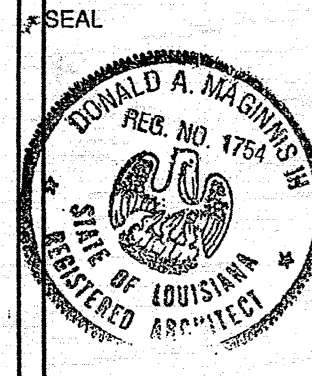


I-10 (REAR)



I am not responsible for any errors or omissions in this drawing, and I am not responsible for any work done by others under my supervision. To the best of my knowledge and belief, this drawing complies with all applicable requirements. I am not inspecting the work.

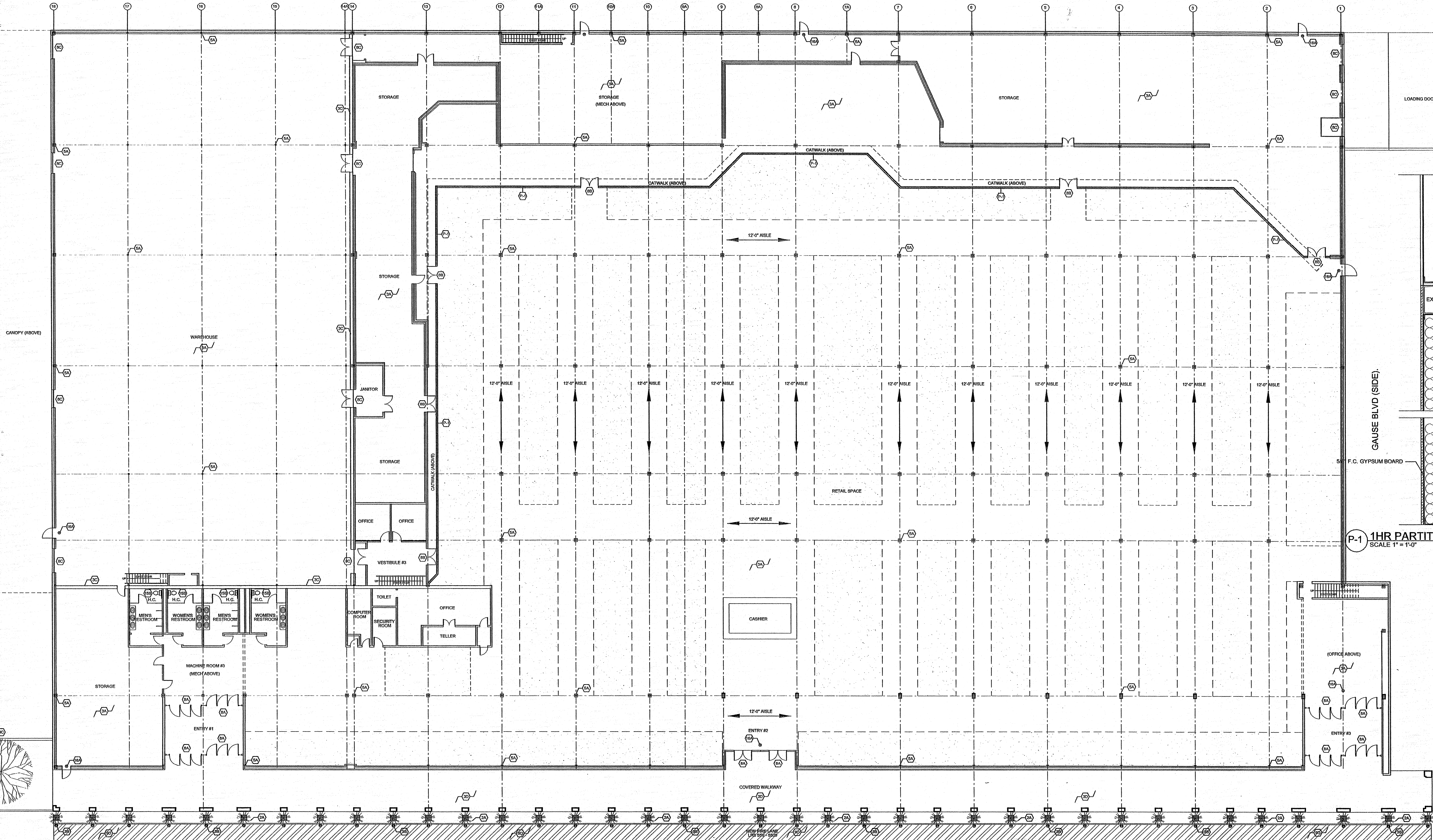
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RENOVATION TO MERCANTILE  
301 KENSINGTON - FURNITURE STORE  
SLIDELL, LA

