBER BARK (OR APPROVED EQUAL). INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. PRE-FINISHED METAL FLASHING WHERE REQUIRED.
- 5 MANUFACTURED STONE VENEER. CORONADO, TEXAS RUBBLE (CT117 - DARK) OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 6 30 YR CLASS B ARCHITECTURAL GRADE SELF-SEALING ASPHALT SHINGLES, TAMKO HERITAGE SERIES. COLOR WEATHERED WOOD ON 15# FELT ON 7/16" OSB ROOF SHEATHING W/ METAL 'H' CLIPS ON TRUSSES AT 24" O.C. (PROVIDE UPLIFT CONNECTORS AT EACH END OF EACH TRUSS- SEE STRUCTURAL).
- 7 STANDING SEAM ROOF SYSTEM ON 15LB. FELT OVER ROOF SHEATHING ON PRE-ENGINEERED WOOD TRUSSES WITH CEDAR RAFTER TAILS AND TRIM. SEE NOTE 13.
- 8 DECORATIVE CEDAR BRACKET. PAINT 'TIMBER BARK' OR APPROVED EQUAL - SEE DETAIL 8/AS.C.23
- 9 ENTRY STOOPS AND PATIO. BROOM FINISH CONCRETE - SEALED
- 10 DECORATIVE CEDAR BRACKET. PAINT 'TIMBER BARK' OR APPROVED EQUAL - SEE DETAIL 9/AS.C.23
- 11 PREFINISHED ALUMINUM 5' GUTTER AND 3"x4" DOWNSPOUT. STYLE: K. COLOR: BRONZE. TIE DOWNSPOUT IN TO STORM SYSTEM
- 12 HARDIPANEL (SMOOTH) CLAD COLUMN WRAP AND TRIM - COLUMN W/ SQUARE CAP AND BASE OVER 6x6 TREATED POST OR STEEL TUBE, COLOR TBD, INSTALLED PER MFR. RECOMMENDATIONS.
- 13 CEDAR RAFTER TAILS AND TRIM - PAINT 'TIMBER BARK' OR APPROVED EQUAL. ENTRY CEILINGS AT CEDAR RAFTERS TO BE EXPOSED STAIN GRADE PLYWOOD. STAINED TO MATCH CEDAR RAFTERS. COORDINATE SEAMS WITH RAFTERS.
- 14 AREA FOR MOUNTING OF UTILITY EQUIPMENT. COLOR TO MATCH ADJACENT MATERIAL. COORDINATE ELECTRICAL, TELEPHONE, AND CABLE BOX LOCATIONS ON BUILDING IN FIELD W/ UTILITY LOCATIONS. REFER TO MOUNTING DETAILS ON SHEET A5.26.
- 15 PRE-FINISHED METAL DRIP EDGE OVER 2x8 FASCIA BOARD WRAPPED IN ALUMINUM. COLOR: BROWN.
- 16 FYPON DECORATIVE BRACKET- 48" H 36" PROJECTION - SIMILAR TO BRACKET MODEL BKT24X36 PROFILE, OR ARCHITECT APPROVED EQUAL. COLOR TO MATCH FASCIA.
- 17 VENTED VINYL SOFFIT: CERTAINTEEED (OR APP. EQ.) STYLE: UNIVERSAL TRIPLE. COLOR: BROWN.

ENTRY TOWER PLATE
27' - 10 1/4" A.F.F.

MULTIPURPOSE PLATE
14' - 1 1/8" A.F.F.

MGR OFFICE PLATE
12' - 1 1/8" A.F.F.

MAIN PLATE
10' - 1 1/8" A.F.F.

FIRST FLOOR
0' - 0" A.F.F.

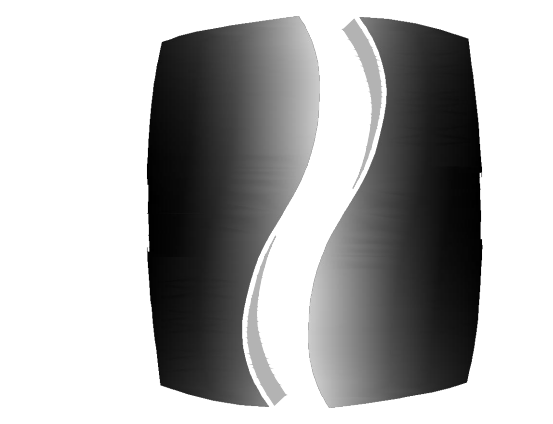
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PROJECT

SPRINGS AT FREMAUX TOWN CENTER
SLIDELL, LA

CLIENT

CONTINENTAL PROPERTIES
CONTINENTAL 294 FUND LLC
1534 N8675 EXECUTIVE PARKWAY
MENOMONEE FALLS, WI 53051
(262.502.5500 * FAX 262.502.5522

PHILLIPS JOB NUMBER 1333104

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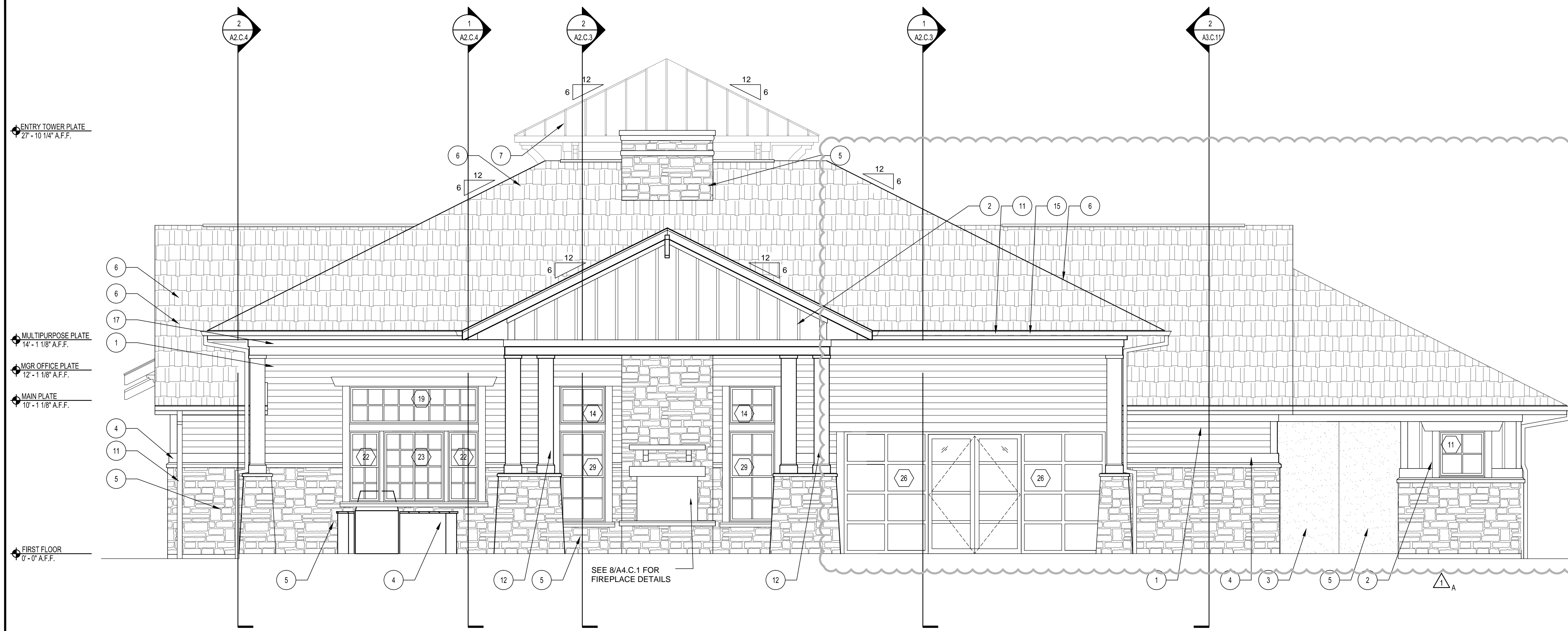
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DRAWING TITLE EXTERIOR ELEVATIONS CLUBHOUSE

