

GENERAL NOTES

- REMOVE AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS. ALL REQUIRED DEMOLITION WORK SHALL BE INCLUDED IN THE BASE BID PACKAGES SUBMITTED BY THE BIDDER.
- DO NOT ALLOW MATERIALS AND DEBRIS GENERATED BY DEMOLITION TO ACCUMULATE ON THE JOB SITE. REMOVE DAILY AND DISPOSE OF IN A LEGAL MANNER. NO ON-SITE SALE OR BURNING OF REMOVED ITEMS IS PERMITTED.
- THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
- THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
- DATA ON THESE DRAWINGS ARE AS ACCURATE AS PLANNING CAN DETERMINE. BUT ABSOLUTE ACCURACY IS NOT GUARANTEED. FIELD VERIFICATION OF THE PLANS IS THE RESPONSIBILITY OF THE CONTRACTOR SINCE FINAL DISTANCES, LOCATIONS, AND HEIGHTS WILL BE DETERMINED BY ACTUAL FIELD CONDITIONS. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS IN AREAS TO BE RENOVATED PRIOR TO BID IN ORDER TO PROVIDE AN ACCURATE BID AND BE AWARE OF ALL CONSTRUCTION METHODS NEEDED TO PROVIDE THE FINISHED PRODUCT AS SHOWN ON THE PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT FOR A DECISION TO RESOLVE CONFLICTS PRIOR TO BID.
- CONSTRUCTION IN AREAS TO BE RENOVATED SHALL BE CAREFULLY COORDINATED WITH THE OWNER PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RELOCATED OR STORED AS PER OWNER'S DIRECTION. DISPOSE OF EXISTING EQUIPMENT ONLY AT THE DIRECTION OF THE OWNER. EQUIPMENT AND MATERIALS TO BE STORED SHALL BE PROTECTED FROM DAMAGE IN LOCATIONS ACCEPTABLE TO THE OWNER.
- DASHED LINES ON DEMOLITION DRAWINGS INDICATE EXISTING MATERIALS TO BE REMOVED. EQUIPMENT TO BE REUSED SHALL BE STORED AND PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM CONSTRUCTION WILL BE REPAIRED TO ITS ORIGINAL STATE.
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- COORDINATE DEMOLITION AND ROOFING OPERATIONS WITH OWNER WHERE THE AFFECT EXISTING WORK AREAS AND NORMAL OPERATING PROCEDURES.
- EXISTING TREES AND OTHER VEGETATION ON SITE ARE TO REMAIN. PROTECT TRUNKS, BRANCHES, AND ROOT SYSTEM FROM DAMAGE DURING CONSTRUCTION.
- CONTRACTOR TO INSPECT AREAS ADJACENT TO DEMOLISHED ELEMENTS FOR THE PRESENCE OF TERMITE INFESTATION AND REPORT FINDINGS TO OWNER. COORDINATE NEEDED REPAIRS WITH OWNER PRIOR TO COMMENCEMENT OF NEW WORK IN AFFECTED AREA.
- OWNER TO TAKE RESPONSIBILITY FOR REMOVAL/RELOCATION OF EXISTING ELECTRICAL WIRING, BOXES, CONDUIT, AND EQUIPMENT.
- ALL ROOF PENETRATION/ACCESSORIES LOCATIONS SHOWN ARE APPROXIMATELY ONLY. VIF WHERE EXACT LOCATIONS ARE REQUIRED.

DEMOLITION KEYNOTES

| MK | DESCRIPTION |
|----|---|
| 1 | REMOVE EXIST MODIFIED BITUMEN MEMBRANE SYSTEMS TO EXIST STRUC DECK, INCLUDING ASSOCIATED MTL EDGE FLASHING, GUTTERS, DECK VENTS, AND ALUM FLASHING. |
| 2 | EXIST ROOFTOP A/C UNIT TO REMAIN. REMOVE EXIST V/D CURBS AND REPLACE WITH NEW TRTD WOOD CURBS. UNIT TO REMAIN FUNCTIONING AND IN WORKING ORDER DURING ENTIRE CONSTRUCTION PROCESS UNLESS SHUTDOWN IS PERMITTED BY AND COORDINATED WITH OWNER. |
| 3 | REMOVE EXIST PLUMBING VENT/VENT STACK AND PATCH DECK OPENING AS NECESSARY TO COMPLY WITH ROOF MFR RECOMMENDATIONS. |
| 4 | REMOVE EXIST VENT HOUSING. PATCH DECK OPENING AS NECESSARY TO COMPLY WITH ROOF MFR RECOMMENDATIONS. |
| 5 | REMOVE EXIST MTL GAP FLASHING, CURB, AND GANT TO ROOF DECK. PATCH DECK OPENING IN COMPLIANCE WITH SPECIFICATIONS SECTION 07151. |
| 6 | EXIST MODIFIED BITUMEN ROOF MEMBRANE TO REMAIN INTACT. PREPARE EXIST GAP SHEET TO RECEIVE NEW COATING IN COMPLIANCE WITH MFR RECOMMENDATIONS AND SPECIFICATIONS. |