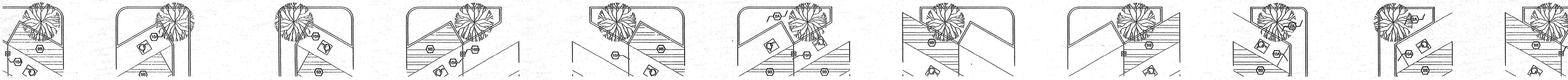
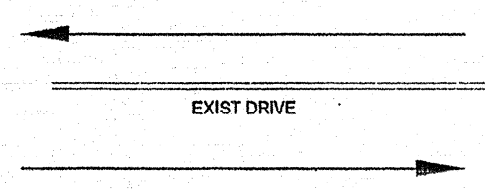
DONALD A. MAGINNIS  
ARCHITECTS  
1837 SOPHIE WRIGHT PL., NEW ORLEANS, LA 70130  
tel. (504) 523-2901 fax (504) 596-6574

DATE: 05/06/04  
SCALE: 1/16" = 1'-0"  
SHEET: FLOOR PLAN  
DRAWN BY: RJ

A2



FIRST FLOOR PLAN  
SCALE 1/16" = 1'-0"



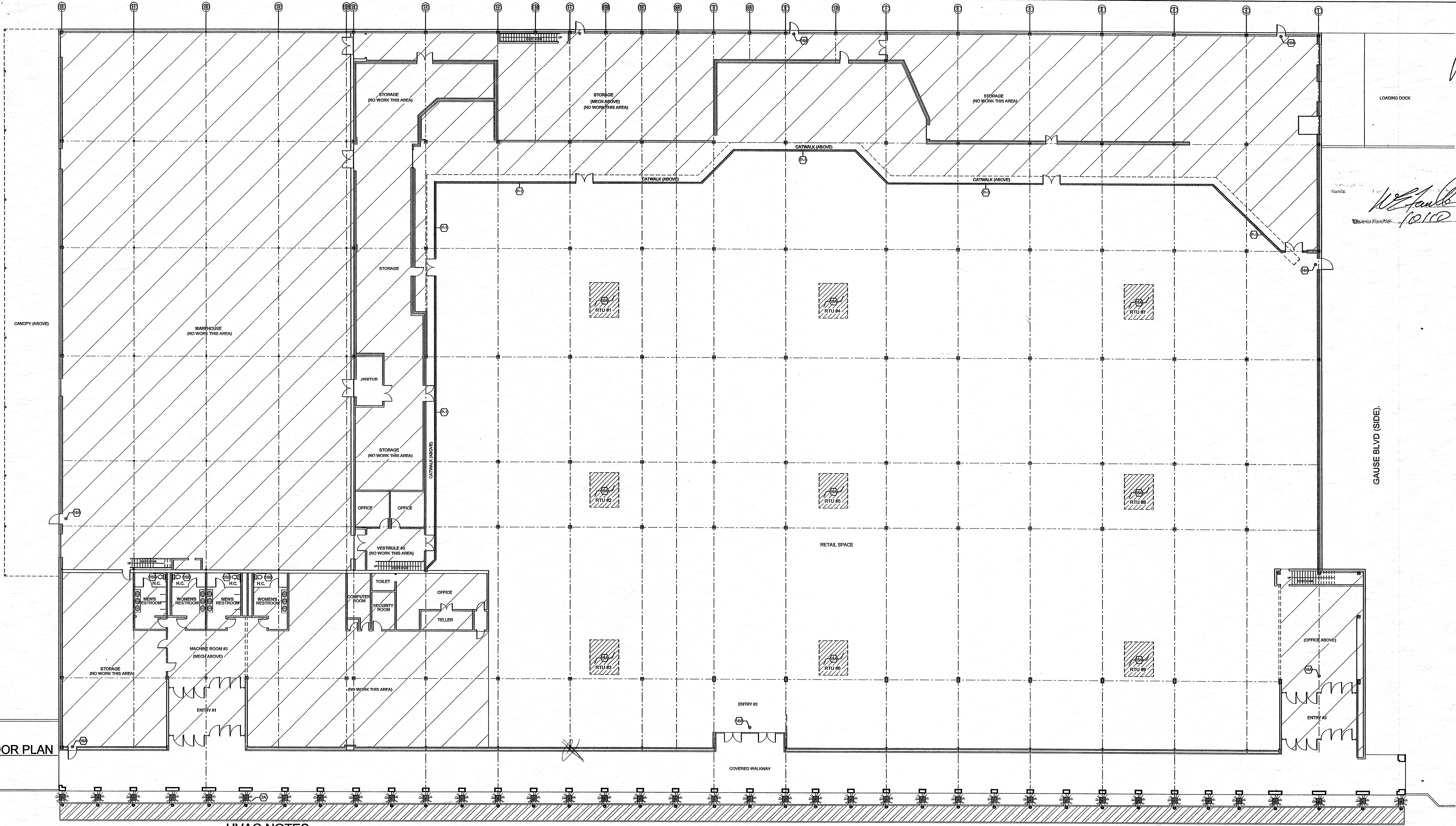
SEAL  
  
 05/06/04

RENOVATION TO MERCANTILE  
 301 KENSINGTON - FURNITURE STORE  
 SLIDELL, LA  
 ###

DONALD A. MAGINNIS  
 ARCHITECTS  
 1937 SOPHIE WRIGHT PL., NEW ORLEANS, LA 70130  
 tel.(504) 523-2901 fax(504) 596-6574

