

# Inspection Report

**Mr. Ryan Dey**  
**Ms. Briana Davis**

**Property Address:**  
139 Everest Drive  
Slidell La. 70458



139 Everest Drive

**DTM Building Inspection Serv.,LLC**

**Daniel Maloney 10544**  
**4217 Lake Trail Dr**

**Kenner, La. 70065**

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<b>Date:</b> 5/12/2017	<b>Time:</b> 02:30 PM	<b>Report ID:</b> 03649
<b>Property:</b> 139 Everest Drive Slidell La. 70458	<b>Customer:</b> Mr. Ryan Dey Ms. Briana Davis	<b>Real Estate Professional:</b> Lloyd Clark III

**Comment Key or Definitions**

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)**= I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Repair or Replace (RR)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**Standards of Practice:**

Louisiana

**Type of building:**

Single Family (1 story)

**Style of Home:**

Traditional

**Approximate age of building:**

36 Years Old

**Home Faces:**

West

**Temperature:**

83 Degrees

**Weather:**

Clear

**Ground/Soil surface condition:**

Dry

**Rain in last 3 days:**

No

**Radon Test:**

No

**Water Test:**

No

**Present at Inspection:**

Buyer's Agent, Buyer

**Vacant or Occupied:**

Occupied

## 1. Roofing

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

		IN	NI	NP	RR	Styles & Materials
1.0	ROOF COVERINGS	•				<b>Roof Covering:</b> Architectural
1.1	FLASHINGS	•				<b>Viewed roof covering from:</b> Walked roof
1.2	SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS	•				<b>Sky Light(s):</b> None
1.3	ROOF DRAINAGE SYSTEMS	•				<b>Chimney:</b> Metal

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### Comments:

**1.0 (1)** The roof covering appears to be in serviceable condition at the time of this inspection. There were no missing or damaged shingles on this roof at the time of this inspection. **The roof appears to be approximately 3-5 years old. The roofing materials appear to have a manufacture's rated 30 year roof, under proper venting of the attic space and weather conditions. Typically roof's in our area do not reach the life expectancy due to the extreme heat and moisture conditions.** This is just for your information.

(2) The tree limbs that are in contact with roof or hanging near roof should be trimmed. (front and left side) This can lead to faster deterioration of the roof shingles than normal. Repair as needed by a qualified person.

**1.1 One of the lead vent stacks/covers and skirts have been damaged by rodents. (over laundry room) I would recommend replacing any damage stack covering so there is no chance of water entrances into the attic space.** Repair or replace as needed.



1.1 Item 1(Picture) rodent damage on cover

**1.2 There is a Television dish that is installed on top of the roof shingles of the home.** It is not a good idea to installed these dishes on the roof like this as you can create roof leaks around the fastening hardware, and this dish could be ripped off the roof in high winds. This could cause major damage if this were to occur. The recommended install would be to fasten the dish to the eave of the home. This is for your information and repair as needed by a qualified licensed roofer.



1.2 Item 1(Picture) TV dish on roof

**1.3 (1) The home does not have any type of gutter system for the roof drainage on the left rear of the home. It is recommended you consider adding gutters to help drain the roof water away from the home and foundation and to prevent soil erosion. With a moisture concern around this area of the home, Installing a gutter in the areas missing is highly recommended.** Recommend contacting a gutter company for a cost quote of adding gutters to the home.

**🏠 (2) The gutters are full of debris in areas and needs to be cleaned.** The debris in gutters can also conceal rust, deterioration or leaks that are not visible until cleaned, and I am unable to determine if such conditions exist. Gutter debris can lead to moisture damage to the eaves and promote wood destroying insect activity. Clean the gutter cans as needed on a regular basis by a qualified person.



1.3 Item 1(Picture) gutter debris

(3) We recommend installing splash blocks or extensions on any downspout that may be missing them. It is very important that the roof water is carried away from the foundation wall as far as possible. Repair or replace as needed.

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The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 2. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

		IN	NI	NP	RR	Styles & Materials
2.0	WALL CLADDING FLASHING AND TRIM	•				<b>Siding Style:</b> Lap Brick
2.1	DOORS (Exterior)	•				<b>Siding Material:</b> Wood Brick veneer
2.2	WINDOWS	•				<b>Exterior Entry Doors:</b> Wood
2.3	DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS	•				<b>Appurtenance:</b> Covered porch Sidewalk Patio
2.4	VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)	•				<b>Driveway:</b> Concrete
2.5	EAVES, SOFFITS AND FASCIAS	•				
2.6	OTHER			•		