LEGEND

| SYMBOL | DESCRIPTION |
|--------|---|
| ⊕ | PLUMBING VENT/VENT STACK |
| ⊕ | METAL VENT HOUSING |
| + | DECK VENT |
| --- | EXIST MTL GUTTER TO BE REMOVED |
| ⊘ | EXISTING MODIFIED BITUMEN ROOF MEMBRANE TO REMAIN. SEE DEMOLITION KEYNOTE 6. |
| ⊘ | EXISTING MODIFIED BITUMEN ROOF MEMBRANE SYSTEM TO BE REMOVED. SEE DEMOLITION KEYNOTE 1. |

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SEAL:



REROOFING - OLD 6TH GRADE WING:
SLIDELL HIGH
JUNIOR
SCHOOL

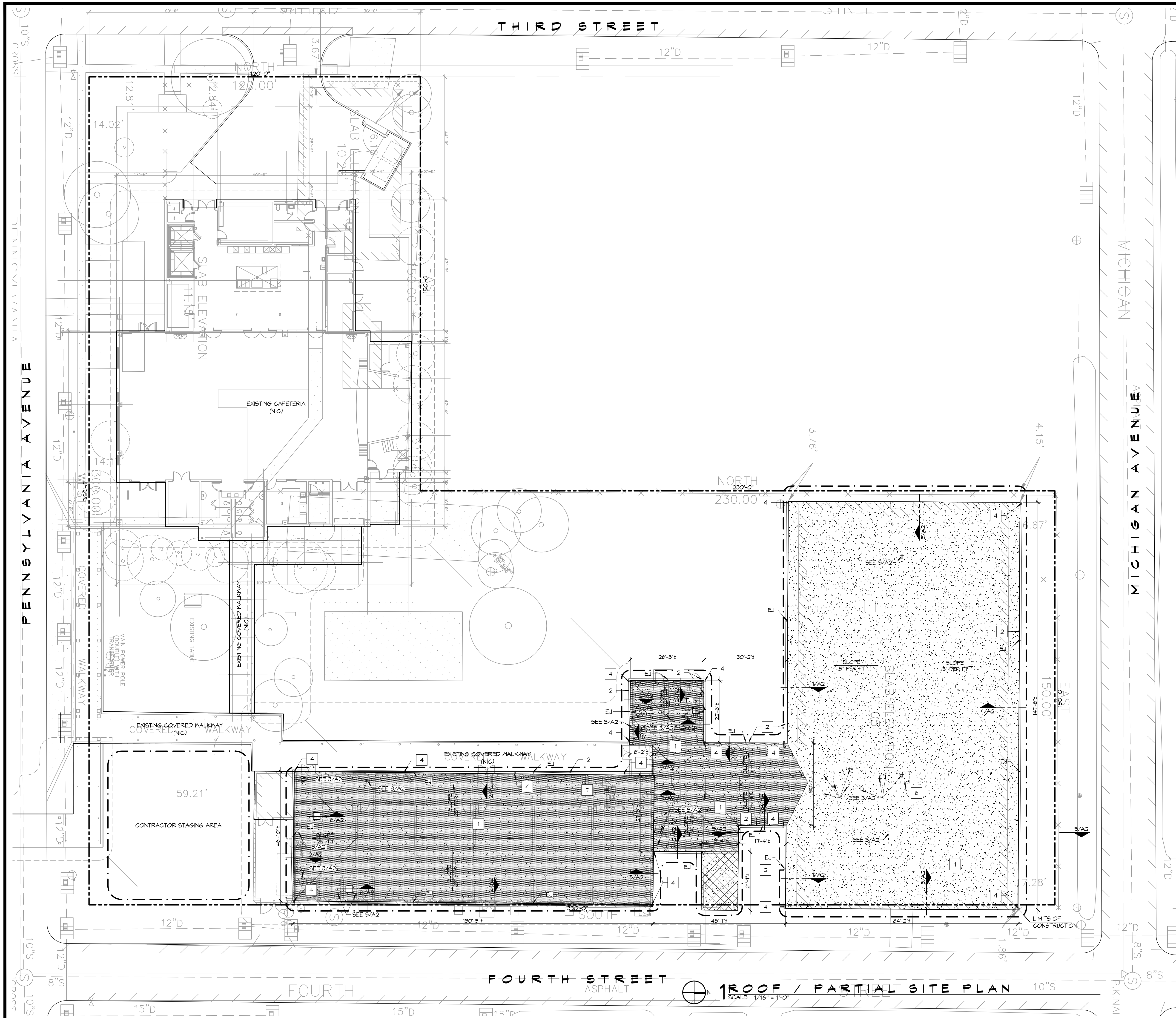
989 PENNSYLVANIA AVENUE ST. TAMMANY SCHOOL BOARD
SLIDELL, LA 70458 PROJECT # 1921