SHEET NUMBER

A2.C.1

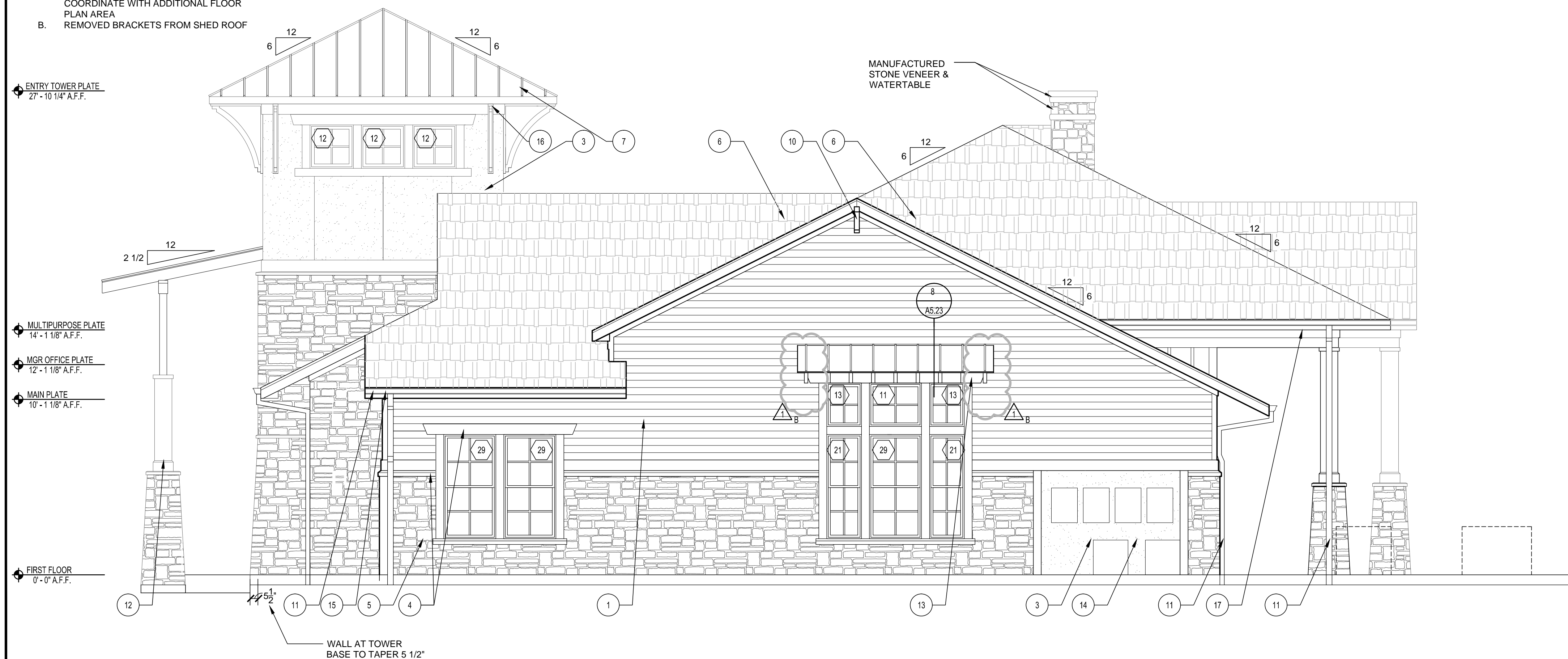
NORTH TERRACES
400 PERIMETER CENTER TERRACE
SUITE 650
ATLANTA, GEORGIA 30346



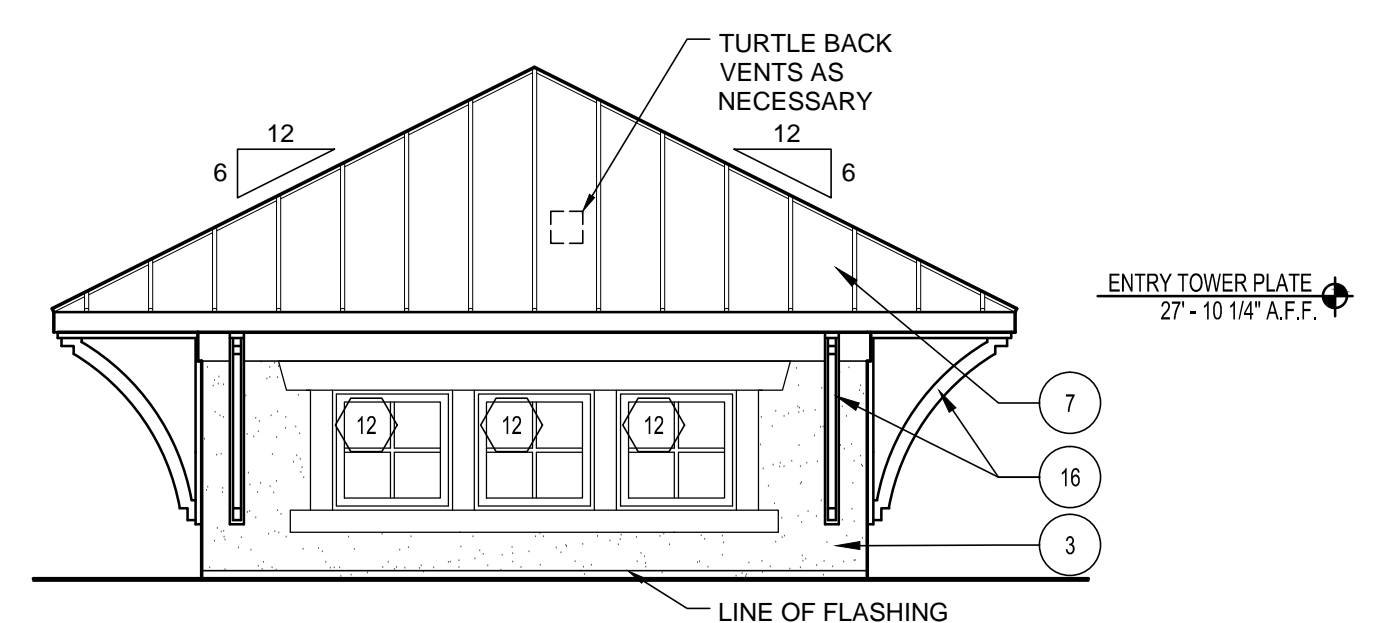
1 REAR ELEVATION - CLUBHOUSE
SCALE: 1/4"=1'-0"

REVISION #1 SUMMARY

- A. UPDATED FRONT ELEVATION TO COORDINATE WITH ADDITIONAL FLOOR PLAN AREA
- B. REMOVED BRACKETS FROM SHED ROOF



2 RIGHT ELEVATION - CLUBHOUSE
SCALE: 1/4"=1'-0"



3 REAR TOWER ELEVATION - CLUBHOUSE
SCALE: 1/4"=1'-0"

LEGEND

- XX WINDOW TAG - SEE SHEET A6.02
- X KEYED NOTES - SEE THIS SHEET FOR MORE INFORMATION

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- 2 SIDING 2: BOARD AND BATTEN: HARDIPANEL (SMOOTH) W/ VERTICAL HARDITRIM BATTENS (SMOOTH) AT 16" OC. COORDINATE PANEL SEAMS WITH BATTEN LOCATIONS. COLOR: PRE-FIN. MOUNTAIN SAGE OR PPG PAINT #410-7 PINETOP.
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- 13 CEDAR RAFTER TAILS AND TRIM - PAINT "TIMBER BARK" OR APPROVED EQUAL. ENTRY CEILINGS AT CEDAR RAFTERS TO BE EXPOSED STAIN GRADE PLYWOOD, STAINED TO MATCH CEDAR RAFTERS, COORDINATE SEAMS WITH RAFTERS.
- 14 AREA FOR MOUNTING OF UTILITY EQUIPMENT, COLOR TO MATCH ADJACENT MATERIAL. COORDINATE ELECTRICAL, TELEPHONE, AND CABLE BOX LOCATIONS ON BUILDING IN FIELD W/ UTILITY LOCATIONS. REFER TO MOUNTING DETAILS ON SHEET A5.26.
- 15 PRE-FINISHED METAL DRIP EDGE OVER 2x8 FASCIA BOARD WRAPPED IN ALUMINUM. COLOR: BROWN.
- 16 FYPON DECORATIVE BRACKET- 48" H 36" PROJECTION - SIMILAR TO BRACKET MODEL BKT24X36 PROFILE, OR ARCHITECT APPROVED EQUAL. COLOR TO MATCH FASCIA.
- 17 VENTED VINYL SOFFIT: CERTAINTEED (OR APP. EQ.) STYLE: UNIVERSAL TRIPLE, COLOR: BROWN.



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PROJECT

SPRINGS AT FREMAUX TOWN CENTER
SLIDELL, LA

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ISSUE DATE 07/07/14

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DRAWING TITLE

EXTERIOR ELEVATIONS CLUBHOUSE

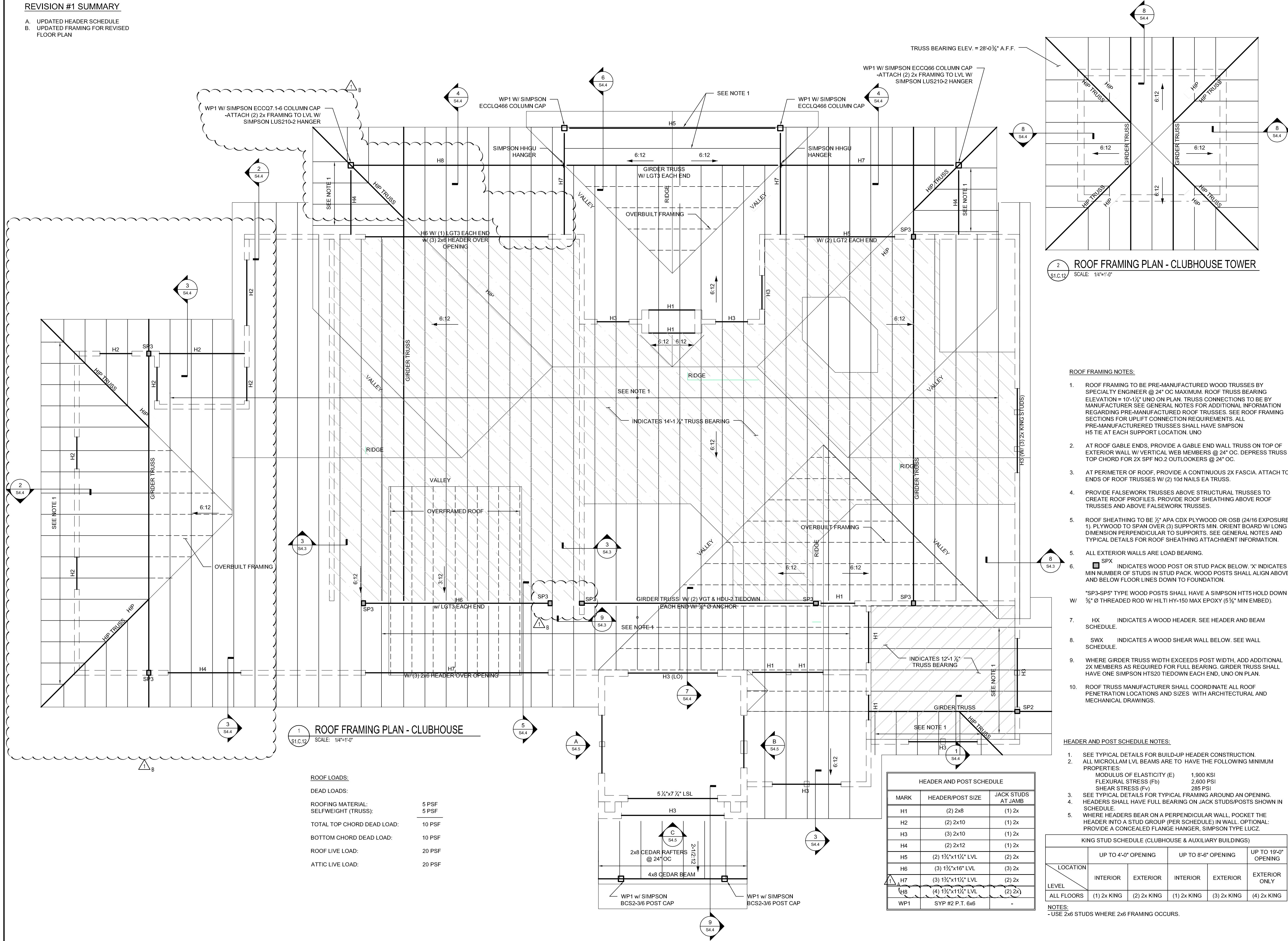
SHEET NUMBER

A2.C.2

NORTH TERRACES
400 PERIMETER CENTER TERRACE
SUITE 650
ATLANTA, GEORGIA 30346

REVISION #1 SUMMARY

- A. UPDATED HEADER SCHEDULE
- B. UPDATED FRAMING FOR REVISED FLOOR PLAN



2 ROOF FRAMING PLAN - CLUBHOUSE TOWER
SCALE: 1/4"=1'-0"

1 ROOF FRAMING PLAN - CLUBHOUSE
SCALE: 1/4"=1'-0"

ROOF LOADS:

