

6/17/24 Received
 Applied *amc*
 Issued

Building Permit Application

250 Bouscaren Street, Suite # 202
 Slidell, La. 70458
 (985) 646-4324

JOB ADDRESS <u>2998 Portchartrain Dr.</u>			
LOT NO	SQUARE NO	SUBDIVISION	
		<u>985 502 0343</u>	
OWNER	PHONE NO		E MAIL ADDRESS
<u>Carollo/Bradley</u>			
OWNER'S MAILING ADDRESS			
<u>charlettecarollo@gmail.com</u>			
CONTRACTOR	PHONE NO	E MAIL ADDRESS	FAX NO
	<u>Paradise Gardens Landscaping</u>		
CONTRACTOR'S MAILING ADDRESS			
<u>34129 Hwy 433</u>	<u>Slidell, La</u>	<u>70460</u>	
JOB SUPERVISOR	PHONE NO	FAX NO	
<u>C.M. Carollo</u>			
CITY LICENSE NO	STATE LICENSE NO		
	<u>46667</u>		
ARCHITECT/ENGINEER	PHONE NO	E MAIL ADDRESS	FAX NO
<u>Damon</u>	<u>985 649 5832</u>		
ARCHITECT/ENGINEER'S MAILING ADDRESS			
<u>554 Old Spanish Trail Slidell, La 70458</u>			
TYPE OF CONSTRUCTION			
RESIDENTIAL		COMMERCIAL <input checked="" type="checkbox"/>	
NEW	ADDITION	ALTERATION	REPAIR <input checked="" type="checkbox"/> MOVE DEMOLISH
NAME OF COMMERCIAL DEVELOPMENT			
<u>Camellia Point</u>			
DESCRIBE WORK			
<u>Kitchen Parking lot</u>			
HEIGHT OF BLDG	NO OF STORIES	FRONT YARD SETBACK	
<u>1 story</u>	<u>1 story</u>		
SIDE YARD SETBACK	REAR YARD SETBACK	CORNER OR INTERIOR LOT (circle one)	
PREVIOUS USE OF BLDG	PROPOSED USE OF BLDG		
<u>See Site Plan</u>			
JOB COST	SQUARE FEET	CONSTRUCTION TYPE	
<u>\$40,000.00</u>			
LIST THE FOLLOWING SUB-CONTRACTORS			
ELECTRICAL	ACHMRV	PLUMBING & GAS	

This permit shall be cancelled if work described is not commenced within six (6) months of date issued.

[Signature]
 Applicant's Name

06/17/24
 Date

OFFICE USE ONLY

Permit No 24-1175 Permit Fee _____
 Receipt No. _____ Date Issued _____

FLOOD ZONE AE9-942 DESIGN FLOOD ELEVATION _____
 TAX ASSESSMENT # 92794 You may contact Melanie Band at 985-809-8180

6/17/24

SCOPE OF WORK

CATEGORY	X	COST OF MATERIALS	COST OF SUPPLIES	COST OF LABOR
FOUNDATION		Ø	Ø	Ø
FRAMING		Ø	Ø	Ø
EXT. WINDOWS/DOORS		Ø	Ø	Ø
ROOF COVERING		Ø	Ø	Ø
EXT. SIDING		Ø	Ø	Ø
ELECTRICAL		1,000-	Ø	4,000-
PLUMBING		500-	Ø	3,000-
MECHANICAL		4,000-	Ø	500-
GAS		400-	Ø	600-
INSULATION		Ø	Ø	Ø
SHEETROCK		Ø	Ø	Ø
TRIM WORK		Ø	Ø	Ø
CABINETS		Ø	Ø	Ø
PAINTING		Ø	Ø	Ø
FLOORING		Ø	Ø	Ø
APPLICANCES		6,000-	Ø	400-
OTHER		13,000-	Ø	600-
TOTAL		↓ 30,900	↓ Ø	↓ 9,100-

Total: \$40,000

SIGNATURE:



DATE:

6/17/2024



Louis Fitzmorris, CLA
 St. Tammany Parish Assessor
 www.stpao.org

Tax Roll For Year: 2023 Assessment Type: RE Abstract Status: Active

Assessment Information

Assessment Number
92796

Old Assessment Number
1248082944

Owner Information

Owner Name
JCR, CONSOLIDATED

In Care Of

Mailing Address
34129 HWY 433, SLIDELL, LA, 70460

Physical Address
2998 PONTCHARTRAIN DRIVE SLIDELL, LA 70458

Property Description
1.105 ACS M/L BEING PARCEL B SEC 44 9 14 INST NO 1...

Tax District
24

Ward
09S

Property Information

Parish Mills	140.35
City Mills	26.06
Parish Taxes	\$4,704.81
City Taxes	\$866.33
Total Taxes	\$5,571.14
Fair Market Value Improvement	\$144,293
Fair Market Value Land	\$116,000
Total Fair Market Value	\$260,293

Tax Information

Millage/Fee Name	Mill Type	Millage/Fee Rate	Tax/Fee Amount
Alimony 2 (Parish Maint.)	M	1.44	\$47.87
Animal Shelter	M	1	\$33.24
Assessment District	M	2.49	\$82.78
City Of Slidell	M	26.06	\$866.33
Coroner's Millage	M	3.1	\$103.06
Council On Aging/STARC	M	1.83	\$60.84
Drainage Maintenance	M	1.69	\$56.18
Fire Dist 01	M	35	\$1,163.54
Florida Par. Juv. Center	M	2.75	\$91.42
Law Enforcement	M	11.14	\$370.34
Library	M	5.78	\$192.15
Mosquito Dist 2	M	3.35	\$111.37
Northshore Harbor Center	M	0.25	\$8.31
Public Health	M	1.78	\$59.17
School Additional Support	M	2.75	\$91.42

Assessed Value Land	\$11,600
Assessed Value Improvements	\$21,644
Total Assessed Value	\$33,244
Homestead Value	\$0
Other Exemptions Value	\$0
Taxable Value	\$33,244
Freeze Type None (default)	
Exemption Type None	

School Additional Support Tax	M	4.42	\$146.94
School Constitutional Tax	M	3.48	\$115.69
School Debt Service	M	13.9	\$462.09
School Maint. Operations	M	32.41	\$1,077.44
School Maint. Operations/Const	M	3.14	\$104.39
School Security SRO MHP	M	1.9	\$63.16
Slidell Hospital District	M	6.75	\$224.41
Fire Dist. 1 Parcel Fee	F	0	\$39

6/17/24

6/17/2024

PARADISE GARDENS LANDSCAPING INC.
34129 HWY 433
SLIDELL, LA 70460

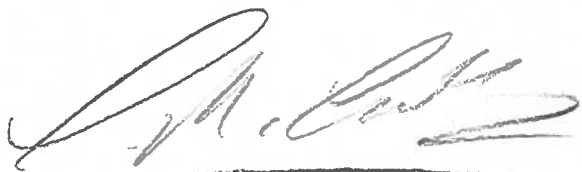
JOBSITE: 2998 PONTCHARTRAIN DR.
SLIDELL, LA. 70458

PLAN # AR-24-006928
DD-226C 4.10.24

> PER PLANS AT
City of Slidell OFFICE

TO COMPLETE WORK IN ALL DRAWINGS AS
SPECIFIED IN DESIGNS.

COST: \$40,000


Contractor


Director

0/17/24



Jeff Landry
GOVERNOR

Office of State Fire Marshal

8181 Independence Blvd. Baton Rouge, LA 70806
(225) 925-4911 (800) 256-5452 Fax (225) 925-4241



Chief Bryan J. Adams
FIRE MARSHAL

PLAN REVIEW REPORT

WARREN DIETZ
3605 JOYCE DR
MANDVILLE LA 70448

Project Number: **AR-24-006928**
Review Type: **Architectural Review**
Status: **RELEASED**
Date Completed: **5/31/2024**
Code Edition: **2021**

In accordance with L.R.S. 40:1574 et seq., satisfactory compliance with the requirements of the laws, rules, regulations and codes of the state that are entrusted to the State Fire Marshal to uphold must be achieved before any work is performed. As such, a permit shall not be issued or construction or installation of the scope of work identified herein shall not commence until the Status of this review is "Released" and the requirements of other state and local entities have been satisfied.

Project Description: RENOVATING AN EXISTING BUILDING TO THE FIRST FLOOR ONLY			
Project Name: CAMELLIA POINT		Address: 2998 PONCHARTRAIN DR, SLIDELL, LA 70461	
Funding Type: Private Project	Within City Limits? YES	Number of Stories: 2	High Rise Building: No
Occupancy Separation Type:	Total Occupancy Square Feet: 2627	Project on which Floor(s): 1	Construction Type: V-B / V (000)
Additional Features (if applicable):	Kitchen Hood Fire Suppression System		

Occupancy Type(s) and Square Feet		
Occupancy Type: Assembly - Group A	Square Feet: 2627	Details: OCCUPANCY RATING: 50 TO 299 OCCUPANTS; ASSEMBLY TYPES: GROUP A-2

Renovation		
Renovation or Addition:	Alteration Level 2 (less than or equal to 50% of the building's physical value)	
Date of Original Building Construction:	1/1/2000	
Date of Latest Major Renovation to this Building:	1/1/2000	
Existing Square Feet:	Additional Square Feet:	Renovated Square Feet:
3218		2627
Previous Occupancies:		
Generator Installation:		
Facility Licensed By DHH Health Standards Section: No		


Louisiana State Uniform Construction Code Review	
Review for the LSUCCC performed by:	3rd Party Provider's Registration Number:
Office of the State Fire Marshal	
Design Loads:	
First Floor Live Loads: 0	Floor Live Loads above the 1st floor: 0
Corridor Live Loads: 0	
Roof Live Loads: 0	Roof (Ground) Snow Loads: 0
Wind Design Data:	
Ultimate Design Wind Speed:	Nominal Design Wind Speed: 0
Risk Category: 0	Wind Exposure Category: 0
Applicable Internal Pressure Coefficient: 0	Comp. & Cladding Wind Pressure: 0
Flood Design Data	
Finish Floor Elevation: 0	Elevation of Lowest Member: 0
Flood Zone: 0	Base Flood Elevation: 0
Design Flood Elevation: 0	Adjusted Base Flood Elevation: 0

Individuals Involved in this Project		
Name:	Role:	Address:
WARREN LOUIS DIETZ	Professional of Record - CIVIL ENGINEER (E-28536)	3605 JOYCE DR, MANDEVILLE, LA 70448
CHARLETTE CAROLLO	Owner	202 HIGHLAND PARK PLAZA, COVINGTON, LA 70433

Changes that are inconsistent with the reviewed documents are not authorized unless reviewed by this office for compliance with adopted codes, rules and laws. The changes must be submitted to this office by the Professional of Record where required by law, otherwise by the Owner, for review prior to construction and inspection. Minor changes may be submitted as supplemental information amended to this assigned project number. Changes that alter the scope of work, or that otherwise will require another full review of the project, will require a complete resubmittal of the entire scope of work with application, revised plans, and applicable review fee.

