

N 13°27'00" W - 202.32'

3" Live Oak

TREES TO REMAIN (2 TYP.)

SERVITUDE AREA
IN FAVOR OF TRACT 2D-2-B
NOT TO BE DEVELOPED
3.489 ACRES
151,980 SQ. FT.

DEDICATED DRAINAGE
SERVITUDE IN FAVOR OF
MULTIFAMILY PROPERTY
3.49 ACRES

WATER QUALITY POND

N 24°33'14" W - 205.17'

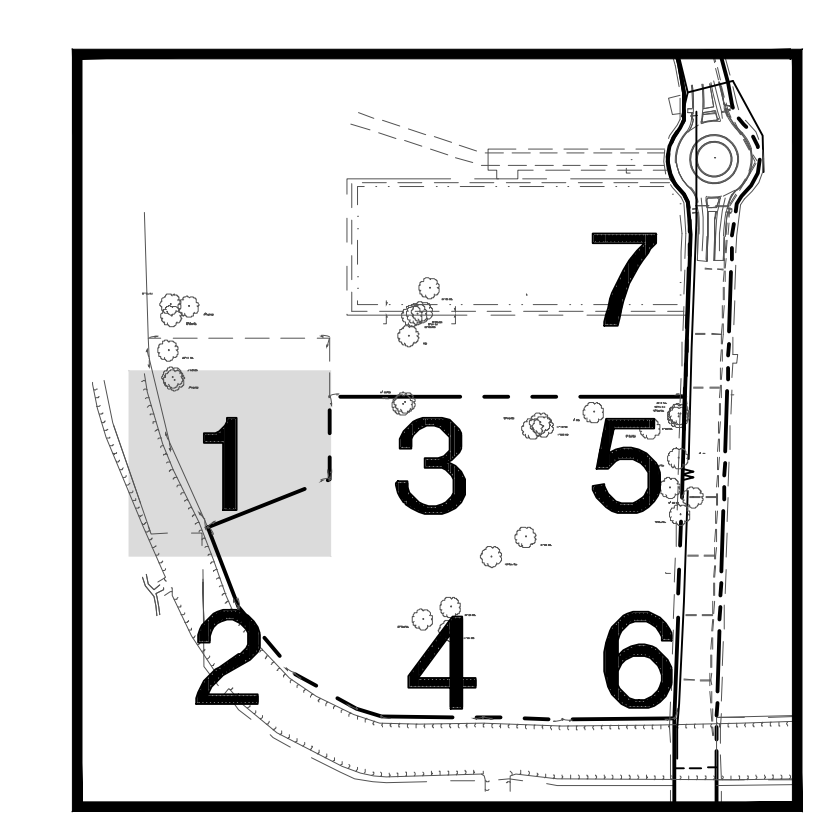
N 20°59'46" W - 18.51'

N 68°30'25" E - 310.42'

S 00°00'00" W - 335.27'

N 00°00'00" F - 196.76'

MATCHLINE (SEE SHEET C-3.3)



KEY MAP
N.T.S.

LEGEND - STRIPING

- SWSL/4" - SINGLE WHITE SOLID LINE / 4" WIDE
- DYSL/4" - DOUBLE YELLOW SOLID LINE / 4" WIDE EACH
- YSL/4" - SINGLE YELLOW SOLID LINE / 4" WIDE
- SWDL/4" - SINGLE WHITE DASHED LINE / 4" WIDE
- SBSL/4" - SINGLE BLUE SOLID LINE / 4" WIDE
- SWSL/24" - SINGLE WHITE SOLID LINE / 24" WIDE
- SWSL/8" - SINGLE WHITE SOLID LINE / 8" WIDE