DEAD LOADS:

ROOFING MATERIAL: 5 PSF

SELFWEIGHT (TRUSS): 5 PSF

TOTAL TOP CHORD DEAD LOAD: 10 PSF

BOTTOM CHORD DEAD LOAD: 10 PSF

ROOF LIVE LOAD: 20 PSF

ATTIC LIVE LOAD: 20 PSF

HEADER AND POST SCHEDULE

MARK	HEADER/POST SIZE	JACK STUDS AT JAMB
H1	(2) 2x8	(1) 2x
H2	(2) 2x10	(1) 2x
H3	(3) 2x10	(1) 2x
H4	(2) 2x12	(1) 2x
H5	(2) 1 1/2"x11 1/2" LVL	(2) 2x
H6	(3) 1 1/2"x16" LVL	(3) 2x
H7	(3) 1 1/2"x11 1/2" LVL	(2) 2x
H8	(4) 1 1/2"x11 1/2" LVL	(2) 2x
WP1	SYP #2 P.T. 6x6	-

- ROOF FRAMING NOTES:**
- ROOF FRAMING TO BE PRE-MANUFACTURED WOOD TRUSSES BY SPECIALTY ENGINEER @ 24" OC MAXIMUM. ROOF TRUSS BEARING ELEVATION = 10'-1 1/2" UNO ON PLAN. TRUSS CONNECTIONS TO BE BY MANUFACTURER SEE GENERAL NOTES FOR ADDITIONAL INFORMATION REGARDING PRE-MANUFACTURED ROOF TRUSSES. SEE ROOF FRAMING SECTIONS FOR UPLIFT CONNECTION REQUIREMENTS. ALL PRE-MANUFACTURED TRUSSES SHALL HAVE SIMPSON H5 TIE AT EACH SUPPORT LOCATION. UNO
 - AT ROOF GABLE ENDS, PROVIDE A GABLE END WALL TRUSS ON TOP OF EXTERIOR WALL W/ VERTICAL WEB MEMBERS @ 24" OC. DEPRESS TRUSS TOP CHORD FOR 2X SPF NO.2 OUTLOOKERS @ 24" OC.
 - AT PERIMETER OF ROOF, PROVIDE A CONTINUOUS 2X FASCIA. ATTACH TO ENDS OF ROOF TRUSSES W/ (2) 10d NAILS EA TRUSS.
 - PROVIDE FALSEWORK TRUSSES ABOVE STRUCTURAL TRUSSES TO CREATE ROOF PROFILES. PROVIDE ROOF SHEATHING ABOVE ROOF TRUSSES AND ABOVE FALSEWORK TRUSSES.
 - ROOF SHEATHING TO BE 1/2" APA CDX PLYWOOD OR OSB (24/16 EXPOSURE 1). PLYWOOD TO SPAN OVER (3) SUPPORTS MIN. ORIENT BOARD W/ LONG DIMENSION PERPENDICULAR TO SUPPORTS. SEE GENERAL NOTES AND TYPICAL DETAILS FOR ROOF SHEATHING ATTACHMENT INFORMATION.
 - ALL EXTERIOR WALLS ARE LOAD BEARING.
 - SPX INDICATES WOOD POST OR STUD PACK BELOW. 'X' INDICATES MIN NUMBER OF STUDS IN STUD PACK. WOOD POSTS SHALL ALIGN ABOVE AND BELOW FLOOR LINES DOWN TO FOUNDATION.
*SP3-SP6 TYPE WOOD POSTS SHALL HAVE A SIMPSON HTT5 HOLD DOWN W/ 3/8" Ø THREADED ROD W/ HLT1 HY-150 MAX EPOXY (5 3/8" MIN EMBED).
 - HX INDICATES A WOOD HEADER. SEE HEADER AND BEAM SCHEDULE.
 - SWX INDICATES A WOOD SHEAR WALL BELOW. SEE WALL SCHEDULE.
 - WHERE GIRDER TRUSS WIDTH EXCEEDS POST WIDTH, ADD ADDITIONAL 2X MEMBERS AS REQUIRED FOR FULL BEARING. GIRDER TRUSS SHALL HAVE ONE SIMPSON HTS20 TIEDOWN EACH END. UNO ON PLAN.
 - ROOF TRUSS MANUFACTURER SHALL COORDINATE ALL ROOF PENETRATION LOCATIONS AND SIZES WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.

HEADER AND POST SCHEDULE NOTES:

- SEE TYPICAL DETAILS FOR BUILD-UP HEADER CONSTRUCTION.
- ALL MICROLAM LVL BEAMS ARE TO HAVE THE FOLLOWING MINIMUM PROPERTIES:
MODULUS OF ELASTICITY (E) 1,900 KSI
FLEXURAL STRESS (Fb) 2,600 PSI
SHEAR STRESS (Fv) 285 PSI
- SEE TYPICAL DETAILS FOR TYPICAL FRAMING AROUND AN OPENING. HEADERS SHALL HAVE FULL BEARING ON JACK STUDS/POSTS SHOWN IN SCHEDULE.
- WHERE HEADERS BEAR ON A PERPENDICULAR WALL, POCKET THE HEADER INTO A STUD GROUP (PER SCHEDULE) IN WALL. OPTIONAL: PROVIDE A CONCEALED FLANGE HANGER, SIMPSON TYPE LUCZ.

KING STUD SCHEDULE (CLUBHOUSE & AUXILIARY BUILDINGS)

LOCATION	UP TO 4'-0" OPENING		UP TO 8'-6" OPENING		UP TO 19'-0" OPENING
	INTERIOR	EXTERIOR	INTERIOR	EXTERIOR	EXTERIOR ONLY
ALL FLOORS	(1) 2x KING	(2) 2x KING	(1) 2x KING	(3) 2x KING	(4) 2x KING

NOTES:

- USE 2x6 STUDS WHERE 2x6 FRAMING OCCURS.

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ROOF FRAMING PLAN - CLUBHOUSE

SHEET NUMBER **S1.C.12**

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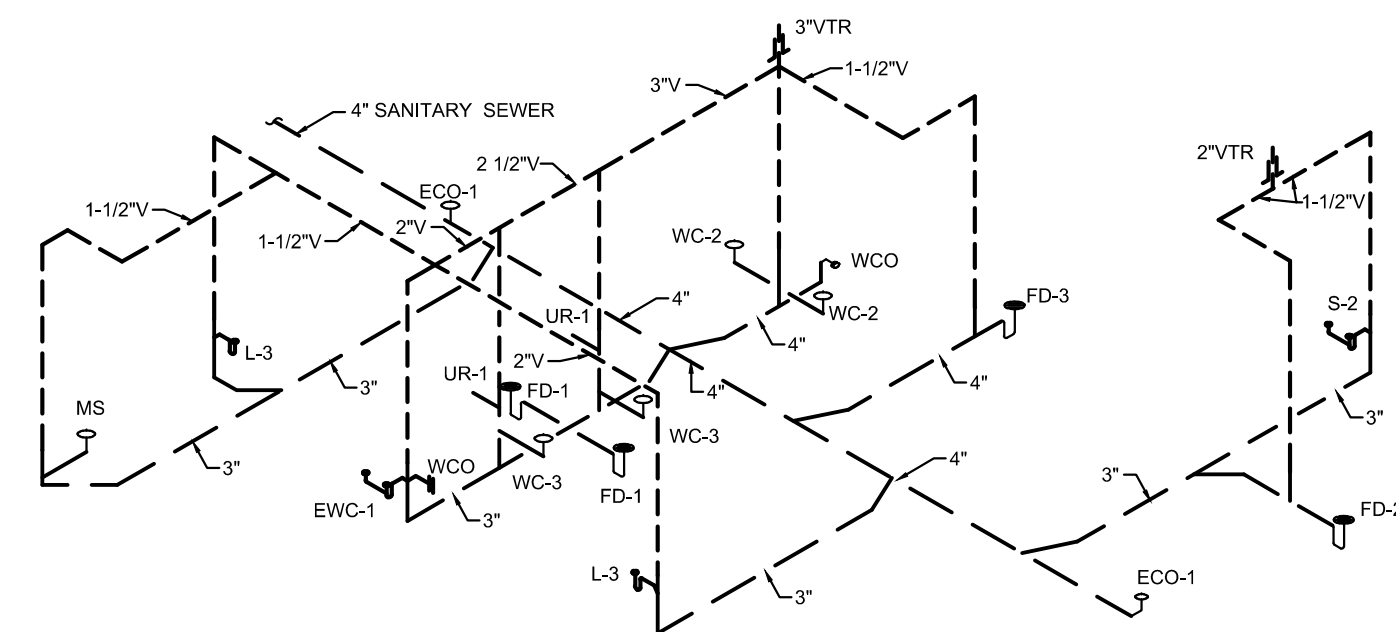
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FIRST FLOOR PLUMBING PLAN - CLUBHOUSE