This review shall in no way permit or authorize any omissions or deviations from the specific requirements of the adopted codes, rules and regulations of the state. Construction permits must be issued or installation must commence within 180 days from the date of the "Released" Status for this submittal.

Occupancy of the project will not be permitted until a satisfactory inspection of the completed construction has been made by this office. Please allow at least two (2) weeks advanced notice to schedule inspections.

Review Completed By	
Signature:	
Name: Brad Everett	Badge No.: 578

Distribution List		
Name	Firm Name	Role
ST TAMMANY FIRE PROTECTION DISTRICT NO 1*		Fire Prevention Bureau
CITY OF SLIDELL*		

Cautionary Codes

The items listed below are comments for informational purposes or identified requirements that will be verified upon final inspection by this office. These requirements need not be addressed back to the reviewer, however should be addressed prior to construction and inspection scheduling. Failure to comply with or otherwise address these items may affect final occupancy and use of the structure.

- 1 Scope of work: This review applies to the renovation of approximately 2627 square feet on the first floor of an existing 2-story building. The first floor operates as a restaurant with the existing second floor remaining unchanged and operating as an office space.
- An 8'-5" x 3'-0" commercial kitchen exhaust hood with suppression system is indicated in "KITCHEN-8" protecting a new 66" grille and two (2) fryers. The hood and suppression system shall be submitted for separate systems review.
- 2 This review applies to new work indicated in the drawings and does not apply to existing non-conforming conditions.
- 3 NOTE: HOOD CONSTRUCTION IS NOT AUTHORIZED until a satisfactory review by this office is performed for determining compliance with minimum code requirements. Compliance with NFPA 96, regarding cooking hood construction/installation, cannot be determined with the documents received. (See "Kitchen Exhaust Hood/Duct/Suppression System Requirements" at http://lasfm.org/doc/prh_suppression-requirements.pdf for guidance). The following specific information was not apparently provided:
- Hood and duct sizes, metal type and gauge (thickness).
 - The type of construction at the walls, attic and roof adjacent to the hood and duct.
 - The clearance between the hood and surrounding walls and ceiling.
 - The clearance between the exhaust duct and surrounding structure at the ceiling, the attic, and the roof.
 - The clearances at the exhaust fan assembly.
 - Exhaust fan and make-up air fan (CFM) capacities and duct sizes.
- 4 FIRE PROTECTION SYSTEMS:
- 4.1 LAC 55:V:303.E Provide listed portable fire extinguishers in accordance with NFPA 10. (Refer to Appendix E for distribution information.)
- Classification:
- Class A fires: fires in ordinary combustible materials, such as wood, cloth, paper, rubber and many plastics. Travel distance to a fire extinguisher shall not exceed 75 feet.
 - Class B fires: fires in flammable liquids, combustible liquids, petroleum greases, tars, oils, oil-based paints, solvents, lacquers, alcohols and flammable gases. Travel distance to a fire extinguisher shall not exceed 30 feet for Class B fires (liquids). (May be increased to 50 feet for Light (low) Hazard fires with 10-B extinguisher, for Ordinary (moderate) Hazard fires with 20-B extinguisher, and for Extra (high) Hazard fires with 80-B extinguisher). See Table 10:6.3.1.1.
 - Class C fires: fires that involve energized electrical equipment. Travel distance to a fire extinguisher shall not exceed 75 feet.
 - Class D fires: fires in combustible metals. Travel distance to a fire extinguisher shall not exceed 75 feet.
 - Class K fires: fires in cooking appliances that involve combustible cooking media (vegetable or animal oils and fats.) Travel distance to a fire extinguisher shall not exceed 30 feet for Class K fires (cooking appliances). See NFPA 10:6.6.
- 5 BUILDING CONSTRUCTION and COMPARTMENTATION:
- 5.1 The construction type is indicated to be Type VB per IBC Section 602.
- 6 EGRESS DOORS:
- 6.1 101:7.2.1.4.2 and IBC 1010.1.2.1 Egress door(s) serving an area with 50 or more occupants shall swing in the direction of egress travel.
-SEE REVIEW MARKS ON THE DRAWINGS -- THE DOORS AT "BAR AREA-1" AND "DINING - 4" SHALL SWING IN THE DIRECTION OF EGRESS....
- 6.2 101:12.2.2.2.2 and IBC 1010.2.9 Doors in a required means of egress shall NOT be equipped with a latch or lock other than panic hardware or fire exit hardware, under the following conditions;
- Areas serving ASSEMBLY use areas having an occupant load of 50 or more persons.
- 7 INTERIOR INSULATION and FINISHES:

7.1	<p>LAC 55:305 Insulation and insulation assemblies shall meet the requirements of Section 720, International Building Code, 2021 Edition.</p> <ul style="list-style-type: none"> - Concealed and exposed insulation shall have a flame spread of 0-25 and a smoke developed of 0-450 in accordance with IBC 720. - Cellulose fiber thermal insulation shall meet the requirements of paragraph IBC 720. <p>Foam Plastic Insulation shall meet the requirements of IBC 2603, and NFPA 101:10.2.4.3.</p> <ul style="list-style-type: none"> - Foam plastic shall have a flame spread of 0-25 and a smoke developed of 0-450 where tested in accordance with the provisions of IBC 2603.3 and NFPA 101:10.2.4.3. <p>Thermal barriers shall protect foam plastic insulation in accordance with IBC 2603.4.</p> <ul style="list-style-type: none"> - Intumescent coatings used as an alternative to the thermal barrier required over foam plastic insulation shall be approved by this office prior to installation. Provide evaluation report(s) for review that document test results in accordance with the provisions of IBC 2603.9 and NFPA 101:10.2.4.3 as a complete assembly. - Approved alternative thermal barrier coatings shall be tested on the foam plastic insulation product proposed and listed as a complete assembly related to actual end-use configuration. Such coatings shall be applied to the thickness indicated by the evaluation report. <p>Ignition barrier assemblies or other intumescent coatings tested in accordance with provisions other than those referenced by IBC 2603.9 are NOT an acceptable alternative to the thermal barrier.</p> <ul style="list-style-type: none"> - Alternative Ignition barriers complying with IBC 2603.4.1.6 may protect foam plastic insulation used in attics or crawl spaces, where entry is made only for service of utilities, in lieu of the thermal barrier.
8	<p>MEP:</p> <p>8.1 NEC 210.8(B) Other Than Dwelling Units. Provide GFCI protection for personnel at ALL 125-volt through 250-volt receptacles supplied by single-phase branch circuits rated 150 volts or less to ground, 50 amperes or less, and ALL receptacles supplied by three-phase branch circuits rated 150 volts or less to ground, 100 amperes or less, installed in the following locations specified in 210.8(B)(1) through 210.8(B)(12):</p> <ul style="list-style-type: none"> - Kitchens or areas with a sink and permanent provisions for either food preparation or cooking - Rooftops - Outdoors - Sinks where receptacles are installed within 6 ft of the top inside edge of the bowl of the sink - Indoor damp and wet locations
9	<p>GENERAL COMMENTS:</p> <p>9.1 LRS 40:1664.4 All work and inspections of fire alarm, fire suppression, automatic sprinkler and fire extinguishing systems or portable fire extinguishers shall be performed by a State of Louisiana certified agent.</p> <p>9.2 101:4.6.1.4, LRS 40:1574.1.C.(1) and LRS 37:155 Shop drawings for fire protection systems, such as Fire Alarm, Sprinklers, and Suppression Systems, that are required to be submitted to this office for review, shall be reviewed and approved by the responsible "Professional of Record's" (POR = Architect / Engineer) office. The shop drawings shall be stamped with the POR's "Shop Drawing Review Stamp" or equivalent, indicating that shop drawings have been reviewed for conformance with plans, specifications, and appropriate codes before uploading them to the online system OR electronic certification through the OSFM-IMS online portal is acceptable.</p>
10	<p>ACCESSIBILITY FEATURES:</p> <p>10.1 LRS 40:1731-(Effective 10/01/11) Provide access for persons with disabilities in accordance with the ADA-ABA Accessibility Guidelines, July 23, 2004 (also known as the 2010 Standards). This does not include a review for compliance with the Federal Americans with Disabilities (Civil Rights) Act of 1990. Compliance with state regulations and requirements does not guarantee compliance with federal law. NOTE: As per ADA-ABA 2004, Section F103, Office of State Fire Marshal equivalency determinations are not valid for facilities that are designed, constructed, altered, or operated with federal funds, or leased by a federal agency. The authority having jurisdiction over such appeals is the administrator of the General Services Administration (GSA). Particular observations and paragraph references are noted as follows:</p> <p>10.2 ADA-ABA:216.2 Where signage identifies permanent rooms or spaces OR EXITS, the signage shall comply with Sections 703.1 - 703.5 (raised characters, Braille, visual characteristics, height).</p> <p>10.3 ADA-ABA:226.1 Where dining surfaces are provided for the consumption of food or drink, at least 5% (and no less than 1) of the seating spaces shall comply with Section 902. Accessible dining shall be dispersed.</p> <p>ADA-ABA:902.1 Dining surfaces and work surfaces shall comply with the following:</p> <ul style="list-style-type: none"> - 902.2 Provide a 30" x 48" clear floor space positioned for a forward approach. - 902.3 The tops of dining surfaces and work surfaces shall be 28" minimum and 34" maximum above the finish floor or ground <p>10.4 ADA-ABA:404.2.4 Minimum maneuvering clearances at doors and gates shall comply with 404.2.4.</p> <p>...SEE REVIEW MARKS ON THE DRAWING. MANEUVERING CLEARANCE IS REQUIRED AT THE DOOR INDICATED AT "BAR AREA -1"...</p> <p>10.5 ADA-ABA:404.2.7 Handles, pulls, latches, locks, and other operable parts on doors and gates shall comply with 309.4. Hardware shall not require tight grasping, tight pinching, or twisting of the wrist to operate.</p>

