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ARCHITECTURE  
ENGINEERING  
STUDIES  
PLANNING  
INVESTIGATION  
EXPERT WITNESS

RAIN FOREST  
CARWASH

3017  
PONTCHARTRAIN  
DRIVE  
SLIDELL, LA  
70458

SITE  
PLAN

*Robert Wiltse*

REV:

SCALE: AS NOTED

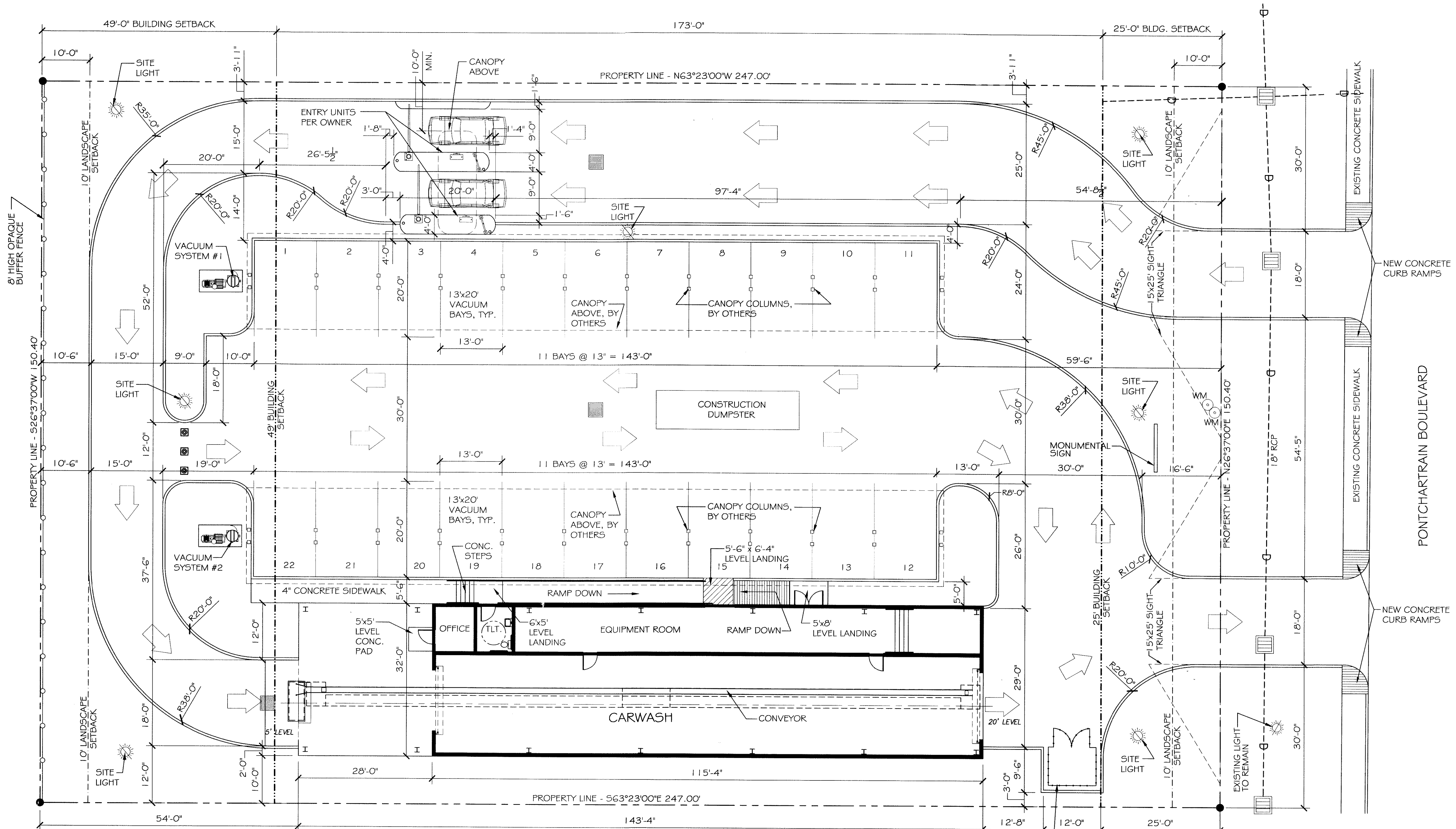
JOB#: 2085

DATE: 01-17-11

SHEET 3

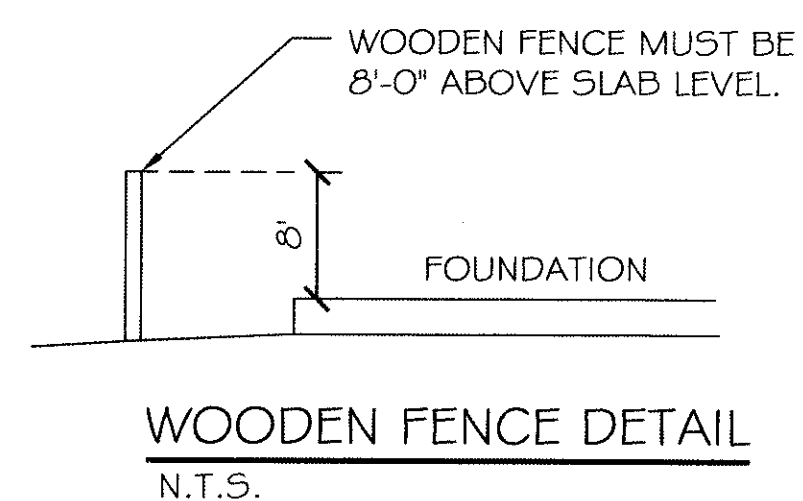
C-2

OF 25



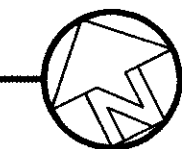
**SITE LEGEND**

- PROPERTY LINE
- - - UTILITY / EASEMENT LINE
- BUILDING SETBACK MINIMUM
- - - TRIANGULAR SITE LINE
- - - LANDSCAPING SETBACK MINIMUM AND BUFFER ZONE LIMITS AT REAR
- OPAQUE BUFFER FENCE
- ▬ BUILDING OUTLINE
- ☼ TRASH RECEPTACLE
- ☼ NEW SITE LIGHTING



**SITE PLAN**

SCALE: 1" = 10'



**SITE PLAN NOTES**

1. ROOFING MATERIAL: METAL ROOFING PANEL
2. SIDING MATERIAL: CONVENTIONAL STUCCO VENEER # CMU.
3. UTILITIES: ALL UTILITIES SHALL BE PLACED UNDERGROUND

NOTE:  