DATE: 05/06/04  
 SCALE: 1/16" = 1'-0"  
 SHEET: PLANS  
 DRAWN BY: RJ

M1

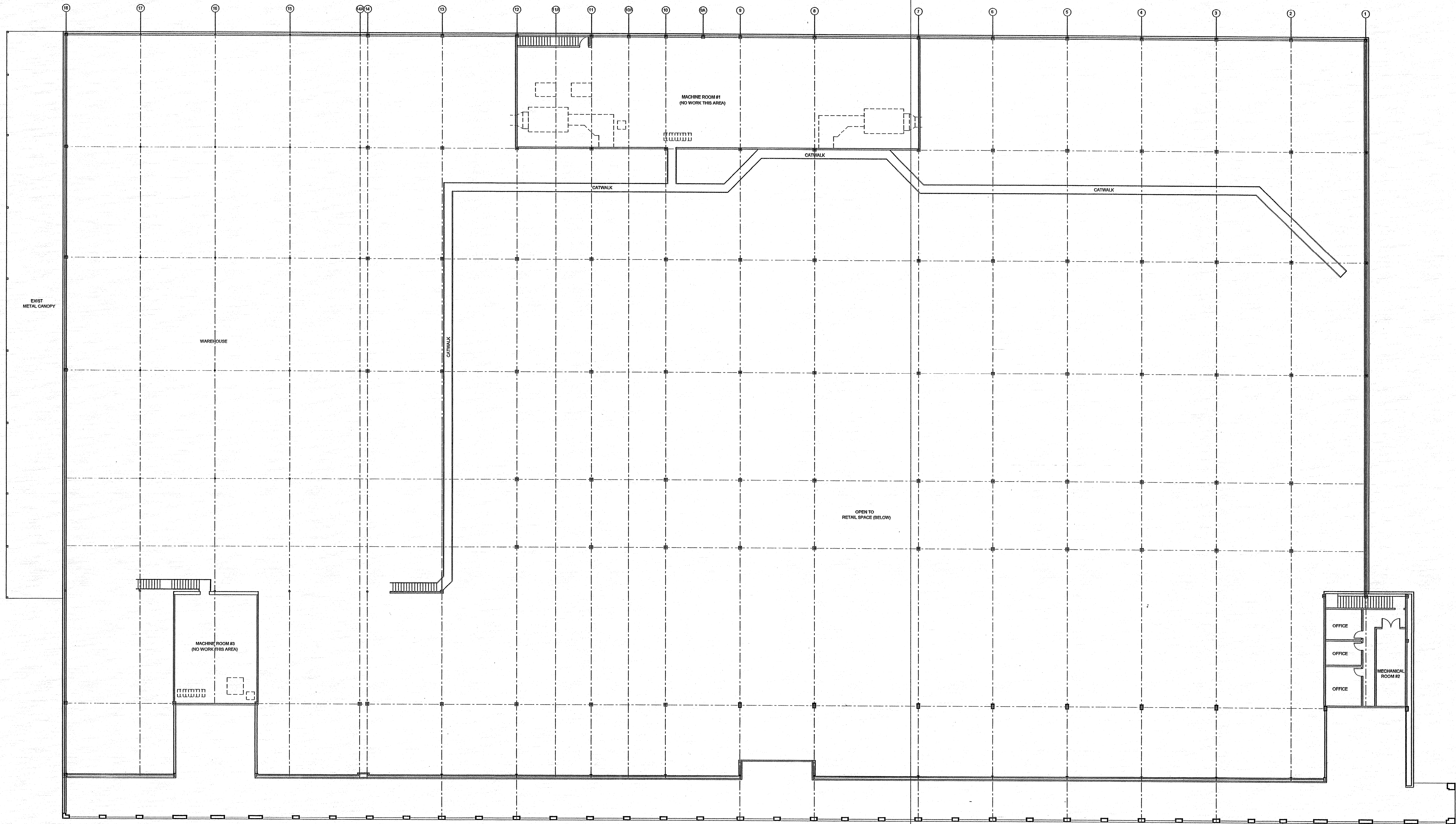


FIRST FLOOR PLAN  
 SCALE 1/16" = 1'-0"

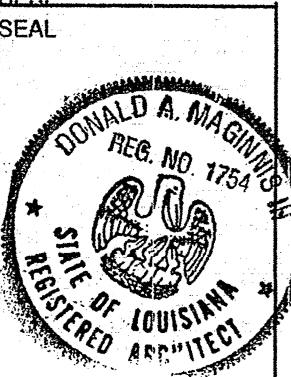
**HVAC SCHEDULE**  
 ALL A/C UNITS SHALL BE ALL ELECTRIC  
 DX, AIR COOLED, PACKAGED ROOF TOP UNITS (RTU)  
 WITH CONCENTRIC SUPPLY / RETURN CONVERTER BOX  
 ALUMINUM DOUBLE DEFLECTION SUPPLY  
 GRILLES & EGGRATE RETURN, & FACTORY CURB  
 RTU #1,#2,#3,#4,#5,#6,#7,#8,#9  
 10 TONS (NOMINAL) COOLING, 27.0 KW, 2-STEP HEATING,  
 4000 CFM @ .80" ESP, 3.0 HP, 480V, 3Ø, 60HZ  
 TRANE #TSC120

- HVAC NOTES**
1. ALL WORK SHALL CONFORM TO ALL STATE, LOCAL, AND NATIONAL CODES AND REGULATIONS. IN ADDITION, COMPLY WITH ALL ASHRAE AND SMACNA STANDARDS
  2. COORDINATE UNIT LOCATIONS, CONDENSATE DRAIN LINES, ETC. WITH ARCHITECT BEFORE WORK BEGINS.
  3. PROVIDE GALVANIZED STEEL CONDENSATE DRAIN LINES FROM UNITS TO NEAREST ROOF DRAIN OR EXTERIOR OF BUILDING INTO A "FRENCH" DRAIN OF AN 18" DIA. X 3'-0" LONG CONCRETE PIPE FILLED WITH "PEA" GRAVEL. LOCATION TO BE DETERMINED BY THE ARCHITECT ON THE JOB.