11	<p>NOTE: THE FOLLOWING IS A REVIEW FOR COMPLIANCE WITH THE REQUIREMENTS OF THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE (LSUCC). THIS PORTION OF THE REVIEW IS PERFORMED AT THE REQUEST OF, AND ON BEHALF OF THE JURISDICTION IN WHICH THIS PROPOSED PROJECT IS LOCATED. This office will not be responsible for inspections to certify compliance with applicable requirements. Contact the local Building Official or a Louisiana State Uniform Construction Code Council certified third-party provider to arrange for inspections.</p> <p>Codes Referenced: 2021 International Building Code (IBC) not including Chapters 1, 11, 27, and 29 with Louisiana Amendments; 2021 International Existing Building Code (IEBC) not including Chapter 1; 2021 International Mechanical Code (IMC); 2021 International Plumbing Code (IPC) with Louisiana Amendments; 2021 International Fuel Gas Code (IFGC); 2020 National Electric Code (NEC)</p>
12	<p>BUILDING PLANNING:</p> <p>12.1 - Classification of Work: The scope of work is classified as Alteration-Level 2 per IEBC Section 603.</p>
13	<p>STRUCTURAL: STRUCTURE IS EXISTING.</p>
14	<p>MECHANICAL SYSTEMS:</p> <p>14.1 The minimum ventilation rate of outdoor air shall be determined in accordance with IMC Section 403.3.</p> <p>14.2 Air distribution, ventilation and exhaust systems shall be provided with means to adjust the system to achieve the design airflow rates and shall be balanced by an approved method. Ventilation air distribution shall be balanced by an approved method and such balancing shall verify that the air distribution system is capable of supplying and exhausting the airflow rates required by Chapter 4.</p> <p>14.3 Commercial kitchen exhaust hoods shall comply with the requirements of IMC Section 507.</p> <p>14.4 Makeup air shall be supplied during the operation of commercial kitchen exhaust systems that are provided for commercial cooking appliances. The amount of makeup air supplied shall be approximately equal to the amount of exhaust air. The makeup air shall not reduce the effectiveness of the exhaust system. For mechanical makeup air systems, the exhaust and makeup air systems shall be electrically interlocked to insure that makeup air is provided whenever the exhaust system is in operation, per IMC 508.1.</p>
15	<p>PLUMBING SYSTEMS:</p> <p>15.1 Plumbing shall comply with the requirements of R.S. 40:1730.26 and R.S. 40:1730.28 in accordance with the 2021 International Plumbing Code with Louisiana Amendments.</p> <p>15.2 All grease traps, interceptors, and separators shall comply with the requirements of Chapter 10 of the 2021 International Plumbing Code with Louisiana Amendments and shall be sized by the local building official.</p> <p>15.3 Required testing shall be in accordance with IPC Sections 312.2 through 312.10 with Louisiana amendments.</p> <p>15.4 IPC 413.2 Provide removable strainers at ALL floor drains. Construction of drain shall be such that they are capable of being cleaned. Access shall be provided to drain inlets and floor drains.</p> <p>15.5 IPC 413.3 Floor drains shall have a drain outlet not less than 2 inches in diameter.</p> <p>15.6 IPC 703.6 No building sewer shall be less than 4 inches in size with the exception of force lines.</p> <p>15.7 IPC 802.1.1 Equipment and fixtures utilized for the storage, preparation and handling of food shall discharge through an indirect waste pipe by means of an air gap.</p> <p>15.8 IPC 906 Vent pipes shall be sized in accordance with Chapter 9, Table 906.1, coordinate with the local building official.</p>
16	<p>FUEL GAS: NO WORK IS INDICATED.</p>
17	<p>INTERNATIONAL ENERGY CONSERVATION CODE:</p> <p>17.1 LRS 40:1730.28.5 Provide energy code compliance documentation for review indicating compliance with the International Energy Conservation Code, 2021 edition. - Per IECC C101.5.1 and C401.2, Demonstration of compliance using COMcheck with "2021 IECC" or ASHRAE "90.1 (2019) Standard" with Louisiana selected as the code option will be acceptable. Code compliance materials can be obtained from the U.S. Department of Energy's website www.energycodes.gov/. Technical assistance can be obtained from the Technology Assessment division of the La. Dept. Of Natural Resources at 1-800-836-9589 (1-225-342-3842 if calling from outside Louisiana).</p> <p>....PER IEBC SECTION 809, ALTERATIONS SHALL CONFORM TO THE ENERGY REQUIREMENTS OF THE IECC AS THEY RELATE TO NEW CONSTRUCTION ONLY. PROVIDE COMPLIANCE DOCUMENTS FOR NEW MECHANICAL AND ELECTRICAL WORK...</p>

Project Directory

CIVIL ENGINEER:
WARREN DIETZ, JR.
(943) 987-4391 OFFICE • (943) 512-2099 MOBILE

Code Data

NEPA 101. LIFE SAFETY CODE 2013 EDITION
CLASSIFICATION OF OCCUPANCY:
RENOVATIONS TO EXISTING BUILDING
ASSEMBLY CHAPTER 12

CLASSIFICATION OF CONSTRUCTION TYPE:
VB

OCCUPANT LOAD FACTOR:
1 PERSON PER 15.50 FT² - LESS CONCENTRATED
USE

INTERNATIONAL BUILDING CODE 2015 EDITION
USE & OCCUPANCY CLASSIFICATION
SECTION 203.3 ASSEMBLY GROUP A-2

TYPE OF CONSTRUCTION:
VB (UNPROTECTED UNSPRINKLERED)
GENERAL BUILDING HEIGHTS AND AREAS
BUILDINGS-1 12 STORY

INTERIOR WALL AND CLO. FINISHES
PASSAGEWAYS, CLASS B CORRIDORS
ROOMS AND ENCLOSED SPACES CLASS C

MEANS OF EGRESS
PER TABLE 1005.1, EGRESS WIDTH OF
CORRIDORS.

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2998 PONCHIA TRAIN DR.

CAMELLIA POINT

DD-226C

4/10/2024

Drawing Index

General Notes

ALL MATERIALS SHALL BE NEW EXCEPT WHERE OTHERWISE NOTED AND SHALL CONFORM WITH THE STANDARDS OF MATERIALS WHICH HAVE BEEN ESTABLISHED FOR THE PARTICULAR TYPE OF MATERIAL IN QUESTION.

THE CONTRACTOR SHALL OBTAIN IN PAY ALL NECESSARY PERMITS AND AFTER COMPLETION FURNISH OWNER WITH ALL NECESSARY PERMITS AND APPROVALS AS ISSUED BY THE INSPECTION DEPARTMENT OF THE CITY IN WHICH BUILDING IS LOCATED.

ALL TESTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST PRACTICES OF THE FIELD. THE TESTS SHALL BE MADE IN THE PRESENCE OF THE OWNER OR HIS REPRESENTATIVE.

ELECTRICAL WORK SHALL COMPLY WITH NECA AND NATIONAL ELECTRICAL CODE AND BE PERFORMED BY AN LICENSED ELECTRICIAN.

ALL WORK IS TO HAVE A ONE YEAR WARRANTY, MINIMUM AND AS SPECIFIED.

ALL HVAC SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST PRACTICES OF THE FIELD. THE TESTS SHALL BE MADE IN THE PRESENCE OF THE OWNER OR HIS REPRESENTATIVE.

ALL EXPOSED ALUMINUM PIECES/PARTS TO BE PREFINISHED IN A MATCHING COLOR TO BE SELECTED BY ARCHITECT. COATING TYPE SHALL BE AS SPECIFIED.

THE STORAGE OF MATERIALS ON SITE SHALL BE ALLOWED ON GARDEN AREAS, HOWEVER ANY DAMAGE TO LAWNS, SURFACES AND GARDEN LANDSCAPE AREAS SHALL REQUIRE RESTORATION TO ORIGINAL CONDITION BY GENERAL CONTRACTOR AT NO COST TO OWNER.

CONTRACTOR IS TO COORDINATE ALL WORK SCHEDULES WITH OWNER AND USERS. ACCESS INTO BUILDING SHALL NOT BE INTERRUPTED UNLESS OWNER AND USER APPROVAL HAS BEEN OBTAINED.

BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE CONTRACTOR REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS AND THAT THE DRAWINGS ACCURATELY REPRESENT THE PROJECT AS COMPLETED. THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FIELDWORKED THE PROJECT AND THAT HE IS AWARE OF ALL LOCAL CONDITIONS, VERIFIED REQUIREMENTS OF THE CONTRACT DOCUMENTS PRIOR TO BIDDING.

DO NOT SCALE DRAWINGS

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS ON THESE DRAWINGS OR BETWEEN DRAWINGS AND FIELDWORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK INVOLVING THE AREAS OF CONFLICT.

CONTRACTOR SHALL COORDINATE ALL DISRUPTIVE WORK WITH THE OWNER. DISRUPTIVE WORK TO BE PERFORMED AFTER

THE CONTRACTOR SHALL VISIT THE SITE AND THOROUGHLY ACCURATELY WITH ALL ASPECTS OF THE CONSTRUCTION OUTLINED IN THIS DOCUMENT PRIOR TO SUBMITTING A BID. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SPECIFICATIONS AS WELL AS THE DRAWINGS.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY APPARATUS REQUIRED TO INSURE THE HEALTH OF WORKERS AS WELL AS THE OWNERS AND GENERAL.

THE CONTRACTOR SHALL PROVIDE ANY SITE DEMOLITION/UTILITY RELOCATION NECESSARY FOR COMPLETION OF WORK.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY ACCESSORIES COMPLETE ROOF CERTIFIABLE BY THE MANUFACTURER.

IN NO WAY DO THE DIMENSIONS SHOWN ON THE PLANS REPRESENT AN EXACT QUANTITY OF MATERIALS. THE BIDDER IS SOLELY RESPONSIBLE FOR THE QUANTITIES IN HIS ESTIMATE.

CONTRACTOR TO COORDINATE EXPANSION JOINT LOCATIONS WITH ARCHITECT AND STRUCTURAL ENGINEER.

PROVIDE LEVEL TRANSITION AT ALL DOORS FOR A MINIMUM OF 5'-0" IN FRONT AND BACK OF DOORS. EXTERIOR DOORS MUST HAVE ENOUGH ROOM FOR A 5'-0" MIN. LANDING WITH MAXIMUM FALL OF 1/4".

ALL FLOOR PLAN DIMENSIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE NOTED.

THE CONTRACTOR SHALL KEEP THE SITE AND ALL INTERIOR SPACES CLEAR OF TRASH AND CONSTRUCTION DEBRIS DURING CONSTRUCTION ON A DAILY BASIS.

THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING UNDERGROUND UTILITIES EXACT LOCATIONS PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES DAMAGED DURING THE COURSE OF THIS CONSTRUCTION CONTRACT.

ALL DOORS LAID OUT IN AN EGRESS WAY SHALL BE LAID OUT IN SUCH A MANNER AS TO ALLOW 18" ON THE PULL SIDE OF THE DOOR AND 12" ON THE PUSH SIDE OF THE DOOR AND AS PER LOCAL CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISCUSSION PRIOR TO LAYOUT AND CONSTRUCTION.

THE SITE PLAN REPRESENTS GENERAL LOCATION OF IMPROVEMENTS. IT SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY TO LOCATE ALL IMPROVEMENTS ON SITE PRIOR TO ALTERATION, ADDITION OR THE IN ALL DAMAGE SHALL BE REPAIRED TO ORIGINAL CONDITION BY THE GENERAL CONTRACTOR AT THE CONTRACTOR'S EXPENSE.

FIRE GRADING AND SEEDING SHALL EXTEND OVER THE SITE IN ALL DIRECTIONS AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.

