

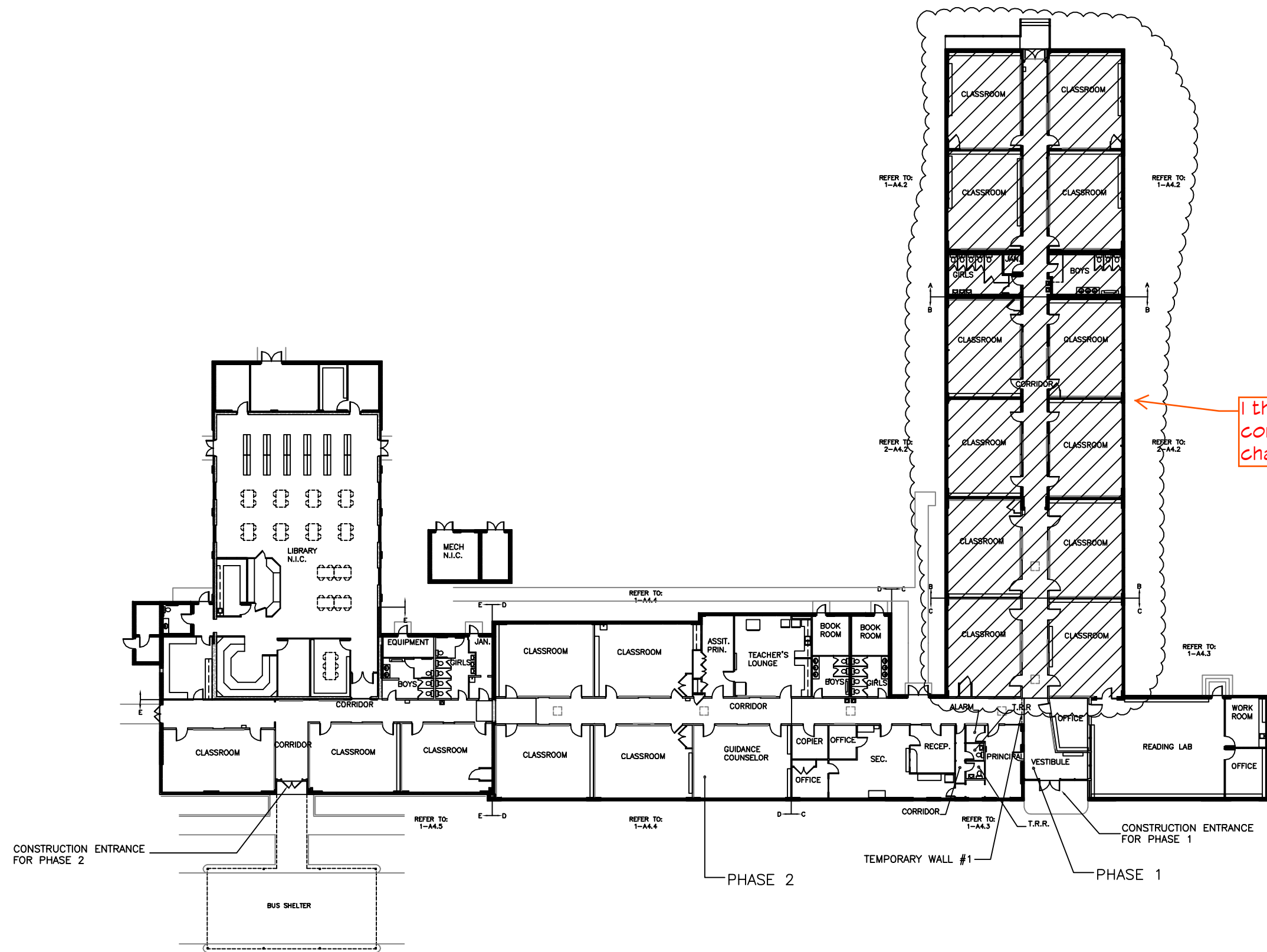
**Construction Sequence**

**Phase I (140 Days)**

1. With Notice to Proceed, anticipated to be the third week of June, 2004, the contractor is to set up the staging area, including fencing, construction trailer and storage containers as needed.
2. All interior work for Phase I and all exterior work for the entire project will commence when abatement is complete, which is anticipated to be Mid-July, 2004. During time overlap with abatement contract the general contractor shall order all materials, submit all shop drawings, set up trailer and storage units, and submit items for color selections.
3. Any delay in getting access to areas due to time overlap of abatement contractor will be extended in time only. No additional cost will be approved.
4. Temporary wall #1 to be installed by abatement contractor prior to work starting.
5. Phase I (see phasing plan) consists of fascia, soffit, and trim replacement; exterior painting of soffits, overhangs and canopies for the entire building; masonry repair and window replacement for the rooms being renovated only. Interior work is the vestibule with the office to be removed, new entrance installed, the east/west wing and the southern end of the north/south wing.
6. Beneficial occupancy will be issued upon completion of Phase I. Administrative offices will then be relocated to the Computer Lab by the owner.

**Phase 2 (120 days)**

1. Notice to Proceed for Phase 2 will be issued upon completion of the administrative offices relocation, removal of furniture, and abatement work for Phase I. Anticipated time 50 days.
2. Any delay in getting access to areas due to time overlap of owner relocation and abatement will be extended in time only. No additional cost will be approved.
3. Temporary wall #1 to remain in place.
4. Phase 2 consists of the north/south wing. Exterior work to include all masonry repair and window replacement for the area included, also all gutter and downspout replacement in the same area. Free standing entrance walk and walk to be included in this phase. Substantial Completion will be issued upon completion of all work including the removal of temporary wall #1 and touching up area of wall.



I think the construction changes here?

**1 PHASING PLAN**  
SCALE: 1/16" = 1'-0"

project 2203  
date 05-06-04  
revisions



**Piazza Architecture • Planning**  
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RENOVATIONS TO:  
**6th WARD ELEMENTARY SCHOOL**  
ST. TAMMANY PARISH SCHOOL BOARD  
ST. TAMMANY PARISH - LOUISIANA

sheet  
**A3.1**  
of