  4. PROVIDE SMOKE DETECTORS AND FIRE STATS WHERE REQUIRED
  5. PROVIDE VIBRATION ISOLATION FOR ALL UNITS.

6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROPERLY SIZE AND INSTALL THE HVAC SYSTEM TO MEET THE INTENT OF THE DRAWINGS AND TO MAINTAIN CONDITIONS AS RECOMMENDED BY THE LATEST EDITION OF THE ASHRAE STANDARDS.
7. CONTRACTOR SHALL PROVIDE FIRE DAMPERS AT ALL REQUIRED LOCATIONS.
8. PROVIDE NEW FILTERS FOR ALL HVAC EQUIPMENT BEFORE STARTING. THESE FILTERS SHALL BE REPLACED BEFORE FINAL ACCEPTANCE BY THE OWNER.
9. THE ENTIRE SYSTEM SHALL BE BALANCED. PROVIDE A FULL SET OF OPERATING INSTRUCTIONS, MANUFACTURER'S WARRANTY, CONTRACTOR'S GUARANTEE, AND A PROPOSAL FOR MAINTENANCE CONTRACT.
10. THE DRAWINGS ARE DIAGRAMATIC ONLY AND SHOW THE RELATIONSHIP BETWEEN EQUIPMENT AND CONNECTIONS ONLY. DO NOT SCALE DRAWINGS FOR EXACT LOCATIONS OR SIZES.
11. VERIFY THE EXACT OPERATING VOLTAGE AND PHASE REQUIREMENTS OF ALL EQUIPMENT BEFORE BEGINNING WORK.