THIS PROJECT CONSIST OF AN EXISTING BUILDING CONVERTED IN RESTAURANT / BAR CAMELLIA POINT

THIS PROJECT CONSIST OF AN EXISTING BUILDING CONVERTED IN RESTAURANT / BAR CAMELLIA POINT

Project Description

THIS PROJECT CONSIST OF AN EXISTING BUILDING CONVERTED IN RESTAURANT / BAR CAMELLIA POINT

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THIS PROJECT CONSIST OF AN EXISTING BUILDING CONVERTED IN RESTAURANT / BAR CAMELLIA POINT

LOADS

1ST. FLOOR LIVE LOAD=100 PSF
CORRIDOR LIVE LOAD=100PSF
ROOF SNOW LOADS=50 PSF GROUND SNOW
WIND SPEED=20
NOMINAL WIND SPEED=30
RISK CATEGORY=2
APPLICABLE INTERNAL PRESSURE COEFFICIENT=0.18
COMP & CLOUDING WIND PRESSURE=39PSF

ACCESSIBILITY

ALL LANDINGS AND WALKWAYS ARE TO BE LEVEL AND SHALL BE FINISHED WITH 5/8" FROTH THRESHOLD. ALL EXITS ARE TO BE HANDICAP PARKING AND STORAGE IS EXISTING TO THE RETAIL DEVELOPMENT.

TOILET FACILITIES ARE EXISTING AND ARE NOT TO BE ALTERED UNDER THIS WORK.

SIGAGE WILL BE PROVIDED TO COMPLY WITH ICC SECTION 1109.

GENERAL NOTES

BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE CONTRACTOR REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS AND THAT THE DRAWINGS ACCURATELY REPRESENT THE PROJECT AS COMPLETED. THE CONTRACTOR REPRESENTS THAT HE HAS VISITED THE SITE, FIELDWORKED THE PROJECT AND THAT HE IS AWARE OF ALL LOCAL CONDITIONS, VERIFIED REQUIREMENTS OF THE CONTRACT DOCUMENTS PRIOR TO BIDDING.

DO NOT SCALE DRAWINGS

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS ON THESE DRAWINGS OR BETWEEN DRAWINGS AND FIELDWORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK INVOLVING THE AREAS OF CONFLICT.

CONTRACTOR SHALL COORDINATE ALL DISRUPTIVE WORK WITH THE OWNER. DISRUPTIVE WORK TO BE PERFORMED AFTER

GENERAL NOTE:

ALWAYS REFER TO ALL FIRE MARSHALL CAUTIONARY NOTES AND REVIEW LETTERS FOR ANY FINAL CHANGES THAT MAY NOT HAVE BEEN PUT INTO DRAWING AFTER FINAL REVIEW OF PLAN FROM THE FIRE MARSHALL.

GENERAL NOTE:

ALWAYS REFER TO ALL FIRE MARSHALL CAUTIONARY NOTES AND REVIEW LETTERS FOR ANY FINAL CHANGES THAT MAY NOT HAVE BEEN PUT INTO DRAWING AFTER FINAL REVIEW OF PLAN FROM THE FIRE MARSHALL.

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Sheet Name	Sheet Number
SITE PLANS & CODE REFERENCES	A1.0
SITE PLAN	A1.1
EXISTING/DEM PLAN	A1.2
FIRST LEVEL FLOOR PLAN	A1.4
SECOND FLOOR PLAN	A1.6

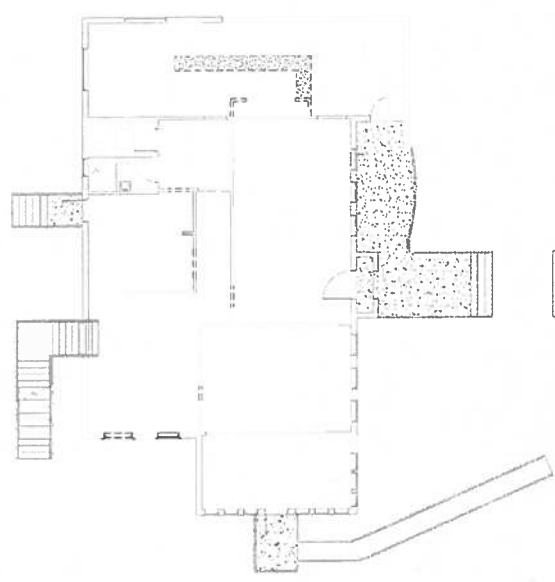
WARREN L. DIETZ JR. P.E.
 CIVIL ENGINEER
 Covington, LA
 985-809-8033

2998 PONCHTRAIN DR.
 CAMELLIA POINT
 CITY OF SLIDELL

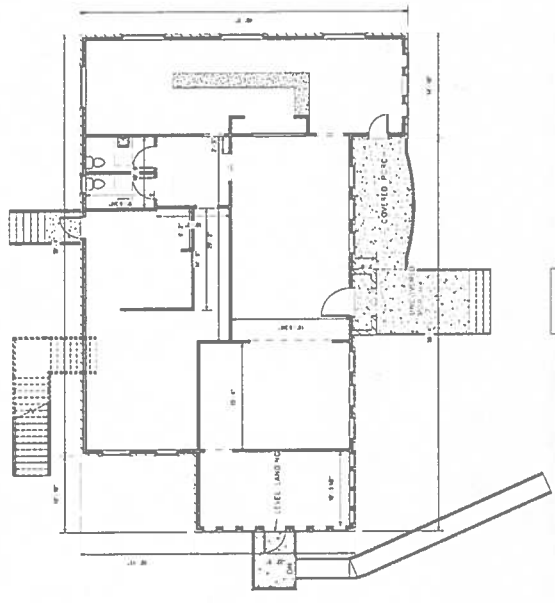


Drawn by: JLD
 Checked by: WRS
 Project number: 00-000
 Date: 4/10/08

SHEET
A1.2



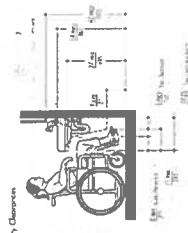
C1
 1ST FLOOR - DEMO
 1/8" = 1'-0"



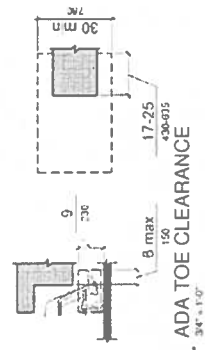
A1
 1ST FLOOR - EXISTING
 1/8" = 1'-0"

ADA HEIGHT STANDARDS

Fig. 4 Access Clearance



D3 DD-ADA-HEIGHT STANDARDS
 12" = 1'-0"



D4 ADA TOE CLEARANCE
 3/4" = 1'-0"

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2998 PONCHTRAIN DR.
 CAMELLIA POINT
 CITY OF SLIDELL

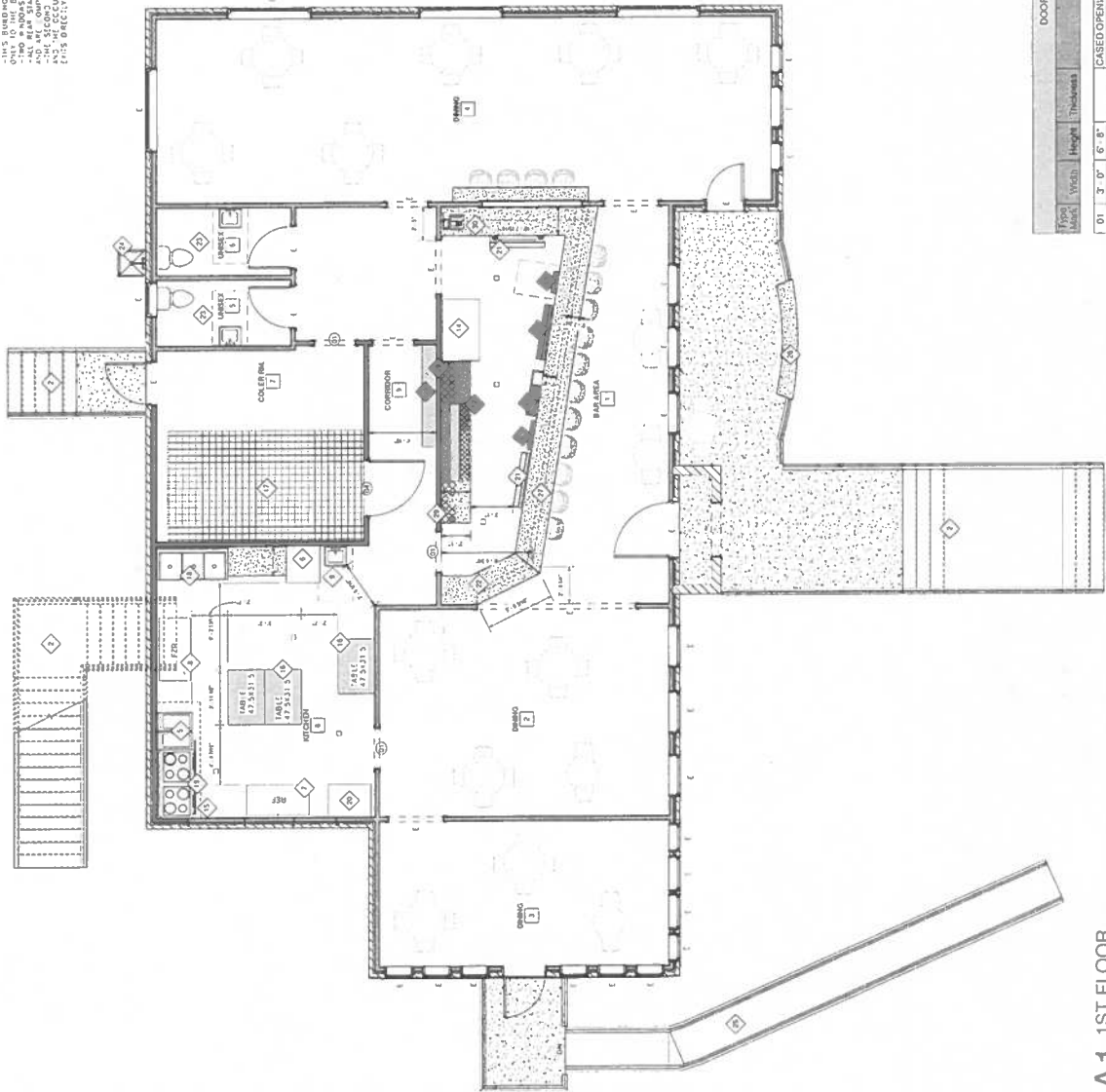


Drawn by: JAB
 Checked by: WAB
 Project number: 10-10-2020
 Date: 1/10/2020
 SHEET: A1.4