SHEET NUMBER

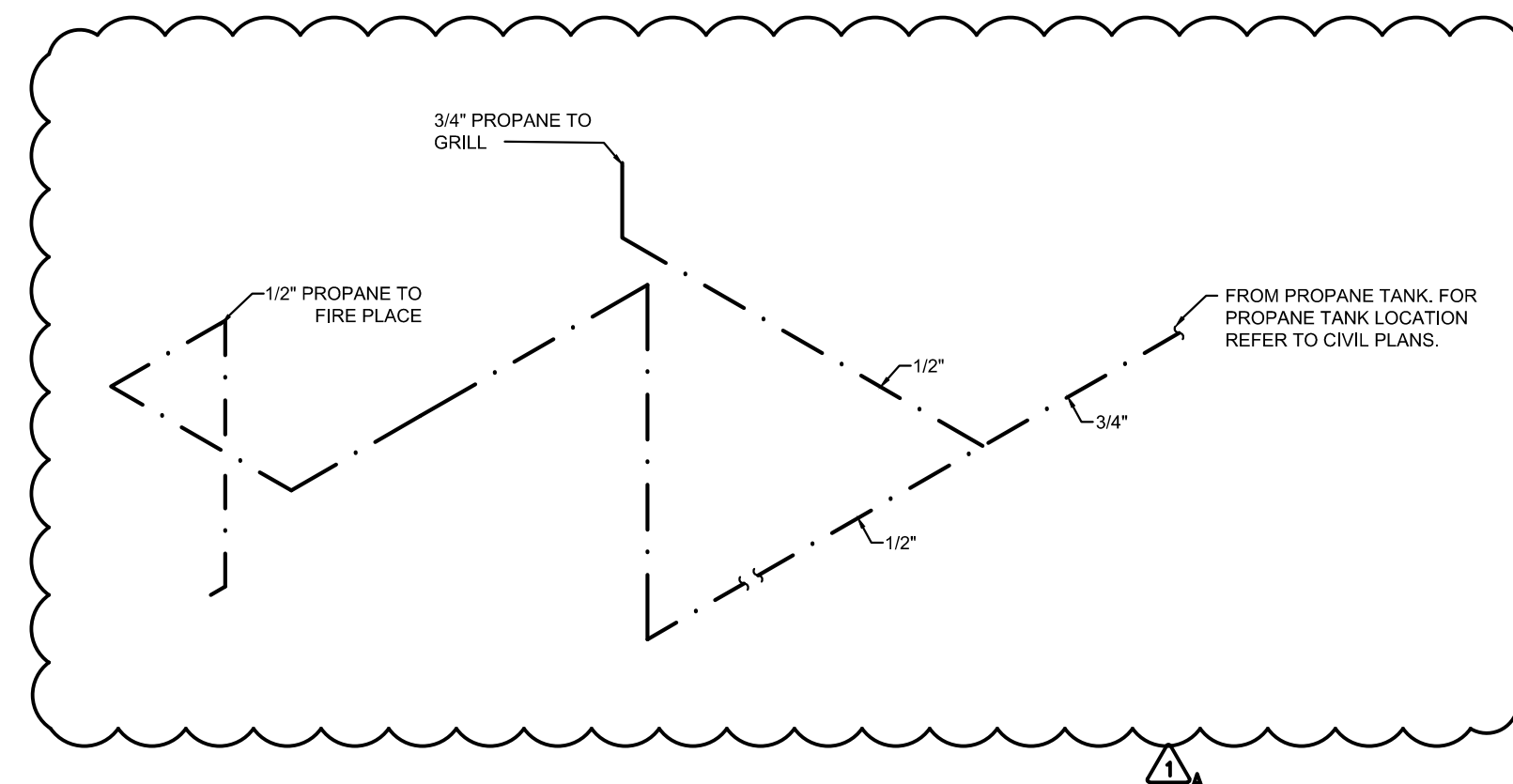
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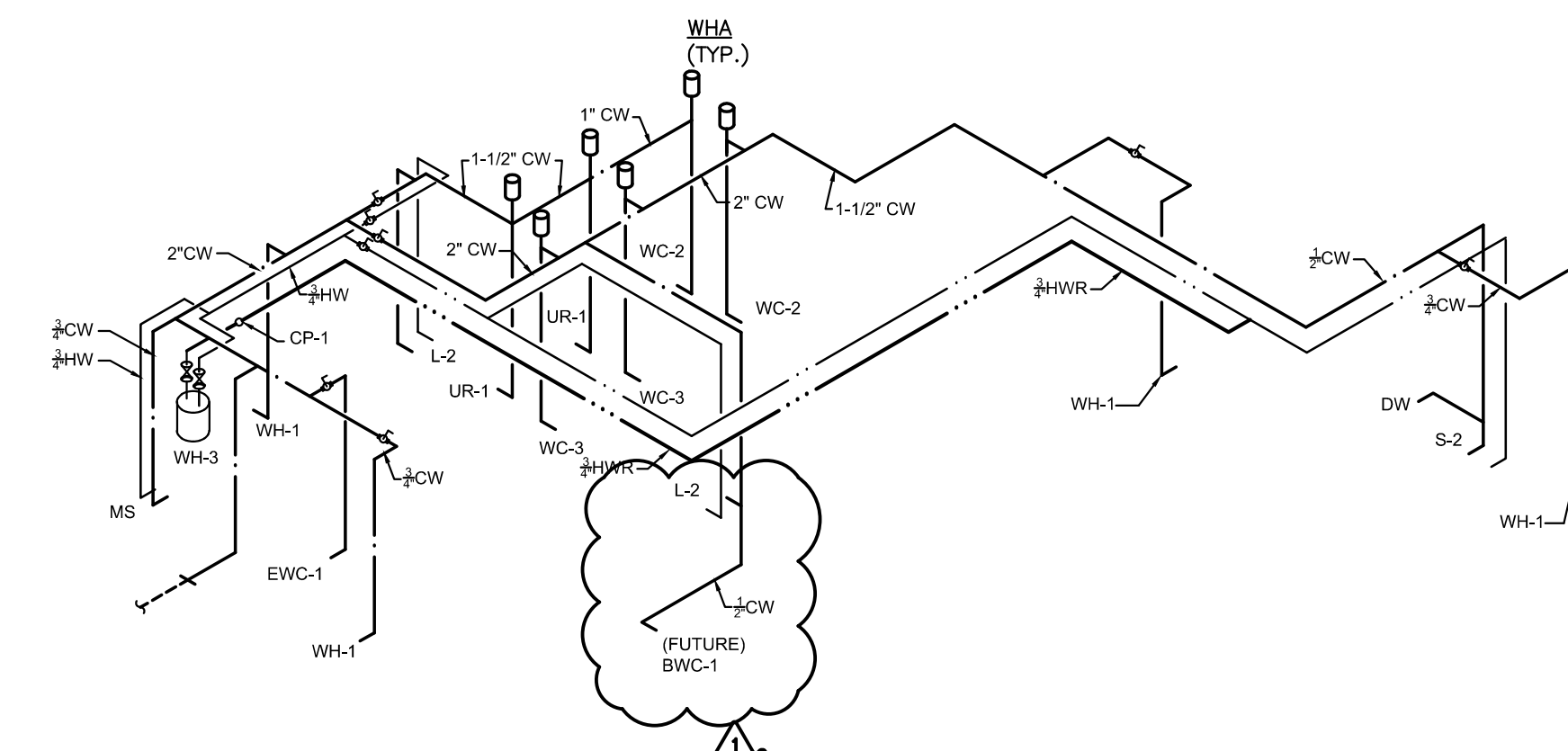


NOTES:
REFER TO PLUMBING FIXTURE SCHEDULE FOR VENT PIPING CONNECTION SIZE TO FIXTURES.