EXISTING LEGEND

- FOUND PROPERTY CORNER (AS NOTED)
- SET 3/4" IRON ROD
- EXISTING POWER POLE
- EXISTING POWER POLE WITH LIGHT
- EXISTING PARKING LOT LIGHT
- EXISTING GUY ANCHOR
- EXISTING TELEPHONE PEDESTAL
- EXISTING OVERHEAD POWER LINE
- EXISTING GAS METER
- EXISTING GAS VALVE
- EXISTING BARB WIRE FENCE LINE
- EXISTING WIRE MESH FENCE LINE
- EXISTING HIGH DENSITY POLYETHYLENE PIPE 12" HDPE
- EXISTING PIPE BOLLARD
- EXISTING MAILBOX
- ELEVATION OF TOP OF STRUCTURE TOP = 18.00
- ELEVATION OF BOTTOM OF STRUCTURE INV. = 15.00
- ELEVATION OF TOP OF CURB 18.50 TC
- ELEVATION OF FACE OF CURB 18.00 FC
- EXISTING SEWER MANHOLE
- EXISTING SEWER CLEANOUT
- EXISTING DRAINAGE MANHOLE
- EXISTING SUBSURFACE DRAINAGE
- EXISTING CATCH BASIN/DROP INLET
- EXISTING FIRE HYDRANT
- EXISTING WATER METER
- EXISTING WATER VALVE
- EXISTING WATER LINE
- EXISTING REINFORCED CONCRETE PIPE 18" RCP
- EXISTING CORRUGATED METAL PIPE 24" CMP

NOTE:

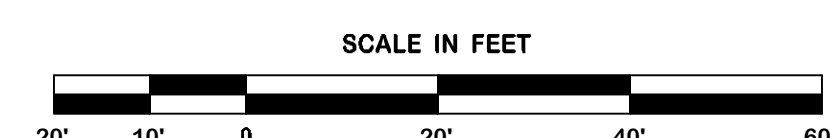
1. SEE SHEETS C-3.0 FOR OVERALL SITE PLAN.
2. SEE SHEETS C-4.0-C-4.6 FOR GRADING PLANS.
3. SEE SHEETS C-8.1-C-8.8 FOR UTILITY PLANS.
4. SEE SHEETS C-8.1-C-8.2 FOR EROSION CONTROL PLANS.
5. SEE SHEETS C-1 FOR GENERAL NOTES.
6. SEE SHEETS D-1-D-6 FOR DETAILS.
7. SEE SHEETS C-2 FOR BUILDING DIMENSIONAL CONTROL PLAN.



LEGEND - NEW IMPROVEMENTS

- BUILDING
- CONCRETE CURB AND GUTTER
- PARKING SPACES
- ADA RAMP
- HEAVY DUTY ASPHALT OR CONCRETE
- STANDARD DUTY PAVEMENT
- SITE LIGHTING POLES
- FIRE HYDRANT
- WATER VALVE
- DOWN SPOUT
- DIRECTIONAL ARROWS
- FLUME
- GARAGES
- SIDEWALK
- DECORATIVE FENCE
- CHAINLINK FENCE
- COMMUNICATIONS BOX
- ELECTRIC BOX
- TREE TO REMAIN

SITE PLAN
SECTION 1



MATCHLINE 2 (SEE SHEET C-3.2)

B20 BLDG 7
FFE = 12.50'

REVISION	BY
7-24-14 ADDENDUM 1	SMT
8-13-14 CITY COMMENTS	SMT
10/09/14 BUILDING UPDATE	SMT

DDG
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Signature: *And E. B. ...*
DATE: 10-09-2014
Professional Engineer Seal: DOUGLAS E. BARRILLEAUX, License No. 34541

SPRINGS AT FREMAUX TOWN CENTER
SLIDELL, LOUISIANA
ST. TAMMANY PARISH
FOR CONTINENTAL 294 FUND LLC
MEMONONEE FALLS, WI

DRAWN DGS
CHECKED DEB
ISSUED DATE 10/09/2014
ISSUED FOR PERMITTING
PROJECT NO. 14-248
FILE 14-248 C-3 SITE
SHEET C-3.1