- 236 WALL
- EXISTING STAIRS
- RAILINGS ARE TO HAVE 4" MIN. SPACE BETWEEN BALUSTERS, AND 34" TO 38" HIGH. STAIRS AS PER CODE, 2021 IRC-R311.7
- 2 FRYERS ATO-AIFS-40
- DISHWASHER-485XOWFLEX
- REACH IN COOLER-178xM9WC
- REACH IN FREEZER-178xM9RHC
- HAND SINK-600x32
- BAR DISHWASHER-MD-QW-178x22P
- BAR TRIPLE COMPARTMENT-600x310 1/4g
- CHILL RTE CM SBT 20P TAP SYSTEM
- BAR HAND SINK-600x32
- MERCH REACH IN ATYANCO 54" 178x6x9xND
- HOOD SYSTEM W/ SUSPRESSION: ACCUREX XBEW-T-120 005
- PREP TABLE EPBRND-04 47.5
- WALK IN COOLER-FREEZER
- TRIPLE SINK-60x3151515y
- GRILL BURNERS ATO-AGR-682xGRMS 66"
- PIZZA OVEN-SHUFFLE 1200
- SPEED RACK
- ADA COUNTER
- EXISTING ADA APPROVED BATHS
- MOP SINK
- EXISTING ADA APPROVED RAMP
- BUS BACKERS ARE TO BE WELDED TO EXISTING IRON RAILINGS TO MOUNT A BAR TOP TO IT
- 4" STUD WALL BELOW BAR
- NEW WALL OF SHELVES TO BE BUILT HERE
- PREMIUM LOCKERS
- ICE MAKER (NEEDS SPECS)

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GENERAL NOTES, PLACE AND FIRST-AND-2ND CHANGES
 -ALL REVISIONS, ADDITIONS, DELETIONS AND ETC.
 CURRENTLY IN PROGRESS. THE BAR AND KITCHEN IS
 ONLY TO THE BAR COUNTER AND KITCHEN AREA.
 -THE BAR SHIMS HAVE BEEN APPROVED PER WORK
 ORDER.
 -THE SECOND FLOOR WILL BE USED AS A OFFICE.
 -DO NOT OCCUPANT LEVELS. BEARS 30 PLYMTH AND
 1/2" GYPSUM BOARD ON TOP.



SQ. FOOTAGE		Area
Component		
CONDITIONED		597 SF
EXISTING 2ND FLR		267 SF
EXISTING RENOVATED 1ST		3218 SF
CONDITIONED		3218 SF
Grand Total		

DOOR SCHEDULE			
From	Width	Height	Thickness
01	3'-0"	6'-8"	
04	4'-0"	6'-8"	0'-1.31"
			INTERIOR SOLID DOOR
			Count
			3
			1

A1 1ST FLOOR
 1/4" = 1'-0"

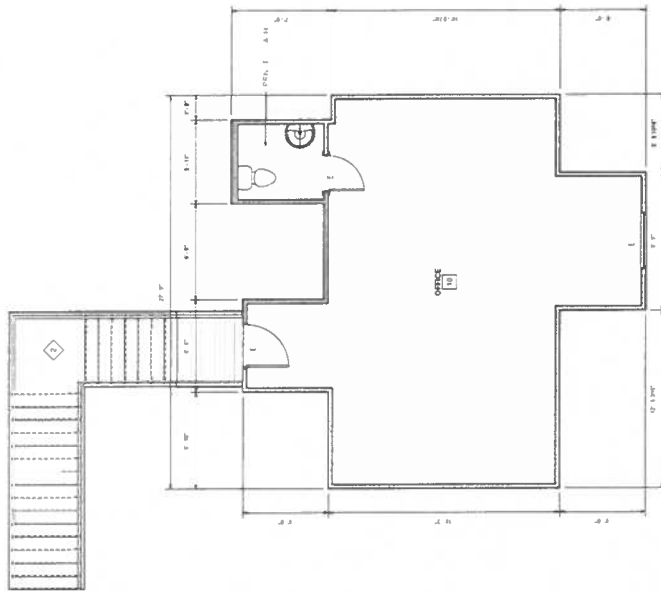
WARREN L. DIETZ JR. P.E.
CIVIL ENGINEER
Covington, LA
985-809-8033

2998 PONCHATRAIN DR.
CAMELIA POINT
CITY OF SLIDELL



Drawn by: JMS
Checked by: WLD
Project number: 00-202
Date: 11-0-2011

SHEET
A1.6



A1 2ND. FLOOR
1/4"=1'-0"

Project Directory

CIVIL ENGINEER:
WARREN D. DIETZ, JR.

(863) 987-5481 OFFICE - (864) 512-2099 MOBILE

Code Data

IFEMA 101-LIFE SAFETY CODE 2015 EDITION

CLASSIFICATION OF OCCUPANCY:
RENOVATIONS TO EXISTING BUILDING
ASSEMBLY CHAPTER 12

CLASSIFICATION OF CONSTRUCTION TYPE:
VB

OCCUPANT LOAD FACTOR:
1 PERSON PER 15 SQ. FT., LESS CONCENTRATED
USE

INTERNATIONAL BUILDING CODE 2015 EDITION

USE & OCCUPANCY CLASSIFICATION:
SECTION 303.3 ASSEMBLY GROUP A.2

TYPE OF CONSTRUCTION:
VB (UNPROTECTED SPRINKLERED)

GENERAL BUILDING HEIGHTS AND AREAS
BUILDING: 1 1/2 STORY

INTERIOR WALL AND C.G. FINISHES
CLASS A IN EXITS ENCLOSURES AND EXIT
PASSAGEWAYS, CLASS B CORRIDORS,
ROOMS AND ENCLOSED SPACES CLASS C.

MEANS OF EGRESS

PER TABLE 1005.1, EGRESS WIDTH OF
CORRIDORS

THE COMMON PATH OF EGRESS TRAVEL,
PER BC 1014.3 IS LESS THAN 75 FEET.

ACCESSIBILITY

ALL LANDINGS AND WALKWAYS ARE TO
BE LEVEL UNLESS OTHERWISE NOTED
5/8" FROM THRESHOLD ALL EXITS ARE TO
BE PAVED TO PUBLIC WAY.

HANDICAP PARKING AND SIGNAGE IS
EXISTING TO THE RETAIL DEVELOPMENT.

TOILET FACILITIES ARE EXISTING AND ARE
NOT TO BE ALTERED UNDER THIS WORK

SIGNAGE WILL BE PROVIDED TO COMPLY
WITH BC SECTION 1109.

LOADS

1ST FLOOR LIVE LOAD=100 PSF

ROOF LIVE LOAD=20 PSF WITH TRIBUTARY REDUCTION

FLOOR LIVE LOADS=100 PSF

ROOF SNOW LOADS=54 PSF GROUND SNOW

WIND SPEED=120 MPH 1ST FLOOR = 104

NOMINAL WIND SPEED=90

RISK CATEGORY=2

APPLICABLE INTERNAL PRESSURE COEFFICIENT=0.18

COMP & CLOUDING WIND PRESSURE=39FSF

Sheet Name	Sheet Number
SITE PLAN & CODE REFERENCES	A1.0
SITE PLAN	A1.1
EXISTING DEMO PLAN	A1.2
FIRST LEVEL FLOOR PLAN	A1.3
SECOND FLOOR PLAN	A1.6

2998 PONCHATRRAIN DR.

CAMELLIA POINT

DD-226C

4/10/2024

Drawing Index

General Notes

ALL MATERIALS SHALL BE NEW EXCEPT WHERE OTHERWISE NOTED. ALL MATERIALS SHALL BE APPROVED BY THE ARCHITECT AND UNDERWRITERS LABORATORY IN EVERY CASE WHERE SUCH A STANDARD HAS BEEN ESTABLISHED FOR THE PARTICULAR TYPE OF MATERIAL IN QUESTION.

THE CONTRACTOR SHALL OBTAIN IN PAY ALL NECESSARY PERMITS AND AFTER COMPLETION, FURNISH OWNER CERTIFICATIONS OF FINAL INSPECTIONS AND APPROVAL AS ISSUED BY THE INSPECTION DEPARTMENT OF THE CITY IN WHICH THE PROJECT IS LOCATED.

ALL TESTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST STANDARDS OF THE M.E.C. THE TESTS SHALL BE MADE IN THE PRESENCE OF THE OWNER OR HIS REPRESENTATIVE.

ELECTRICAL WORK SHALL COMPLY WITH NFPA AND NATIONAL ELECTRICAL CODE AND BE PERFORMED BY A LICENSED ELECTRICIAN.

ALL WORK IS TO HAVE A ONE YEAR WARRANTY, MINIMUM AND AS SPECIFIED.

ALL HVAC SYSTEMS SHALL BE CONSTRUCTED IN ACCORDANCE WITH NFPA AND SHALL PROVIDE REQUIRED SMOKE DETECTION DEVICES. SYSTEMS SHALL BE INSTALLED BY LICENSED HVAC CONTRACTOR.

ALL EXPOSED ALUMINUM PIECES/PARTS TO BE PREFINISHED IN A MATCHING COLOR TO BE SELECTED BY ARCHITECT. COATING TYPE TO BE SPECIFIED.

THE STORAGE OF MATERIALS ON SITE SHALL BE ALLOWED ON DESIGNATED AREAS. STAGING WILL BE ALLOWED ON LAWN OR GARDEN AREAS, HOWEVER ANY DAMAGE TO LAWN SURFACES AND GARDEN LANDSCAPE AREAS SHALL REQUIRE RESTORATION TO ORIGINAL CONDITION BY GENERAL CONTRACTOR AT NO COST TO OWNER.

CONTRACTOR IS TO COORDINATE ALL WORK SCHEDULES WITH THE OWNER REPRESENTATIVE. ALL WORK SHALL BE INTERRUPTED UNLESS OWNER AND USER APPROVAL HAS BEEN OBTAINED.

BY USE OF THE DRAWINGS FOR CONSTRUCTION OF THE PROJECT, THE OWNER REPRESENTS THAT HE HAS REVIEWED AND APPROVED THE DRAWINGS AND THAT THE CONSTRUCTION DOCUMENT PHASE OF THE PROJECT IS COMPLETE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE FIELD DIMENSIONS AND RELATED HIS OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS PRIOR TO BEGINNING WORK.

DO NOT SCALE DRAWINGS.

NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS ON THESE DRAWINGS OR BETWEEN DRAWINGS AND ACTUALLY FIELD CONDITIONS PRIOR TO BEGINNING ANY WORK INVOLVING THE AREAS OF CONFLICT.

CONTRACTOR SHALL COORDINATE ALL DISRUPTIVE WORK WITH THE OWNER. DISRUPTIVE WORK TO BE PERFORMED AFTER

THE CONTRACTOR SHALL VERIFY THE SITE AND THOROUGHLY ACCURATELY WITH ALL ASPECTS OF THE CONSTRUCTION OUTLINED IN THIS DOCUMENT PRIOR TO SUBMITTING A BID. ANY DISCREPANCIES SHALL BE BROUGHT IMMEDIATELY TO THE ARCHITECT'S ATTENTION BY THE CONTRACTOR'S DESIGNER/ENGINEERS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO FAMILIARIZE HIMSELF WITH THE SPECIFICATIONS AS WELL AS THE DRAWINGS.

THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY APPARATUS REQUIRED TO INSURE THE HEALTH OF WORKERS AS WELL AS THE OWNERS AND GENERAL PUBLIC.

THE CONTRACTOR SHALL PROVIDE ANY SITE DEMOLITION UTILITY RELOCATION NECESSARY FOR COMPLETION OF WORK. ACCESSORIES AS REQUIRED BY ROADS MANUFACTURER TO PROVIDE A COMPLETE ROOF CERTIFIABLE BY THE MANUFACTURER.

IN NO WAY DO THE DIMENSIONS SHOWN ON THE PLANS REPRESENT AN EXACT QUANTITY OF MATERIALS. THE BIDDER IS TO BE RESPONSIBLE FOR THE QUANTITIES IN HIS BID.

CONTRACTOR TO COORDINATE EXPANSION JOINT LOCATIONS WITH PROVIDE LEVEL TRANSITION AT ALL DOORS FOR A MINIMUM OF 5'-0" IN FRONT AND BACK OF DOORS. EXTERIOR DOORS MUST HAVE ENOUGH ROOM FOR A 2'-0" MIN. LANDING WITH MAXIMUM CLEARANCE OF 1'-0".

ALL FLOOR PLAN DIMENSIONS ARE TO THE FACE OF STUD UNLESS NOTED.

THE CONTRACTOR SHALL KEEP THE SITE AND ALL INTERIOR SPACES CLEAR OF TRASH AND CONSTRUCTION DEBRIS DURING CONSTRUCTION ON A DAILY BASIS.

THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND UTILITIES PRIOR TO BEGINNING CONSTRUCTION. EXCAVATION WORK REPAIR OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR SHOULD THEY BE DAMAGED DURING THE COURSE OF THIS CONSTRUCTION CONTRACT.

ALL DOORS LAID OUT IN AN EGRESS WAY SHALL BE LAID OUT IN SUCH A MANNER AS TO ALLOW 18" ON THE PULL SIDE OF THE DOOR AND 24" ON THE PUSH SIDE. ALL DOOR IN QUESTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER/ENGINEER FOR DISCUSSION PRIOR TO LAYOUT AND CONSTRUCTION.

THE SITE PLAN REPRESENTS GENERAL LOCATION OF IMPROVEMENTS IT SHALL BE THE GENERAL CONTRACTORS RESPONSIBILITY TO LOCATE ALL IMPROVEMENTS ON SITE PRIOR TO CONSTRUCTION. THE GENERAL CONTRACTOR SHALL BE PROPERLY REPAIRED BY THE GENERAL CONTRACTOR, AT THE CONTRACTOR'S EXPENSE.

FINE GRADING AND SEEDING SHALL EXTEND OVER THE SITE IN AREAS DISTURBED BY CONSTRUCTION.

Project Description

THIS PROJECT CONSIST OF AN EXISTING BUILDING CONVERTED IN RESTAURANT / BAR CAMELLIA POINT

GENERAL NOTE:

ALWAYS REFER TO ALL PRE-MARSHALL CAUTIONARY NOTES AND REVISIONS TO THESE DRAWINGS. ANY CHANGES THAT MAY NOT HAVE BEEN IN THE DRAWING AFTER FINAL REVIEW OF PLAN FROM THE ARCHITECT SHALL BE IN WRITING BY BRAD EVERETT

WARREN D. DIETZ, JR.



WARREN D. DIETZ, JR., P.E. Commercial Planners
70433 Covington, LA

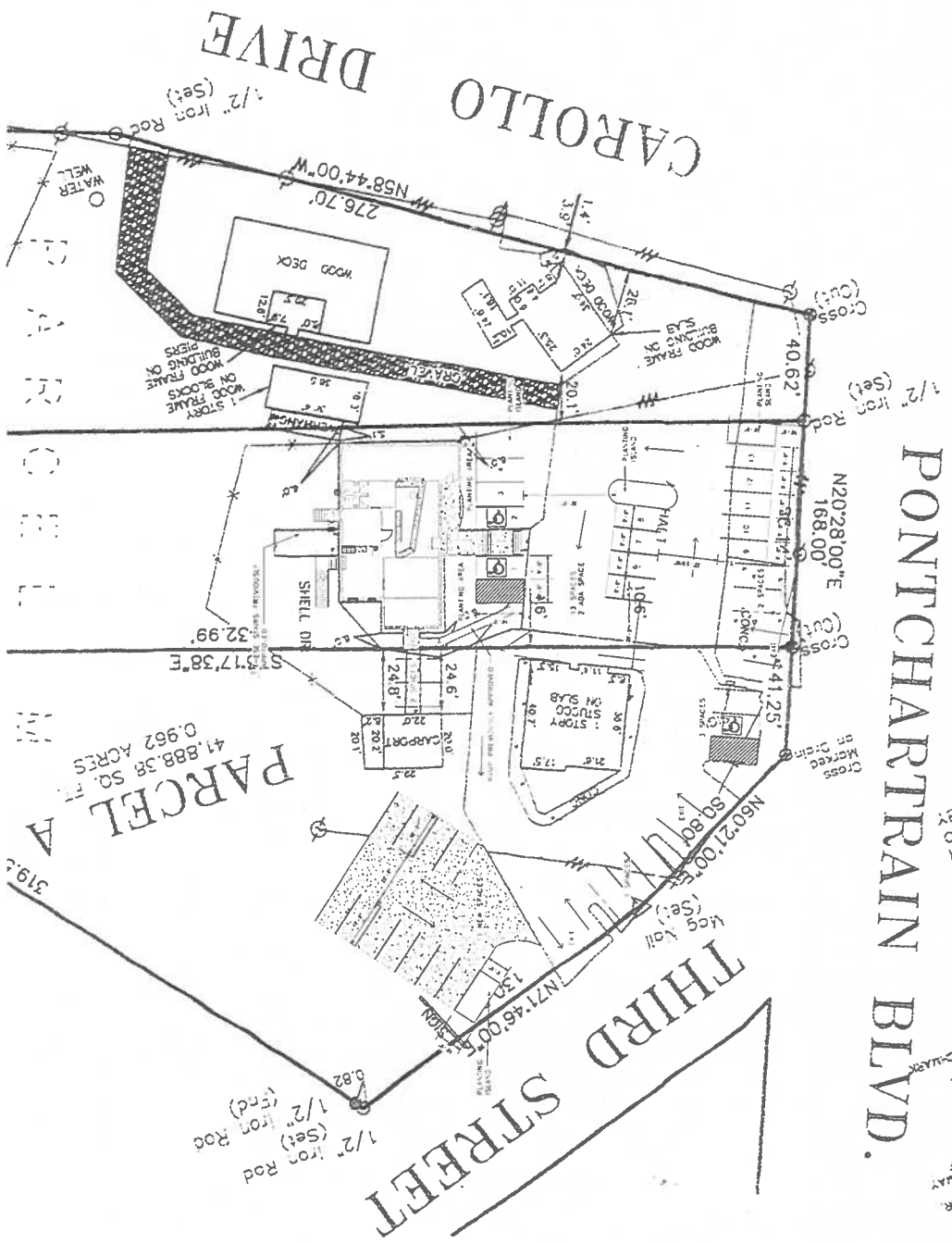
WARREN L. DIETZ JR. P.E.
 CIVIL ENGINEER
 Covington, LA
 985-809-8033

2998 PONCHATRIN DR.
 CAMELLIA POINT
 CITY OF SLIDELL



Drawn by: [Name]
 Checked by: [Name]
 Project number: [Number]
 Date: [Date]

SHEET
A1.1



REMOVED FOR
 STATE FIRE MARSHAL
 APPROVAL LETTER
 BY [Name]

PARCEL A
 41,888.38 SQ. FT.
 0.962 ACRES

PONTCHARTRAIN BLVD.

THIRD STREET

1A
 PLOT PLAN

WARREN L. DIETZ JR. P.E.
 CIVIL ENGINEER
 Covington, LA
 985-809-8033

2998 PONCHATRAIN DR.
 CAMELIA POINT
 CITY OF SLIDELL

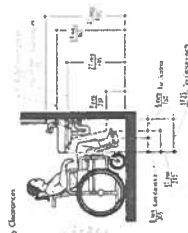


Drawn by: JAH
 Checked by: WMS
 Project number: 00-210
 Date: 11.0.2004

SHEET
A1.2

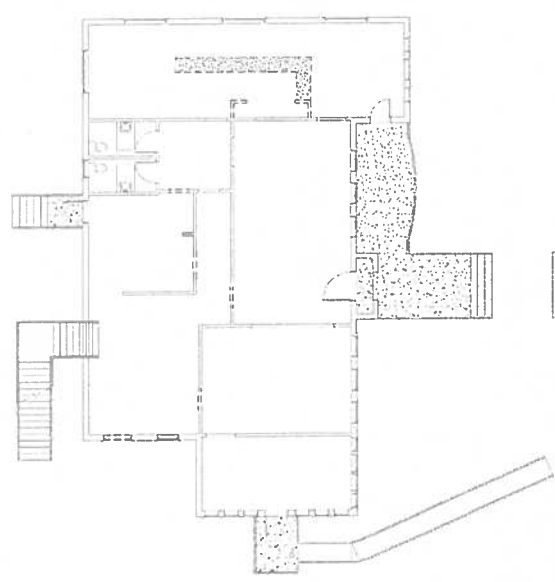
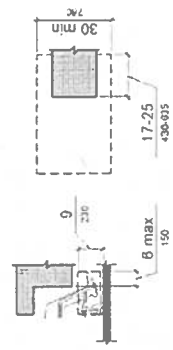
ADA HEIGHT STANDARDS

Fig. 4 Access Clearance

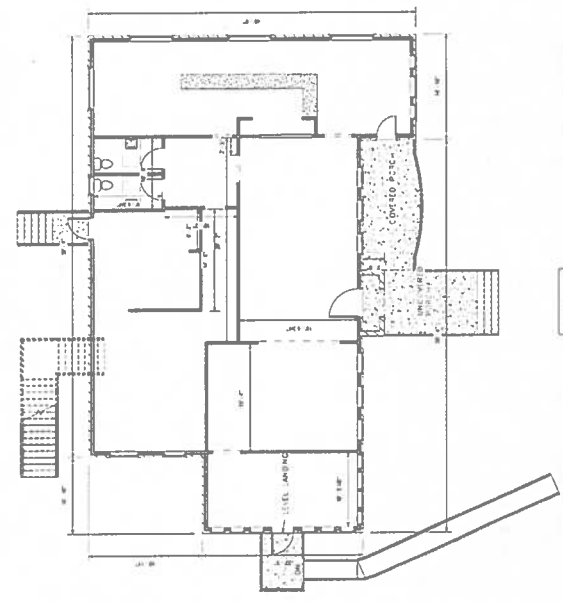


D3 DD-ADA-HEIGHT STANDARDS
 12" x 1'0"