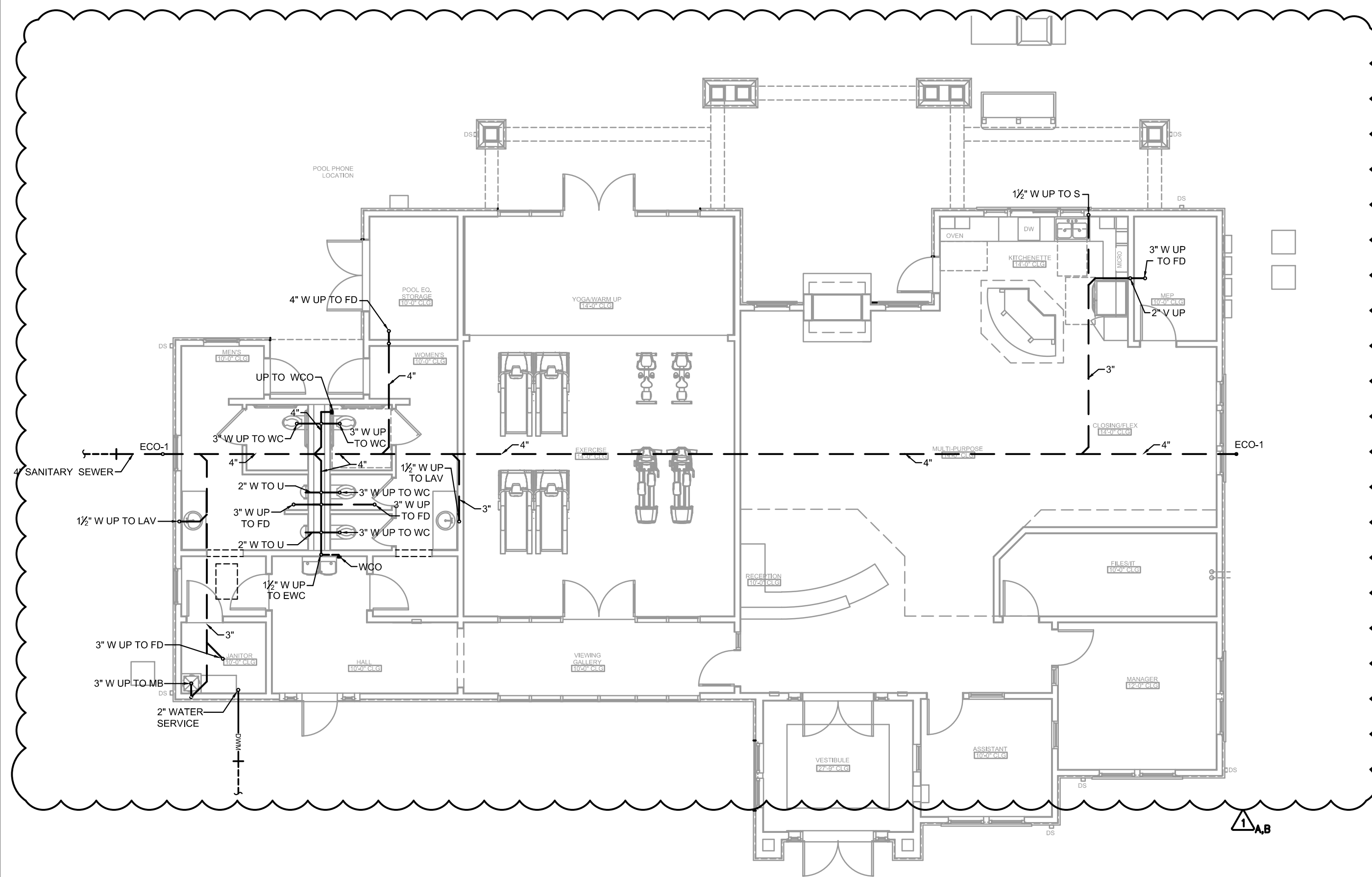
SANITARY WASTE AND VENT RISER DIAGRAM - CLUBHOUSE
SCALE: SCHEMATIC ONLY



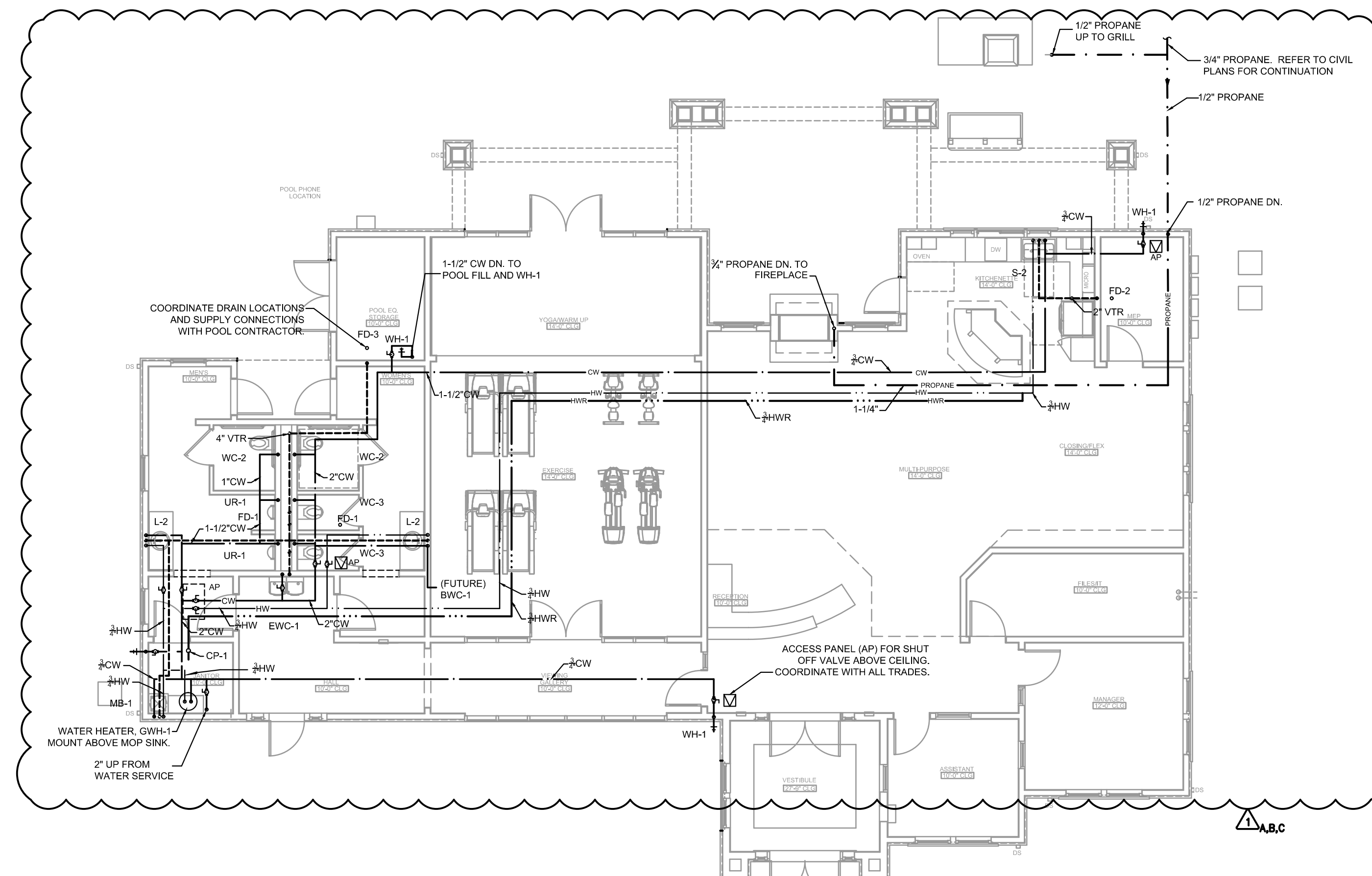
PROPANE GAS RISER DIAGRAM - CLUBHOUSE
SCALE: SCHEMATIC ONLY



DOMESTIC WATER SUPPLY RISER DIAGRAM - CLUBHOUSE
SCALE: SCHEMATIC ONLY



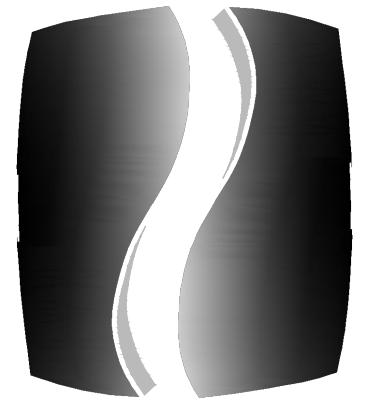
FOUNDATION PLUMBING PLAN - CLUBHOUSE
SCALE: 1/8" = 1'-0"



FIRST FLOOR PLUMBING PLAN - CLUBHOUSE
SCALE: 1/8" = 1'-0"

REVISION #1 SUMMARY

- A. REVISED GAS LINES FOR PROPANE
- B. REVISED PLUMBING PER REVISED BASE PLAN
- C. ADDED WATER LINE FOR FUTURE BOTTLELESS WATER COOLER



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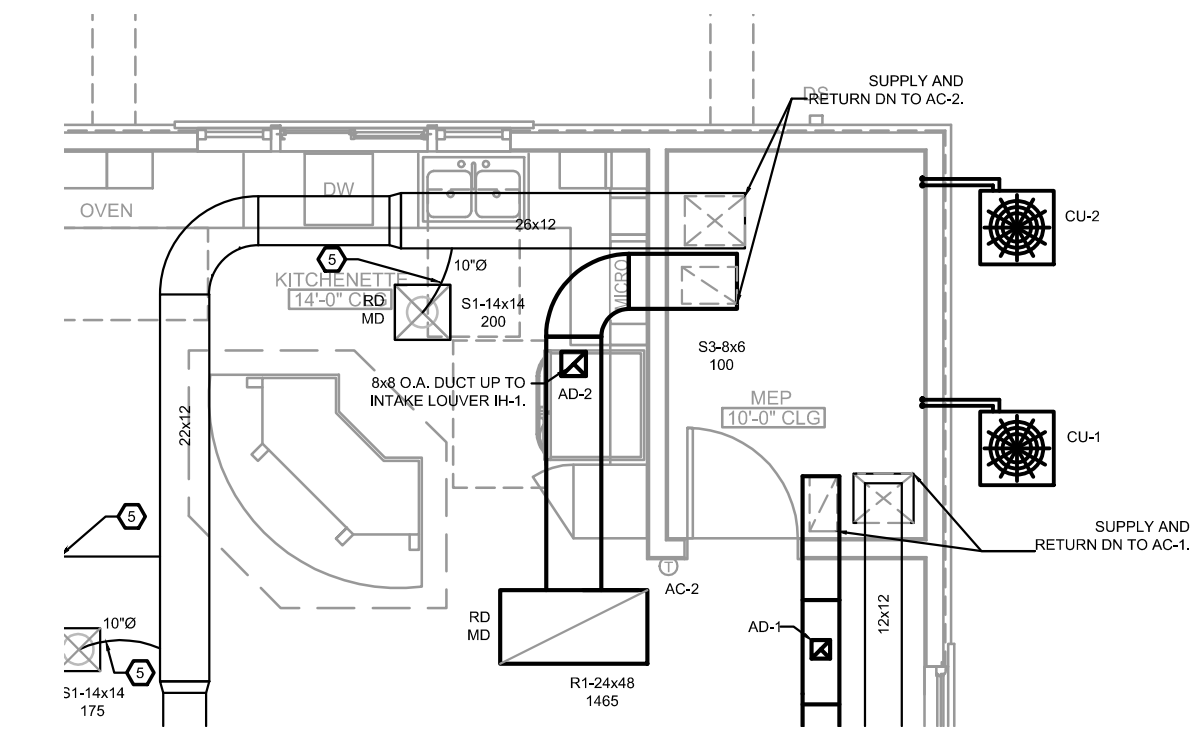
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FIRST FLOOR MECHANICAL PLAN- CLUBHOUSE

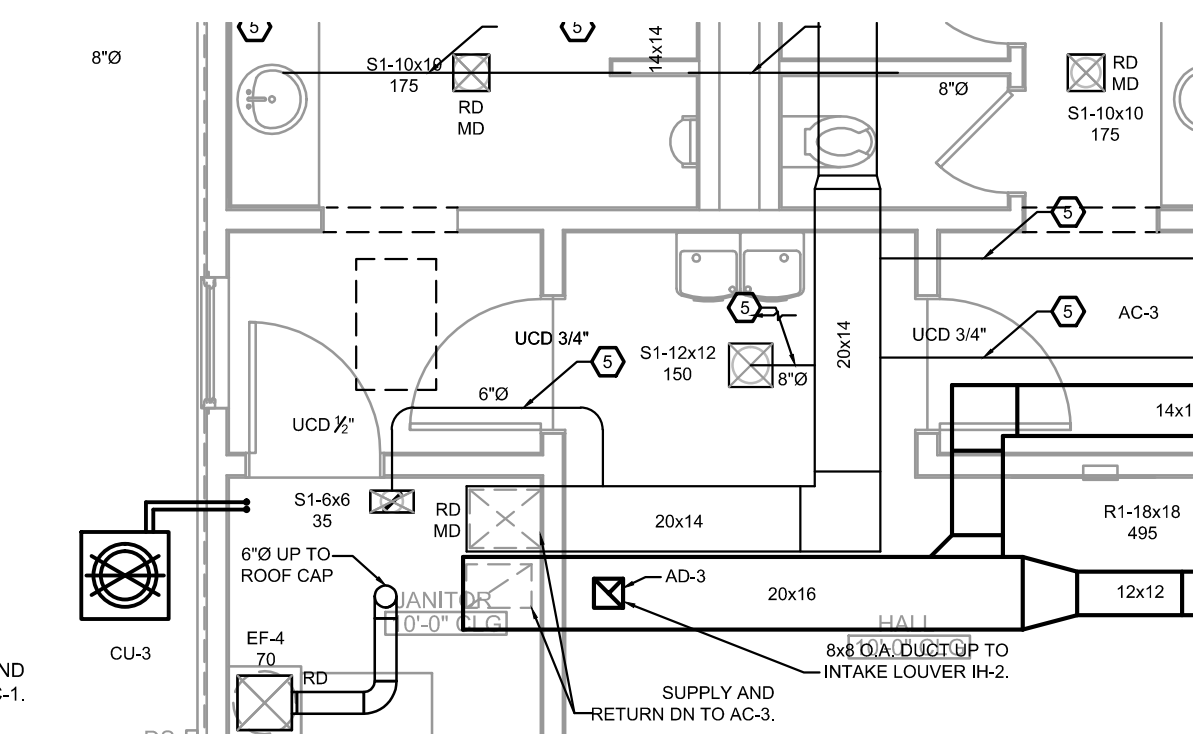
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M1.C.11