**MEZZANINE PLAN**  
SCALE 1/16" = 1'-0"



These drawings and specifications were prepared by me or under my close personal supervision. To the best of my knowledge and belief they comply with all local requirements. I am not inspecting work.

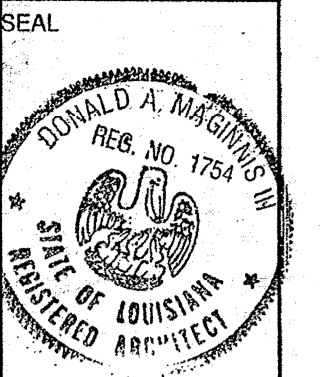
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**RENOVATION TO MERCANTILE**  
301 KENSINGTON - FURNITURE STORE  
SLIDELL, LA

**DONALD A. MAGINNIS ARCHITECTS**  
1937 SOPHIE WRIGHT PL., NEW ORLEANS, LA 70130  
tel.(504) 523-2901 fax(504) 596-8574

DATE: 05/1/04  
SCALE: 1/16" = 1'-0"  
SHEET: MEZZ. PLAN  
DRAWN BY: RJ

**A3**



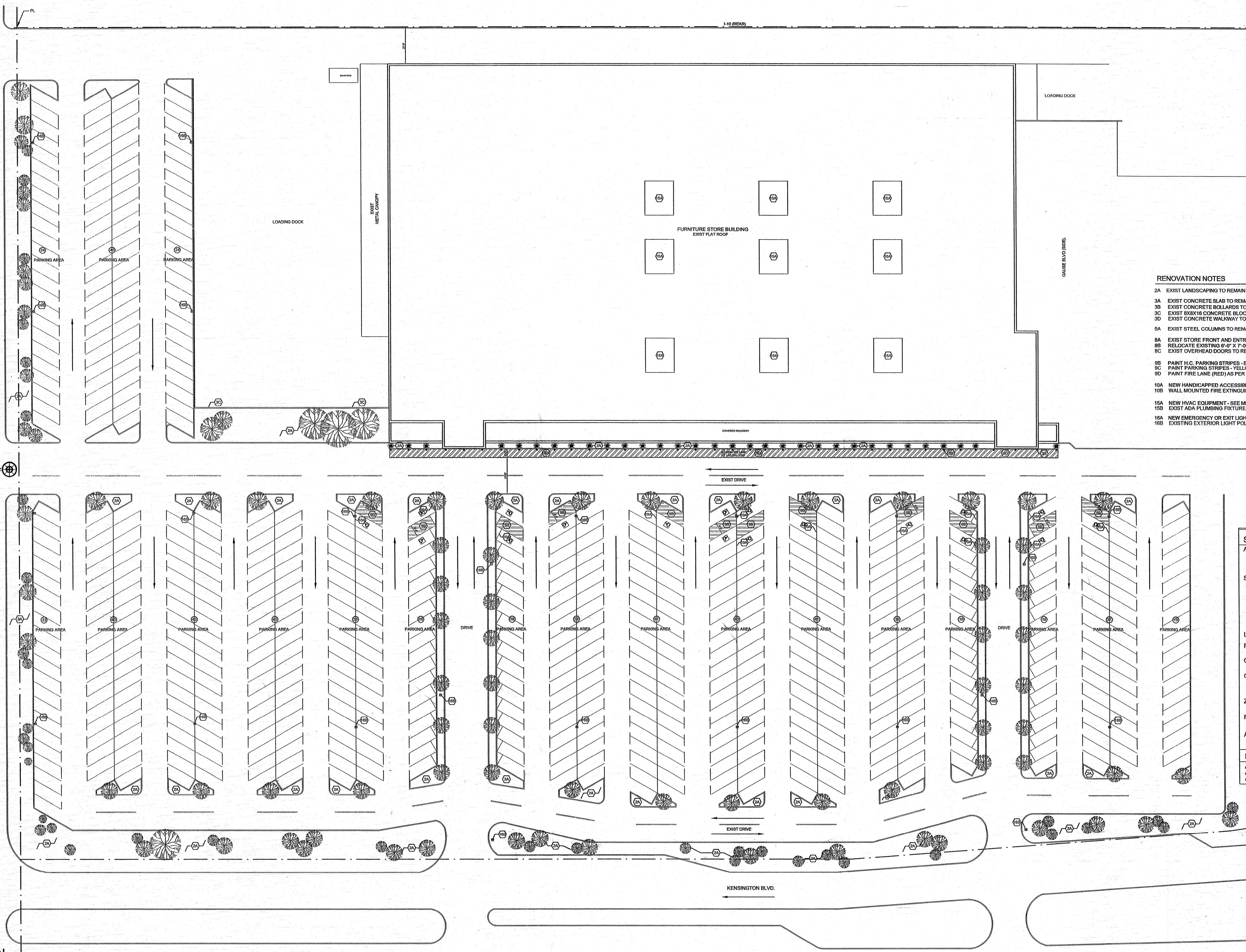
I hereby certify that the plans and specifications were prepared by me or under my close personal supervision. To the best of my knowledge and belief they comply with all local requirements. I am not inspecting the work.