D4 ADA TOE CLEARANCE
 34" x 1'0"



C1 1ST FLOOR - DEMO
 18" x 1'0"



A1 1ST FLOOR - EXISTING
 18" x 1'0"

REVIEWED FOR
 THE DESIGN AND
 ACCESSIBILITY
 BY: INGA EVERETT

WARREN L. DIETZ JR. P.E.
 CIVIL ENGINEER
 Covington, LA
 985-809-8033

2998 PONCHTRAIN DR.
 CAMELIA POINT
 CITY OF SLIDELL



Drawn by: JMS
 Checked by: WLS
 Project number: 00 inc
 Date: 11/10/20

A1.4

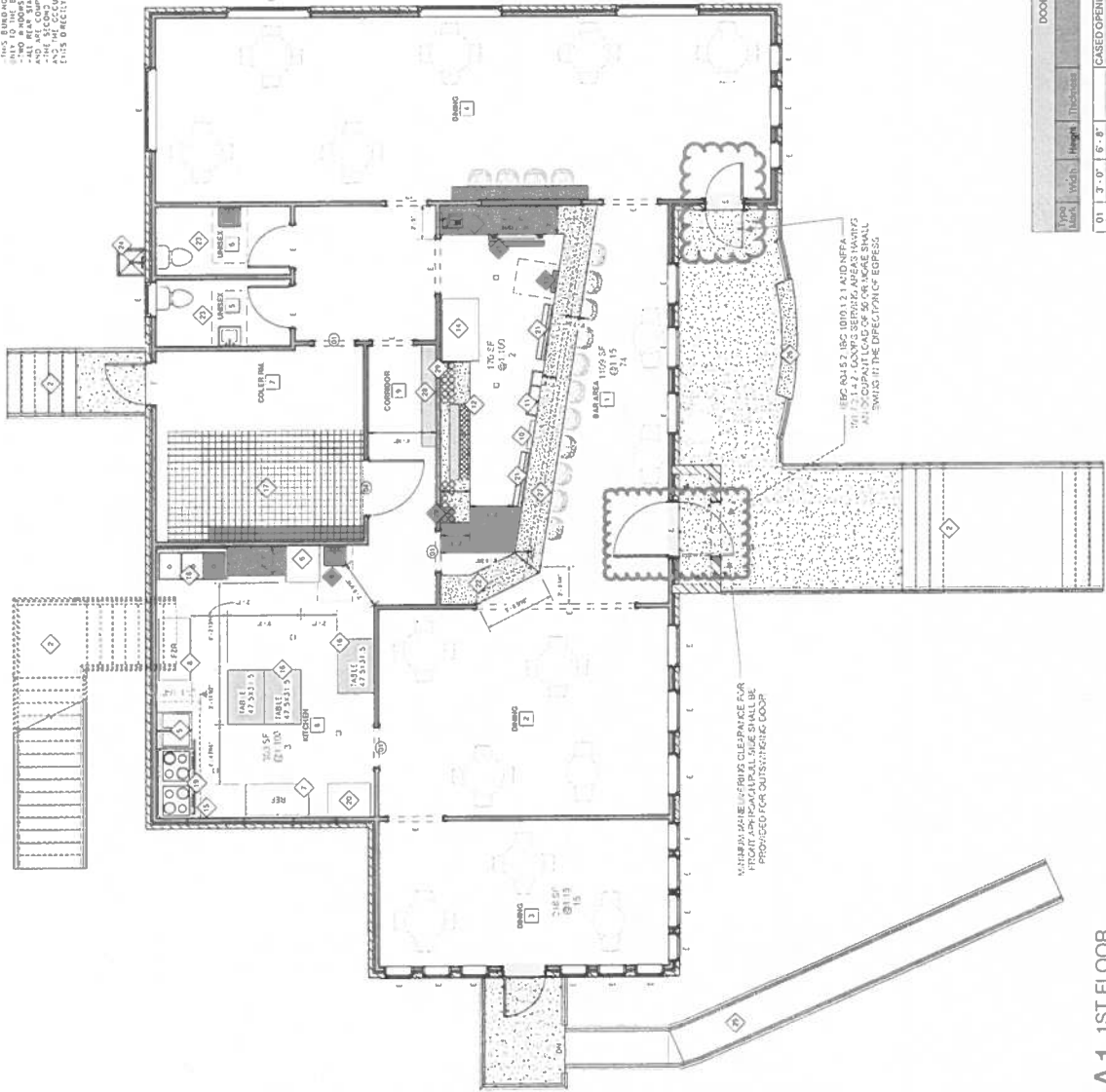
- 1 2/6 WALL
- 2 EXISTING STAIRS
- 3 RAILINGS ARE TO HAVE 4" MIN. SPACE BETWEEN BALUSTERS, AND 34" TO 38" HIGH. STAIRS AS PER CODE, 2021 IRC-R311.7
- 4 2-FRYERS ATO-A1FS-40
- 5 DISHWASHER 495XOWF1EX
- 6 REACH IN COOLER 178x34x66
- 7 REACH IN FREEZER 178x34x66
- 8 HAND SINK 600x12
- 9 BAR DISHWASHER MD-QW-HTB22P
- 10 BAR TRIPLE COMPARTMENT 600x431014G
- 11 CHILL RTE CA SBT 20F TAP SYSTEM
- 12 BAR HAND SINK 600x12
- 13 MERCH REACH IN TVANCO 54" 178x34x66
- 14 HOOD SYSTEM W/ SUSPENSION ACCUREX 28W-1126.005
- 15 PREP TABLE EPBR2047.5
- 16 WALK IN COOLER/FREEZER
- 17 TRIPLE SINK 60x3151559
- 18 GRILL BURNERS ATO-AGR 682AGR NG 66"
- 19 PIZZA OVEN SHUFFLE 1200
- 20 SPEED RACK
- 21 ADA COUNTER
- 22 EXISTING ADA APPROVED BATHS
- 23 MOP SINK
- 24 EXISTING ADA APPROVED RAMP
- 25 GAS BRACKETS ARE TO BE WELDED TO EXISTING IRON RAILING TO MOUNT A BAR TOP TO IT.
- 26 4" STUD WALL BELOW BAR
- 27 NEW WALL OF SHELVES TO BE BUILT HERE
- 28 PREMIUM LOCKERS
- 29 ICE MAKER (NEEDS SPECS)
- 30

REVIEWED FOR:
 STATE FIRE MARSHAL
 A.M. BRAD EBERETT

SO FOOTAGE	Comments	Area
CONDITIONED		591 SF
EXISTING 2ND FLOOR		267 SF
EXISTING RENOVATED 1ST FLOOR		3218 SF
CONDITIONED		3218 SF
Grand Total		3218 SF

GENERAL SETS, PLACE AND FASTENING CHANGES
 ALL ELECTRICAL, PLUMBING, HVAC AND LIGHTING
 CURRENTLY A RESTAURANT. THE BUILDING IS
 ONLY TO THE BAR/COOLER/FRIDGE AND WALK-IN AREA
 THE REST OF THE BUILDING HAS BEEN APPROVED PREVIOUSLY
 THIS SECOND FLOOR WILL BE USED AS A OFFICE
 THIS BUILDING IS TO BE USED AS A OFFICE AND
 THIS BUILDING IS TO BE USED AS A OFFICE

ASSEMBLY OCCUPANT LOAD: 35
 TOTAL OCCUPANT LOAD: 34
 COURTESY COOR REQUIRES
 FLOOR ASSEMBLY



Type	Mark	Width	Height	Thickness	Description	Count
01	1	3'-0"	6'-8"		CASED OPENING	3
04	1	2'-0"	6'-8"	0'-1.38"	INTERIOR SOLID DOOR	1

A1 1ST FLOOR
 1/4" = 1'-0"

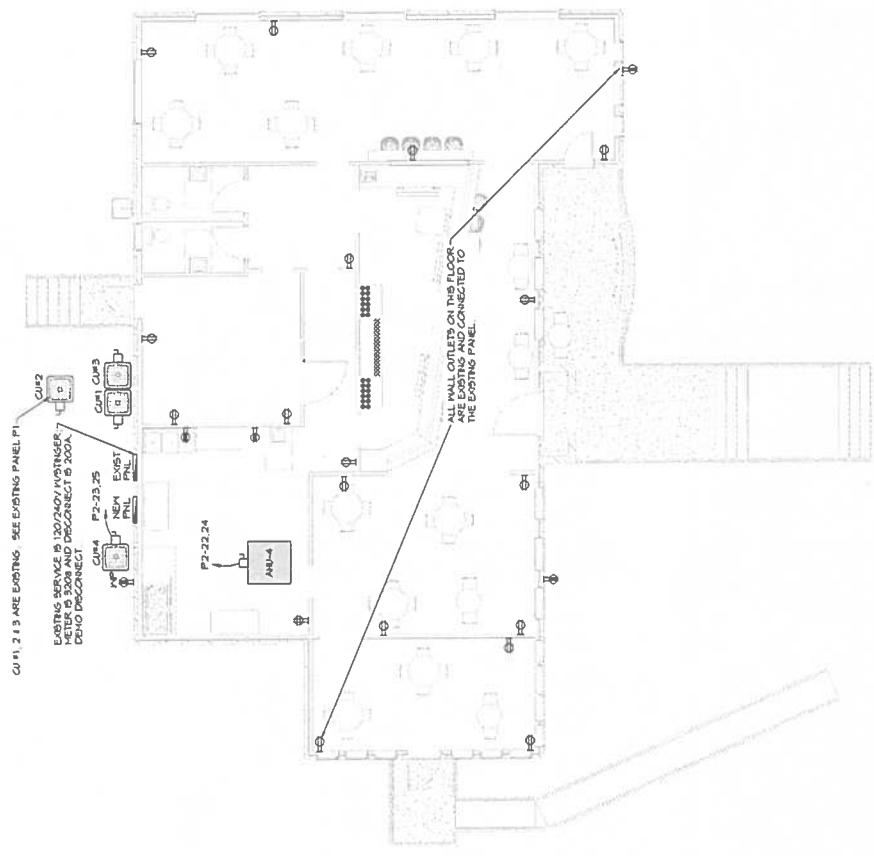
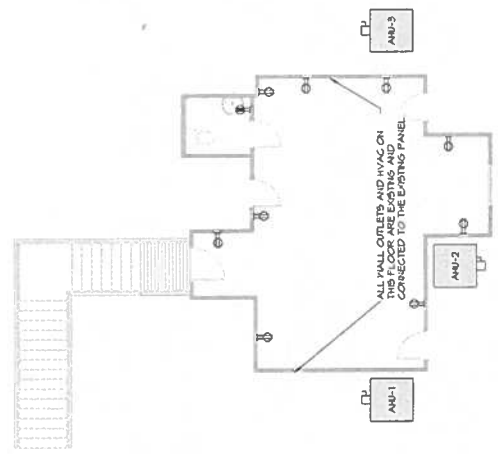
NO.	DESCRIPTION	DATE