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② FIRST FLOOR MECHANICAL ROOM - CLUBHOUSE
1/4" = 1'-0"



③ FIRST FLOOR MECHANICAL ROOM - CLUBHOUSE
1/4" = 1'-0"

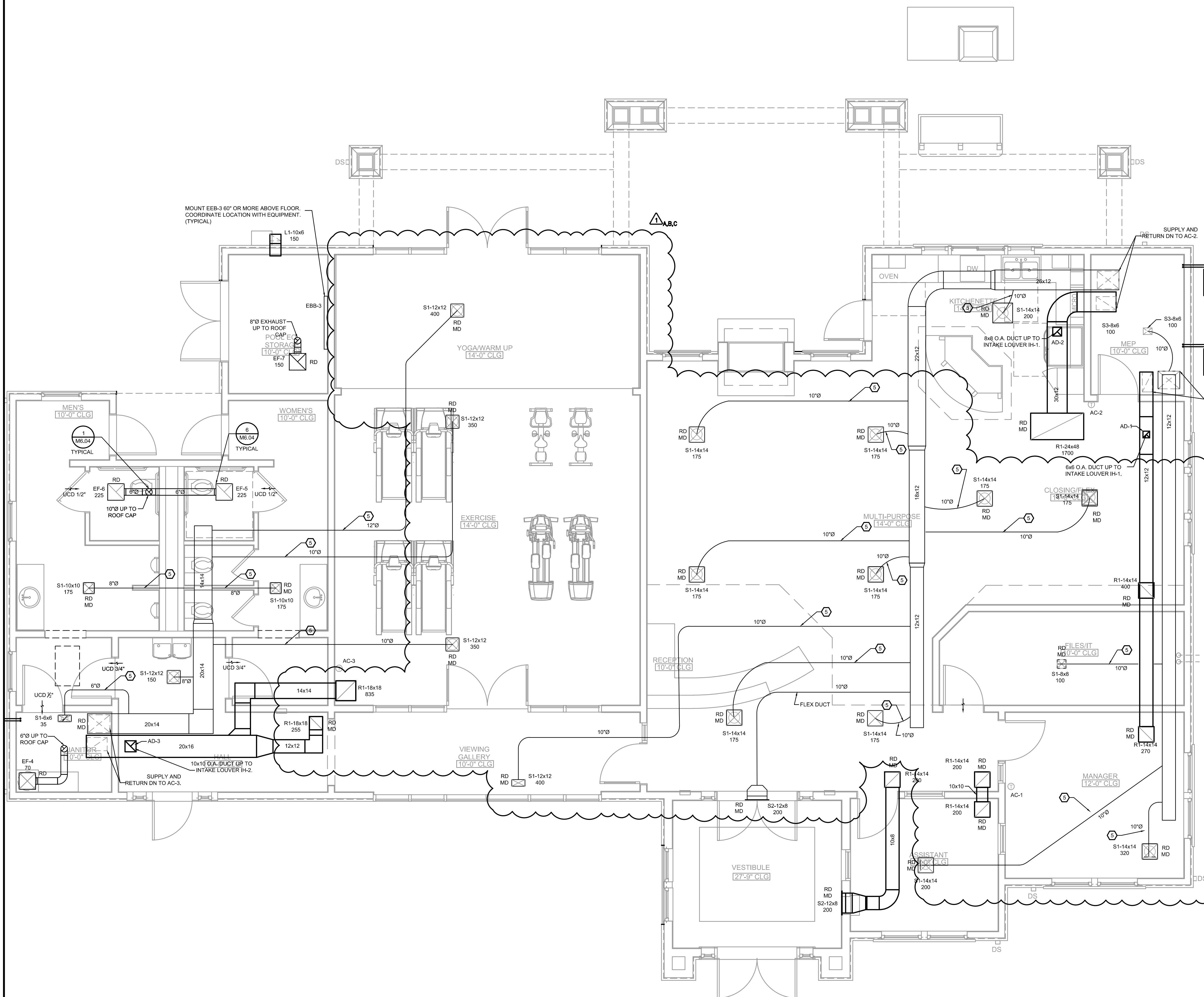
LEGEND	
AC	FURNACE UNIT
AD	AUTOMATIC DAMPER
CU	CONDENSING UNIT
EF	EXHAUST FAN
L	LOUVER
MD	MANUAL DAMPER
R1-12x12 180	RETURN GRILLE - GRILLE LENGTH x WIDTH CFM
RD	RADIATION DAMPER
S1-12x12 180	SUPPLY GRILLE - GRILLE LENGTH x WIDTH CFM
VF	VENTILATION FAN
Ⓣ	THERMOSTAT
D#	D# INDICATES DETAIL NUMBER, S# INDICATES SHEET NUMBER

A/C PLAN GENERAL NOTES

- PROVIDE GYPSUM LINING FOR ALL DUCTWORK PENETRATIONS OR TRANSFER GRILLES THRU BEARING WALLS TO PRESERVE INTEGRITY OF FIRE RATING.
- PROVIDE CEILING RADIATION DAMPERS AT ALL SUPPLY DUCT AND REGISTER PENETRATIONS.
 - MAXIMUM DAMPER SIZE OF 324 SQ. IN. (18x18) AND NO MORE THAN 324 SQ. IN. FOR EVERY 100 SQ. ST. OF CEILING AREA.
 - MAINTAIN 1" BETWEEN DAMPERS AND TRUSSES.
 - MINIMUM 2" BETWEEN DAMPERS.
- ALL RADIATION DAMPERS TO BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS INSTALLATION GUIDELINES.
- NO DUCTWORK SHALL BE ROUTED OVER ELECTRIC PANELS.
- REFRIGERANT LINES - SEE BUILDING PLANS FOR ROUTING TO CONDENSING UNITS. ROUTE LINES TO EXTERIOR WALL AND
- MINIMUM OF 3'-0" BETWEEN ALL A/C DIFFUSERS AND SMOKE DETECTORS.
- THERMOSTAT TO BE PROVIDED AND CONNECTED BY MECHANICAL CONTRACTOR.
- CONTRACTOR SHALL PROVIDE PROPER CLEARANCES AROUND AND ON TOP OF ALL CONDENSING UNITS PER MANUFACTURERS RECOMMENDATIONS.

A/C PLAN CODE NOTES

- EF-1 TO EXHAUST OUT THRU ROOF - SEE MANUFACTURER'S RECOMMENDATIONS FOR INSTALLATION.
- REFRIGERANT LINES UP THRU INTERIOR WALL FROM UNDERGROUND TO FEED AC AT GROUND LEVEL. COORDINATE EXACT LOCATION WITH PLUMBING LINES.
- BATHROOM ROOF CAP - COORDINATE COLOR AND LOCATION WITH ARCHITECT. VENT MUST BE 3FT. FROM ANY OPERABLE WINDOW OR DOOR.
- THERMOSTAT MOUNTED AT 48" AFF. COORDINATE WIRING AND CONNECTION WITH MECHANICAL CONTRACTOR.
- DUCT WORK SHALL BE FLEX DUCT.



① FIRST FLOOR MECHANICAL PLAN - CLUBHOUSE
SCALE: 1/4"=1'-0"

REVISION #1 SUMMARY	
A.	DUCTWORK CORRECTION.
B.	REVISED BASE PLAN.
C.	REMOVED EXHAUST FAN.
D.	ADJUST NORTH ARROW



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FIRST FLOOR ELECTRICAL PLAN-CLUBHOUSE

SHEET NUMBER

E2.C.10

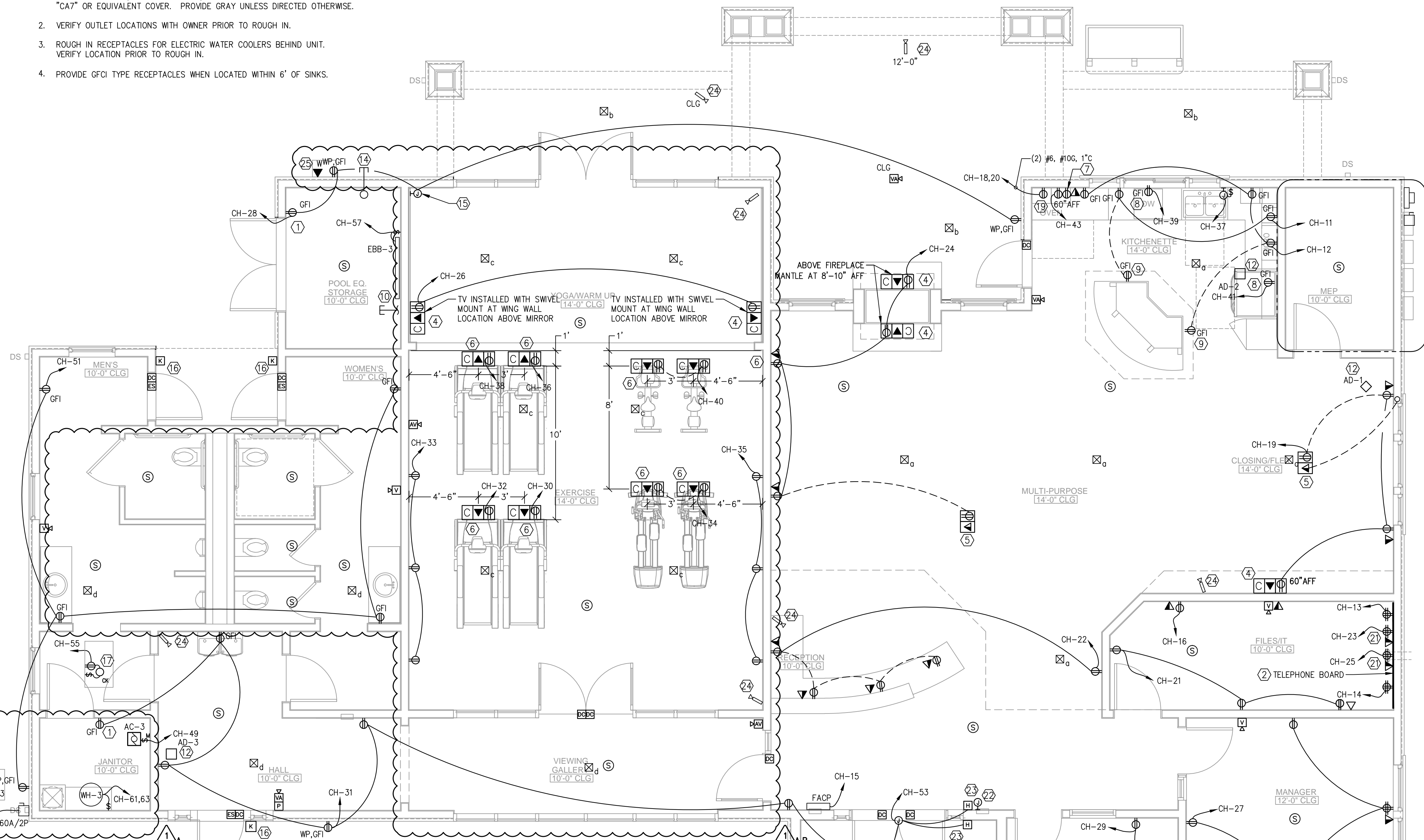
NORTH TERRACES
400 PERIMETER CENTER TERRACE
SUITE 650
ATLANTA, GEORGIA 30346

ELECTRICAL KEYED NOTES:

- INSTALL RECEPTACLE AND LIGHT SWITCH IN COMMON JUNCTION BOX.
- TELEPHONE BOARD. SEE DETAIL 2/E2.C.01 FOR MORE INFORMATION.
- VERIFY LOCATION WITH FIRE INSPECTOR OR OTHER AUTHORITY HAVING JURISDICTION.
- INSTALL RECESSED TV BOX AT HEIGHT INDICATED ON PLANS. VERIFY LOCATION WITH OWNER PRIOR TO ROUGH IN.
- PROVIDE FLUSH MOUNTED CAST-IRON FLOOR BOX WITH DUPLEX RECEPTACLE AND (2) CAT 5 CONNECTIONS. WIREMOLD #880CS2-1 OR EQUIVALENT WITH (1) #27B 2-GANG BRASS FLANGE, (1) #28R BRASS DUPLEX RECEPTACLE COVERPLATE AND (1) #28GFITC BRASS COVERPLATE FOR COMBINED COMMUNICATIONS. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
- PROVIDE FLUSH MOUNTED CAST-IRON FLOOR BOX WITH DUPLEX RECEPTACLE, CAT 5 AND COAX CONNECTIONS. WIREMOLD #880CS2-1 OR EQUIVALENT WITH (1) #27B 2-GANG BRASS FLANGE, (1) #28R BRASS DUPLEX RECEPTACLE COVERPLATE AND (1) #28GFITC BRASS COVERPLATE FOR COMBINED COMMUNICATIONS. COORDINATE EXACT LOCATION WITH ARCHITECT PRIOR TO ROUGH-IN.
- INSTALL (2) CAT5 OUTLETS AND DUPLEX RECEPTACLE INSIDE CABINET FOR POOL WIFI.
- PROVIDE SINGLE "SIMPLEX" GFCI PROTECTED RECEPTACLE.
- INSTALL 28" ABOVE FINISHED FLOOR. VERIFY LOCATION WITH OWNER PRIOR TO ROUGH IN.
- PROVIDE 1-1/4" CONDUIT FROM PANEL "CH" STUB INTO POOL EQUIPMENT ROOM. CAP CONDUIT.
- 1" CONDUIT FROM CONTACTORS TO PARKING LOT LIGHTING. SEE SITE PLAN FOR MORE INFORMATION.
- COORDINATE POWER REQUIREMENTS FOR MOTORIZED DAMPER WITH HVAC CONTRACTOR. CONNECT TO CORRESPONDING AHU CIRCUIT.
- PROVIDE 1" SPARE CONDUIT STUB FROM CONTACTORS TO EXTERIOR FOR FUTURE. CAP AND SEAL CONDUIT AS NECESSARY.
- PROVIDE THREE (3) SPARE 1" CONDUIT STUBS 5'-0" PAST BUILDING FOR FUTURE POOL EQUIPMENT.
- PROVIDE J-BOX FOR GARAGE DOOR. COORDINATE EXACT LOCATION WITH ARCHITECT AND CONTRACTOR PRIOR TO ROUGH-IN.
- JUNCTION BOX FOR KEY FOB ACCESS, TIED INTO COMMUNITY ENTRY GATE. COORDINATE EXACT LOCATION WITH ARCHITECT AND LOW VOLTAGE CONTRACTOR PRIOR TO ROUGH-IN.
- PROVIDE RECEPTACLE AND LIGHT IN ATTIC SPACE AT HVAC EQUIPMENT WHERE REQUIRED BY CODE.
- NOT USED
- PROVIDE 240V, 50A, 2-POLE RECEPTACLE FOR OVEN. COORDINATE CONFIGURATION WITH EQUIPMENT PROVIDED.
- PROPOSED LOCATION OF SECURITY AND SOUND SYSTEMS HEAD-END EQUIPMENT. VERIFY LOCATION WITH OWNER PRIOR TO ROUGH IN.
- PROVIDE SECURITY KEYPAD ROUGH-IN @44"A.F.F.
- COORDINATE REQUIREMENTS FOR HANDICAP ACCESS PUSHBUTTON WITH EQUIPMENT SUPPLIER.
- PROVIDE J-BOX FOR SECURITY CAMERA. COORDINATE EXACT LOCATION WITH ARCHITECT AND LOW VOLTAGE CONTRACTOR PRIOR TO ROUGH-IN. MOUNT AT 9'-0" AFF UNLESS NOTED OTHERWISE.
- PROVIDE A DEDICATED TELEPHONE LINE TO MEET LOCAL 911 EMERGENCY SERVICE DIAL-UP REQUIREMENTS. COORDINATE REQUIREMENTS WITH LOCAL EMERGENCY AGENCY.

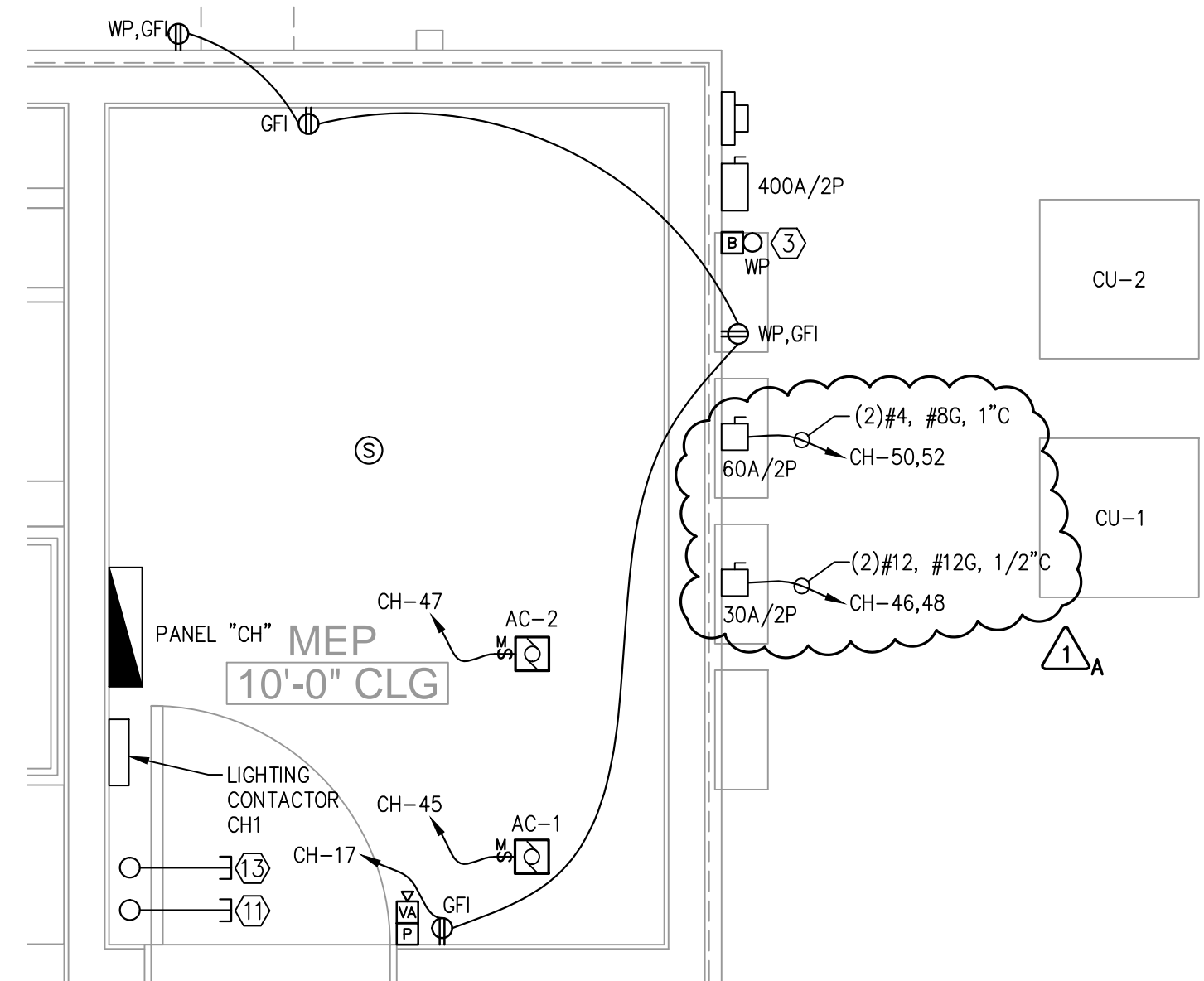
ELECTRICAL NOTES:

- EXTERIOR RECEPTACLES SHALL BE GFCI TYPE. WET LOCATIONS (PER NEC AND AHJ): PROVIDE PASS & SEYMOUR SERIES "WUC" OR EQUIVALENT COVER. DAMP LOCATIONS (PER NEC AND AHJ): PROVIDE PASS & SEYMOUR SERIES "CA7" OR EQUIVALENT COVER. PROVIDE GRAY UNLESS DIRECTED OTHERWISE.
- VERIFY OUTLET LOCATIONS WITH OWNER PRIOR TO ROUGH IN.
- ROUGH IN RECEPTACLES FOR ELECTRIC WATER COOLERS BEHIND UNIT. VERIFY LOCATION PRIOR TO ROUGH IN.
- PROVIDE GFCI TYPE RECEPTACLES WHEN LOCATED WITHIN 6' OF SINKS.