ALL CONCRETE PAVEMENT  
SHALL BE 5" THICK  
CONCRETE.

**SITE LIGHTING**

EXTERIOR LIGHTING SHALL BE SHADED OR INWARDLY DIRECTED IN SUCH A MANNER SO THAT NO DIRECT LIGHTING OR GLARE BE CAST BEYOND THE PROPERTY LINE. THE INTENSITY OF SUCH LIGHTING SHALL NOT EXCEED ONE FOOT CANDLE AS MEASURED AT THE ABUTTING PROPERTY LINE.

392868

REVIEWED FOR  
STATE FIRE MARSHAL  
AS PER REVIEW LETTER  
BY: WILLIAM D. JONES, ARCHITECT, CBO  
*William D. Jones*

ROSA STREET

PONTCHARTRAIN BOULEVARD

EXISTING CONCRETE SIDEWALK

EXISTING CONCRETE SIDEWALK

NEW CONCRETE CURB RAMPS

EXISTING LIGHT TO REMAIN

8' HIGH OPAQUE BUFFER FENCE

PROPERTY LINE - S26°37'00"W 150.40'

PROPERTY LINE - S63°23'00"E 247.00'

173'-0"

25'-0" BLDG. SETBACK

49'-0" BUILDING SETBACK

PROPERTY LINE - N63°23'00"W 247.00'

PROPERTY LINE - N26°37'00"E 150.40'

276.00' N26°37'00"E

8'x8'x10' DUMPSTER PAD ENCLOSED WITH 8' WOOD FENCE WITH GATE

WOODEN FENCE DETAIL N.T.S.