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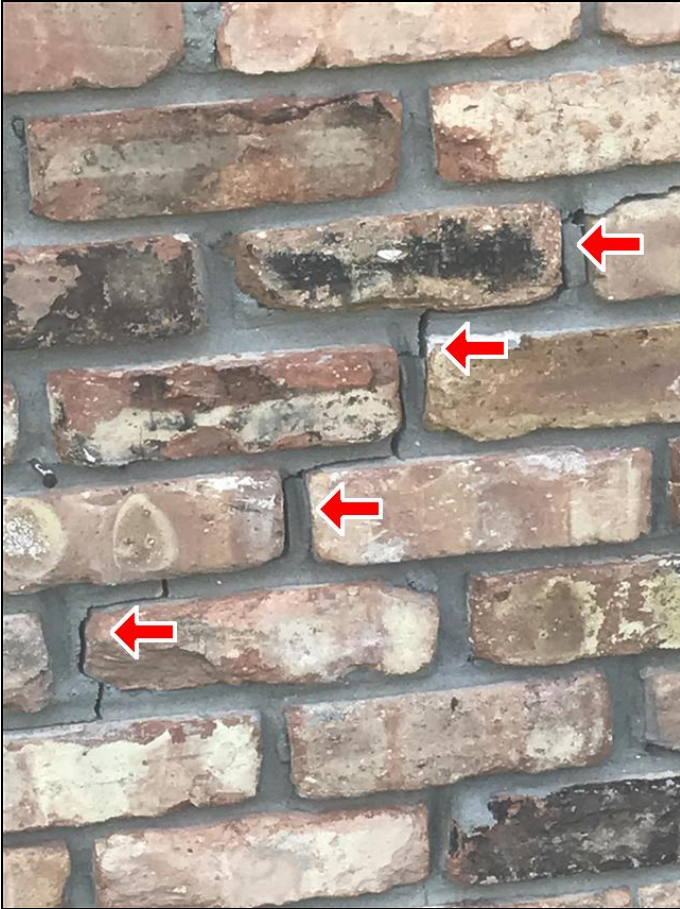
### Comments:

**2.0 (1) There is some brick/mortar cracking on the brick veneer siding of the home. (front porch, left side, right side, and rear) The heaviest cracking was on the rear outside the master.** It appears this cracking is typically in brick veneer walls and most do not represent a structural problem but can show some movement in the foundation of the home. If there is serious movements in the brick wall or bricks that have shifted away from the wall, then this typically would require further evaluation, however that was not visible on this inspection. This cracking should be monitored over time to ensure no further movement is occurring. Any major movements should be address with a specialist. Repair as needed.

**It appears the mortar joints on the rear left and rear of the home appears to have been coated with a weather coating or water proof sealant.** Apparently this home has had some flooding issues or concerns in the past as the foundation also has been coated with a black weather proof coating as well. This coating as covered the weep holes on the brick wall and now will not allow any moisture to drain that could get behind the wall. This can be a concern as this water would sit inside the wall cavity and caused moisture concerns. The coating on the mortar joints is not much of a concern. This is just for your information.

**There is signs of crumbling bricks around the home. This appears to be a bad batch of bricks when installed. The mixture of the bricks may not have correct when the bricks were made. The bricks that are**

crumbling appear to be very dry. Some of the bricks may require repairs if further deterioration occurs. Recommend a qualified licensed contractor to inspect and repair as needed.



2.0 Item 1(Picture) mortar cracking



2.0 Item 2(Picture) mortar has weather proofing on mortar



2.0 Item 3(Picture) crumbling brick in wall



2.0 Item 4(Picture) weather coating over mortar

(2) **The dryer vent on the right rear of the home is not sealed.** Recommend sealing around the vent to prevent moisture and insects into the wall cavity. Repair as needed by a qualified licensed contractor.

2.1 (1) Recommend sealing the door frames on the (front , garage door frame, garage man door) of the home. Sealing between the frame and the siding material will help prevent any moisture damage behind the walls. Repair as needed by a qualified person.



2.1 Item 1(Picture) door frame needs sealing

(2) **There is moisture damage visible to the (garage) door frame at the bottom of the door jam.** This damaged wood should be replaced to prevent further deterioration of the the framing. Repair as needed by a qualified person.



2.1 Item 2(Picture) damage to garage door frame

**2.4 (1)** The concrete on the (driveway, sidewalk, walkway, rear patio) of the home is cracking. This is common with concrete and should be monitored through time to ensure the cracks don't become tripping hazards. Repair or repair as needed.

There is some wood scrapes on the left rear of the home that I would suggest picking up. This wood close to the home can lead to wood destroying insect activity if not picked up. Repair as needed.

**Sub surface drainage was installed at some point in the past on the left rear of the home. This appears this corner of the home is low and holds water, needing the drainage. There is only one drainage basin and it appears to be mostly clogged at the time of this inspection. The rear yard grading may be an issue still as it was re-graded in the past, however it still may be higher in the rear property and draining toward the home. Adding more drainage basins or french drains would also help. Recommend cleaning the existing drainage system and monitor to see if more drainage is needed to move the water away from the house. Repair as needed by a qualified person or plumbing contractor.**

**(2) The (front walkway) of the home is not level and has separations in the concrete which could be considered a tripping hazard. This could result in a fall or injury due to this hazard. Recommend repairing the concrete in order to prevent any injuries. Repair as needed by a qualified licensed contractor.**



2.4 Item 1(Picture) possible trip hazard

**2.5** There is a damaged piece of fascia board on the right side of the home. Recommend replacing the damaged board to ensure the fascia is well sealed. Repair as needed.