SYSTEMS NOTES:

- CONTRACTORS BID TO INCLUDE PRICE TO PROVIDE SOUND AND SECURITY SYSTEMS. THIS SYSTEMS DRAWING SHALL BE USED AS A BASIS FOR THE SCOPE OF SAID SYSTEMS.
- COORDINATE WITH LOCAL VENDOR AND OWNER REPRESENTATIVE(S) TO PROVIDE AND INSTALL COMPLETE AND FUNCTIONAL SYSTEM TO THE SATISFACTION OF OWNER.
- FINAL DESIGN AND LAYOUT (INCLUDING, INCLUDING BUT NOT LIMITED TO, DEVICES, CABLING, DVR, MONITOR, AMPLIFIERS, LOCATIONS, HEAD-END AND PERIPHERAL EQUIPMENT, ETC.) SHALL BE SPECIFIED BY CONTRACTORS VENDOR, IN COORDINATION WITH OWNERS LOCAL REPRESENTATIVE.
- SECURITY/SURVEILLANCE SYSTEM SHALL BE PROVIDED WITH 12-16 CHANNEL DVR WITH 1-2 TB (OR THE EQUIVALENT OF 2 WEEKS RECORDING TIME) OF MEMORY AND 19" MONITOR.
- PROVIDE CARD READER/KEY PAD, DOOR CONTACT AND ELECTRIC STRIKE ROUGH-IN ONLY. VERIFY QUANTITY AND LOCATIONS OF EACH WITH OWNER PRIOR TO ROUGH-IN.
- CONTRACTORS BID SHALL INCLUDE: ONE (1) EXTERIOR "LICENSE PLATE READER" CAMERA, AND ONE (1) PANORAMIC VIEW OF EACH GATE, AND ONE (1) ON THE POOL. PROVIDE ALLOWANCE FOR TWO (2) CAMERAS IN LOCATIONS AS DIRECTED BY OWNER.
- IN ADDITION TO SOUND SYSTEM ITEMS AND DEVICES SHOWN, CONTRACTORS BID SHALL INCLUDE THREE (3) ADDITIONAL "ROCK" SPEAKERS AROUND POOL DECK. PROVIDE ALLOWANCE FOR FOUR (4) ADDITIONAL SPEAKERS IN LOCATIONS AS DIRECTED BY OWNER.



2 MEP CLOSET PLAN
SCALE: 1/2" = 1'-0"

1 FIRST FLOOR ELECTRICAL PLAN - CLUBHOUSE
SCALE: 1/4" = 1'-0"

NOTE:
NORTH ARROW
ORIENTATION VARIES WITH
EACH BUILDING. SEE G0.01 FOR
PROPER BUILDING ORIENTATION.

ADDENDUM #1 SUMMARY

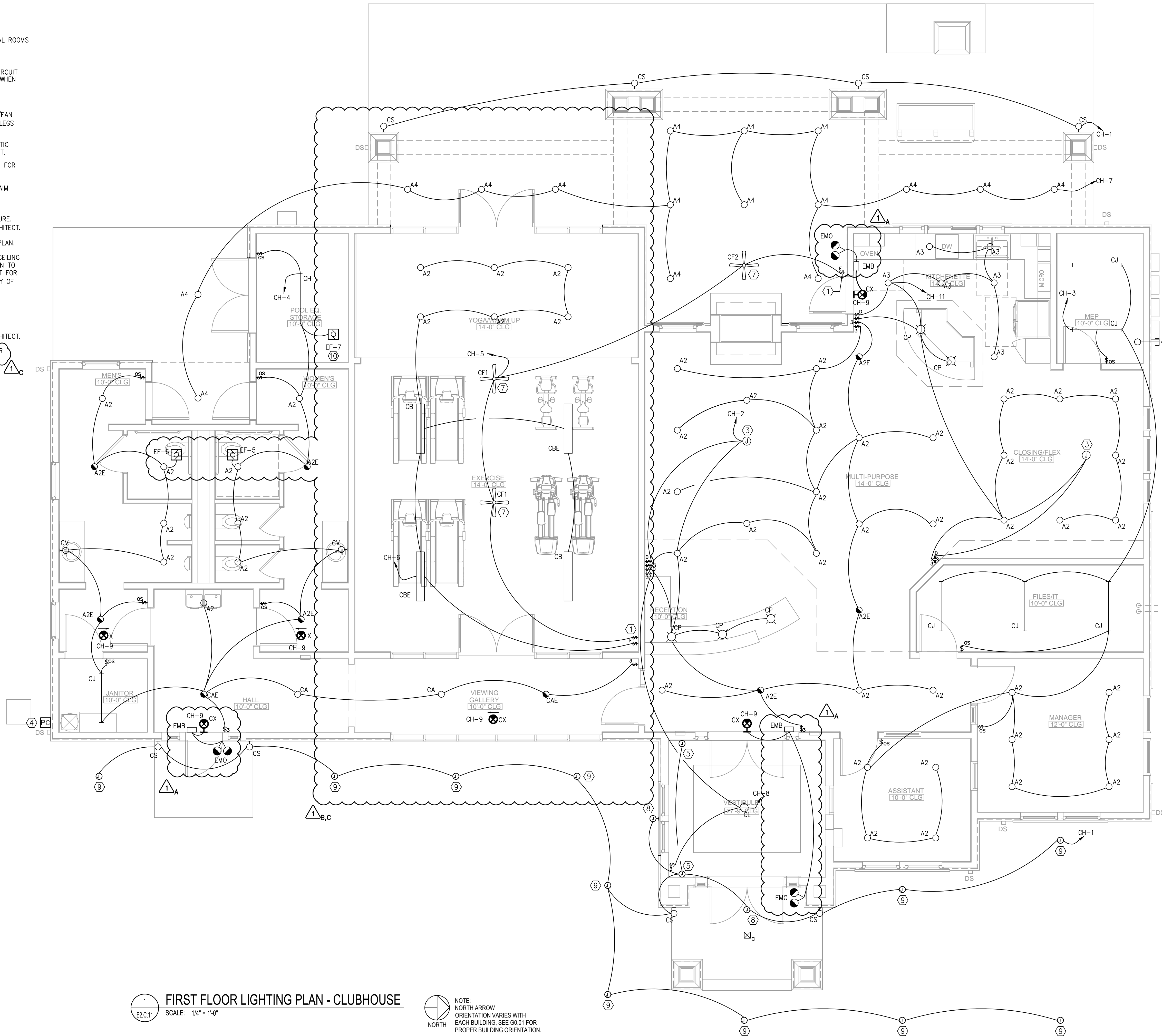
- UPDATED HVAC/PLUMBING EQUIPMENT
- UPDATED EXERCISE/YOGA PER ARCH CHANGES

LIGHTING NOTES:

1. COORDINATE LIGHT FIXTURE LOCATIONS IN MECHANICAL ROOMS WITH OTHER CONTRACTORS PRIOR TO ROUGH IN.
2. CIRCUIT ALL EXIT LIGHTS THIS SHEET TO "CH-9".
3. WIRE EMERGENCY LIGHTS UNSWITCHED TO LIGHTING CIRCUIT SERVING SAME ROOM, OR TO "NIGHT LIGHT" CIRCUIT WHEN AVAILABLE.

LIGHTING KEYED NOTES:

- 1 PROVIDE LEVITON RTD01-0AW OR EQUIVALENT LIGHT/FAN SPEED CONTROL SWITCH. PROVIDE TWO (2) SWITCH LEGS TO FANS.
- 2 PROVIDE SWITCH AND PLASTIC LAMP HOLDER FOR ATTIC ILLUMINATION. CONNECT TO NEAREST LIGHTING CIRCUIT.
- 3 PROVIDE JUNCTION BOX RATED FOR 50 LBS. MINIMUM FOR CHANDELIER (BY OWNER).
- 4 LOCATE PHOTO CELL ON NORTH FACE OF BUILDING, AIM NORTH. SEE LIGHTING CONTROL DETAIL FOR MORE INFORMATION.
- 5 PROVIDE POWER FOR OWNER SELECTED UPLIGHT FIXTURE. COORDINATE EXACT REQUIREMENTS WITH OWNER/ARCHITECT.
- 6 PROVIDE 1" CONDUIT TO MONUMENT SIGN. SEE SITE PLAN.
- 7 ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL CEILING FAN AND SPEED CONTROLLER AS SHOWN. CEILING FAN TO BE SELECTED BY OWNER. PROVIDE 50 LBS. SUPPORT FOR FAN/PENDANTS. MUST BE SUPPORTED INDEPENDENTLY OF BOX.
- 8 PROVIDE POWER FOR SIGN LIGHTING ON TOWER. COORDINATE EXACT LOCATION WITH ARCHITECT AND CONTRACTOR PRIOR TO ROUGH-IN.
- 9 PROVIDE POWER FOR LANDSCAPE LIGHTING. COORDINATE EXACT REQUIREMENTS WITH OWNER/ARCHITECT.
- 10 CONNECT FAN AHEAD OF WALL SWITCH FOR 24-HOUR OPERATION.



1 FIRST FLOOR LIGHTING PLAN - CLUBHOUSE
E2.C.11 SCALE: 1/4" = 1'-0"

NOTE:
NORTH ARROW
ORIENTATION VARIES WITH
EACH BUILDING. SEE G0.01 FOR
PROPER BUILDING ORIENTATION.



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SEAL

ISSUE & REVISION RECORD

#	DATE	DESCRIPTION
	07/07/14	BID SET
1	07/22/14	OWNER COMMENTS FOR PERMIT

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PROJECT

SPRINGS AT FREMAUX TOWN CENTER
SLIDELL, LA

CLIENT

CONTINENTAL PROPERTIES
CONTINENTAL 294 FUND LLC
W134 N0675 EXECUTIVE PARKWAY
MEMPHIS FALLS, WI 53051
262.502.5500 • FAX 262.502.5522

PHILLIPS JOB NUMBER 1333104

ISSUE DATE 07/07/14

DRAWN BY/CHECKED BY JDP

DRAWING TITLE

FIRST FLOOR LIGHTING PLAN- CLUBHOUSE

SHEET NUMBER

E2.C.11

ADDENDUM #1 SUMMARY

- A. UPDATED EMERGENCY LIGHTS
- B. UPDATED EXERCISE/YOGA PER ARCH CHANGES
- C. UPDATED HVAC EQUIPMENT

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