JOB NO: 2191 DATE: 2-21-2014
DRAWN BY: KJK CHECKED BY: KJK

SHEET TITLE:
ROOF DEMOLITION PLAN

DRAWING NUMBER:
D1

SHEET No: 3 of 5



GENERAL NOTES

1. ALL DIMENSIONS OF EXIST CONDITIONS ARE APPROXIMATE AND SHOULD BE VERIFIED IN FIELD.
2. GENERAL ROOF SLOPE: 1/4" PER FOOT UNLESS NOTED OTHERWISE.
3. MTL GUTTERS SHALL HAVE EXPANSION JOINTS SPACED NOT TO EXCEED 50'.
4. PROVIDE CONG SPLASH BLOCKS WHERE EACH DOWNSPOUT TERMINATES AT GRADE OR ROOF BELOW.
5. ALL NEW MTL GUTTERS TO HAVE EXPANSION JOINTS WITH A SPACING NOT TO EXCEED 50'-0". SEE 8/A2 FOR EXP JT ASSEMBLY DETAIL.

LEGEND

- NEW MODIFIED BITUMEN ROOF MEMBRANE SYSTEM WITH 2 1/2" POLYISOCYANURATE INSULATION BOARD INFILL
- NEW MODIFIED BITUMEN ROOF MEMBRANE SYSTEM WITH TAPERED POLYISOCYANURATE INSULATION BOARD INFILL
- EXIST MODIFIED BITUMEN ROOF MEMBRANE WITH NEW PARACOAT ROOF COATING

KEYNOTES

| MK | DESCRIPTION |
|----|---|
| 1 | NEW SBS MODIFIED BITUMEN ROOF SYSTEM. SEE LEGEND ABOVE FOR INSULATION SUBSTRATE INFORMATION. |
| 2 | NEW PRE-FINISHED MTL GUTTER. SEE SHEET A2 FOR DETAILS AND 1/A2 FOR GUTTER PROFILE. |
| 3 | GUTTER EXPANSION JOINT. SEE 8/A2 FOR ASSEMBLY DETAIL. |
| 4 | NEW PRE-FINISHED 6"x6" MTL DOWNSPOUT. D/S PROFILE TO MATCH SMACNA MANUAL FIG. 1-32B. SET D/S 1/2" AWAY FROM WALL AND PROVIDE HANGERS (16GA X1") SPACED NOT MORE THAN 10'-0" OC. HANGER CONFIGURATION TO COMPLY WITH SMACNA MANUAL FIG. 1-35A. |
| 5 | EXIST MTL CURBS AND CAP FLASHING TO REMAIN. CONTRACTOR TO VERIFY CURB HEIGHT AND COORDINATE WITH INSUL INFILL TO MEET ROOFING MEMBRANE MFR REQUIREMENTS. |
| 6 | REPAIR EXIST ROOF DECK DAMAGE. SCOPE OF DAMAGE APPROX 6 SF ±. CONTRACTOR TO VIF SCOPE OF NEEDED REPAIRS AND REPORT TO ARCHITECT. |
| 7 | PATCH EXIST 30"x30" ± ROOF DECK OPENING IN ACCORDANCE WITH SPECIFICATIONS. |

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SEAL:



ROOFING - OLD 6TH GRADE WING:
SUNIOR SCHOOL

ST. TAMMANY PARISH PUBLIC SCHOOLS

983 PENNSYLVANIA AVENUE ST. TAMMANY SCHOOL BOARD
SULPHUR, LA 70588 PROJECT # 1921

JOB NO: 2191 DATE: 2-21-2014
DRAWN BY: KJK CHECKED BY: KJK

SHEET TITLE:
ROOF PLAN

DRAWING NUMBER:
A1

SHEET No: 4 of 5