PROJECT: **CAMELLIA POINT RESTAURANT**
 DRAWING NUMBER: **E101**
 SHEET NO. **1**
 DATE: **05/20/2024**
 CHECKED BY: **DAVID A. EVERITT**
 DRAWN BY: **DAVID A. EVERITT**

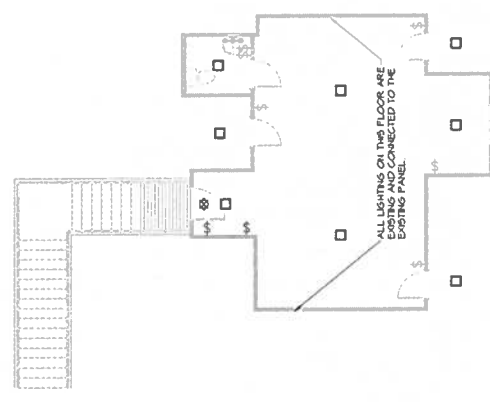
EXISTING FIRST FLOOR POWER PLAN
 SECOND FLOOR POWER PLAN

REVIEWED FOR
 ELECTRICAL
 AS PER PERMITTED
 BY DPAD EVERETT
David A. Everitt



2 EXISTING SECOND FLOOR POWER PLAN

1 EXISTING FIRST FLOOR POWER PLAN



REVIEWED FOR
 STATE FIRE MARSHAL
 BY: BRAD EVERETT
 [Signature]

4 EXISTING SECOND FLOOR LIGHTING PLAN



3 EXISTING FIRST FLOOR LIGHTING PLAN

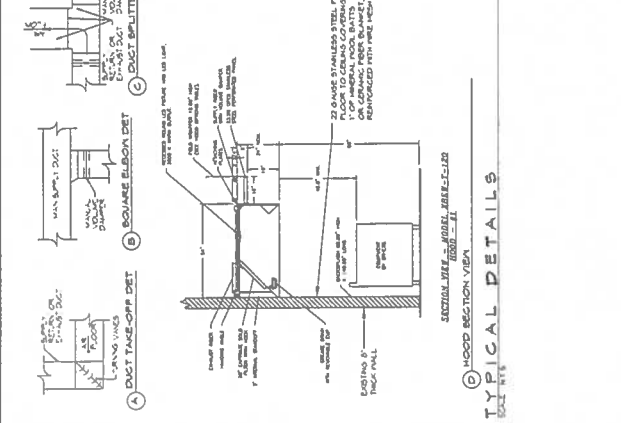
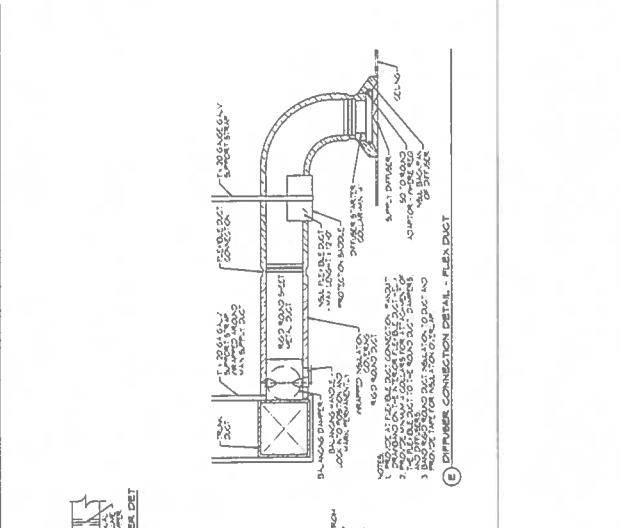
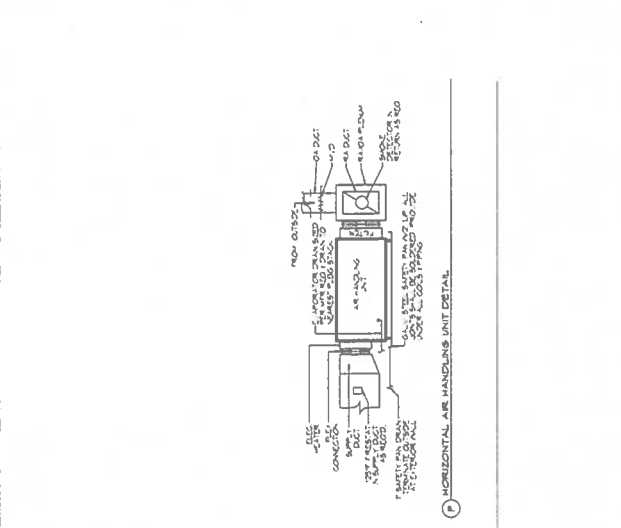


HVAC NOTES

1. ALL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE 2019 INTERNATIONAL MECHANICAL CODE (IMC) AND THE 2018 INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
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MECHANICAL LEGEND

[Symbol]	SUPPLY AIR GRILLE	[Symbol]	EXHAUST FAN
[Symbol]	RETURN AIR GRILLE	[Symbol]	EXHAUST MOTOR
[Symbol]	DAMPER CONTROL	[Symbol]	THERMOSTAT
[Symbol]	SUPPLY DUCT	[Symbol]	FIRE DAMPER
[Symbol]	RETURN AIR DUCT	[Symbol]	EXHAUST DUCT
[Symbol]	EXHAUST DUCT	[Symbol]	RATED WALL



HEAT PUMP SCHEDULE

Tag	Area Served	Tons	Total CFM (Summit)	O/A CFM	Cooling		Heating		Power		Remarks						
					Model	Make	Model	Make	VAC	PH	MCA	VAC	PH	MCA			
1000001	MECH	4	1350	135	McQuay-Norris	148.2	38.1	4.5	3	230	1	28	CUIT Goodman GSZ10H1	230	1	24.4	1, 2, 3, 4

AIR HANDLER SCHEDULE

Tag	Area Served	Tons	Total CFM (Summit)	O/A CFM	Position	Make	Model	Tag	Make	Model	Power	Remarks					
1000001	MECH	4	1350	135	McQuay-Norris	148.2	38.1	4.5	3	230	1	28	CUIT Goodman GSZ10H1	230	1	24.4	1, 2, 3, 4

FAN SCHEDULE

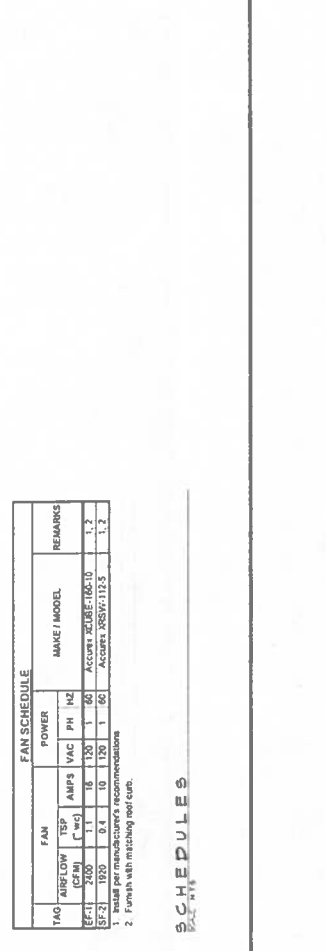
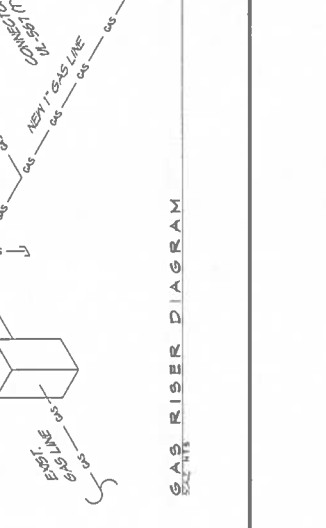
Tag	Area Served	Tons	Total CFM (Summit)	O/A CFM	Position	Make	Model	Tag	Make	Model	Power	Remarks					
1000001	MECH	4	1350	135	McQuay-Norris	148.2	38.1	4.5	3	230	1	28	CUIT Goodman GSZ10H1	230	1	24.4	1, 2, 3, 4

DIFFUSER SCHEDULE

Mark No.	Service	Neck Size	Description
A	Supply Air	24"	24" x 24" Adjustable Square Cont. Diffuser, 100% Acoustic, 100% Baffle Back Panel
B	Return Air	24"	24" x 24" Prefabricated Ducted Return w/ Damper, 100% Baffle

FAN SCHEDULE

Tag	Area Served	Tons	Total CFM (Summit)	O/A CFM	Position	Make	Model	Tag	Make	Model	Power	Remarks					
1000001	MECH	4	1350	135	McQuay-Norris	148.2	38.1	4.5	3	230	1	28	CUIT Goodman GSZ10H1	230	1	24.4	1, 2, 3, 4



GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE NATIONAL PLUMBING CODE (N.P.C.), LOCAL CODES, AND ANY APPLICABLE ORDINANCES. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
2. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
3. ALL WORK AND MATERIALS SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES.
5. ALL WORK SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL HEALTH DEPARTMENT AND OTHER AGENCIES. CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
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GENERAL PLUMBING FIXTURE NOTES

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PLUMBING FIXTURE SCHEDULE

MARK	DESCRIPTION	TYPE	ROUGH - N - SIZE	NOTES
101	WATER SINK	1/2" x 1/2"	3"	1
102	WATER SINK	1/2" x 1/2"	3"	1
103	WATER SINK	1/2" x 1/2"	3"	1
104	WATER SINK	1/2" x 1/2"	3"	1
105	WATER SINK	1/2" x 1/2"	3"	1
106	WATER SINK	1/2" x 1/2"	3"	1
107	WATER SINK	1/2" x 1/2"	3"	1
108	WATER SINK	1/2" x 1/2"	3"	1
109	WATER SINK	1/2" x 1/2"	3"	1
110	WATER SINK	1/2" x 1/2"	3"	1

SYMBOLS & ABBREVIATIONS

ALL DIMENSIONS ARE AS SHOWN UNLESS OTHERWISE NOTED.
 DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
 DIMENSIONS ARE TO CENTER UNLESS OTHERWISE NOTED.
 DIMENSIONS ARE TO EDGE UNLESS OTHERWISE NOTED.
 DIMENSIONS ARE TO SURFACE UNLESS OTHERWISE NOTED.

REVIEWED FOR:
 SIGNATURE: [Signature]
 AS PER REGISTER LETTER:
 BY: BRAD EVERETT