RENOVATION TO MERCANTILE  
301 KENSINGTON BLVD. - FURNITURE STORE  
SLIDELL, LA

DONALD A. MAGINNIS  
ARCHITECTS  
1937 SOPHIE WRIGHT PL., NEW ORLEANS, LA 70130  
tel. (504) 523-2901 fax (504) 596-6574

DATE: 05/1/04  
SCALE: 1/32" = 1'-0"  
SHEET: SITE  
DRAWN BY: RJ

A1



RENOVATION NOTES

- 2A EXIST LANDSCAPING TO REMAIN
- 3A EXIST CONCRETE SLAB TO REMAIN
- 3B EXIST CONCRETE BOLARDS TO REMAIN
- 3C EXIST 8X8X16 CONCRETE BLOCK WALL W/REINFORCING & FILL TO REMAIN
- 3D EXIST CONCRETE WALKWAY TO REMAIN
- 5A EXIST STEEL COLUMNS TO REMAIN
- 8A EXIST STORE FRONT AND ENTRY DOORS TO REMAIN
- 8B RELOCATE EXISTING 6'-0" X 7'-0" HOLLOW METAL DOORS & FRAMES
- 8C EXIST OVERHEAD DOORS TO REMAIN
- 9B PAINT H.C. PARKING STRIPES - BLUE
- 9C PAINT PARKING STRIPES - YELLOW
- 9D PAINT FIRE LANE (RED) AS PER LNS 55V 5509
- 10A NEW HANDICAPPED ACCESSIBLE SIGNAGE @ PARKING LOT
- 10B WALL MOUNTED FIRE EXTINGUISHER
- 15A NEW HVAC EQUIPMENT - SEE MECH
- 15B EXIST ADA PLUMBING FIXTURES (TOILET & LAV) - TO REMAIN
- 16A NEW EMERGENCY OR EXIT LIGHTS ON SEPARATE CIRCUIT W/ BATTERY BACKUP-SEE ELEC.
- 16B EXISTING EXTERIOR LIGHT POLES & STANDARDS -SEE ELEC.

SITE INFORMATION

<b>AREAS</b>	
FURNITURE STORE - PUBLIC (MERCANTILE)	63,000 SF
STORAGE AREA (NON PUBLIC)	54,650 SF
TOTAL GROSS AREA	117,650 SF
<b>SITE</b>	
PARKING SPACES REQUIRED 1:200 SF	589 SPACES
PARKING SPACES PROVIDED	617 SPACES
H.C. PARKING	18 SPACES
LOADING SPACES PROVIDED	16 SPACES
TREES REQUIRED BY CODE - 1:12	49 TREES
TREES PROVIDED	51 TREES
<b>LOT</b>	
SQUARE 2, BEATTY TRACT LOT P & O	
<b>F.I.A. ZONE</b>	
EXISTING	
<b>CONSTRUCTION TYPE</b>	
CONCRETE BLOCK / STEEL BAR JOIST	
<b>OCCUPANCY</b>	
NFPA 2000 CH.37 EXIST MERCANTILE CLASS A	
FURNITURE STORE - 1:30 = 2100 OCC.	
<b>ZONING</b>	
X	
<b>FIRE DETECTION / SPRINKLER SYSTEM</b>	
EXISTING	
<b>ALARM SYSTEM</b>	
EXISTING	
<b>INDEX OF DRAWINGS</b>	
A1 SITE/FLOOR PLAN / CONSTRUCTION NOTES	
A2 FIRST FLOOR PLAN	
A3 MEZZANINE PLAN	

SITE/ROOF PLAN  
SCALE 1/32" = 1'-0"