2.5 Item 1(Picture) broken/damaged fascia board

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The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

### 3. Garage

		IN	NI	NP	RR	Styles & Materials
3.0	GARAGE CEILINGS	•				<b>Garage Door Type:</b> One automatic
3.1	GARAGE WALLS (INCLUDING FIREWALL SEPARATION)	•				<b>Garage Door Material:</b> Metal
3.2	GARAGE FLOOR	•				<b>Auto-opener</b>
3.3	GARAGE DOOR (S)	•				<b>Manufacturer:</b> LIFT-MASTER
3.4	OCCUPANT DOOR FROM GARAGE TO INSIDE HOME	•				
3.5	GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)	•				

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**IN NI NP RR**

#### Comments:

**3.0** (1) There was signs of a ceiling crack(s) in the garage ceiling. The cracking should be monitored in the future to ensure no further cracking or movement. Any concerns should be brought to a specialist. The cracks appear to be a cosmetic concern at this point in time. Repair as needed.

The ceiling appears to be pushed down or loose by the attic staircase. The drywall should be secured as needed by a qualified person or contractor.



3.0 Item 1(Picture) ceiling cracks, drywall loose in garage

(2) There is visible ceiling repairs made in the garage of the home. The repairs appear to be a cosmetic issue at this time. This is just for your information. Recommend monitoring and repair/replace as needed a qualified person.

**3.2 There is some cracking of the garage floor in some areas. These cracks appear to be minor at this time,** however I do recommend monitoring these cracks to ensure no further movement is occurring. Any major movements in the future some be referred to a foundation specialist. Repair as needed.

**3.5** The garage door will reverse when the electric eye sensors are broken. This is a safety measure to ensure a child or pet does not get caught under a closing garage door. This safety feature is functioning as intended.

## 4. Interiors

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

		IN	NI	NP	RR	Styles & Materials
4.0	CEILINGS	•				<b>Wall Material:</b> Drywall
4.1	WALLS	•				<b>Floors:</b> Area rug Tile Wood
4.2	FLOORS	•				<b>Interior Doors:</b> Wood
4.3	STEPS, STAIRWAYS, BALCONIES AND RAILINGS			•		<b>Window Types:</b> Thermal/Insulated
4.4	COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS	•				<b>Window Manufacturer:</b> WINDOW WORLD
4.5	DOORS (REPRESENTATIVE NUMBER)	•				<b>Cabinetry:</b> Wood
4.6	WINDOWS (REPRESENTATIVE NUMBER)	•				<b>Countertop:</b> Granite <b>Ceiling Material:</b> Drywall

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IN NI NP RR

### Comments:

**4.0** There are signs of past ceiling repairs in the (middle bedroom) of the home. These repairs appear to be cosmetic and not related to any visual problem that can be seen on this inspection. Recommend you monitor these areas in the future to ensure there are no further problems. Repair as needed.

**4.1** There is signs of wall damage in the (rear den) of the home. This damage appears to just be a cosmetic concern at this point in time and repairs should be made as desired by a qualified person. Repair as needed.

**4.5 (1)** It is recommended that any exterior doors to the home have the locks replaced upon taking ownership in the home. This is for the security of the home as many keys can be distributed to different people to this home. Replacing the locks ensures no one has any keys to this home but the home owner. Repair as needed by a qualified lock smith.

The garage man door is scratched or damaged by a pet. Recommend repainting the door as needed.

(2) The door to the (front bedroom), tends to close on its own. This typically can be from settlement in the home causing the door(s) to close or could be a hardware issue. This could be a simple repair to the hardware. Repair as needed.

(3) Recommend installing door stops behind any door that doesn't have one to prevent damage to the sheetrock walls behind them. This is a maintenance issue and for your information.

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The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 5. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

		IN	NI	NP	RR	Styles & Materials
5.0	FOUNDATIONS, BASEMENTS AND CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)	•				<b>Foundation:</b> Poured concrete <b>Method used to observe Crawlspace:</b> No crawlspace
5.1	WALLS (Structural)	•				<b>Floor Structure:</b> Not visible Concrete slab
5.2	COLUMNS OR PIERS			•		<b>Wall Structure:</b> 2 X 4 Wood <b>Columns or Piers:</b> Supporting walls
5.3	FLOORS (Structural)	•				<b>Ceiling Structure:</b> 2X4 <b>Roof Structure:</b> Engineered wood trusses 2 X 4 Rafters Plywood Sheathing
5.4	CEILINGS (structural)	•				<b>Roof-Type:</b> Gable <b>Method used to observe attic:</b> Walked
5.5	ROOF STRUCTURE AND ATTIC	•				<b>Attic info:</b> Pull Down stairs

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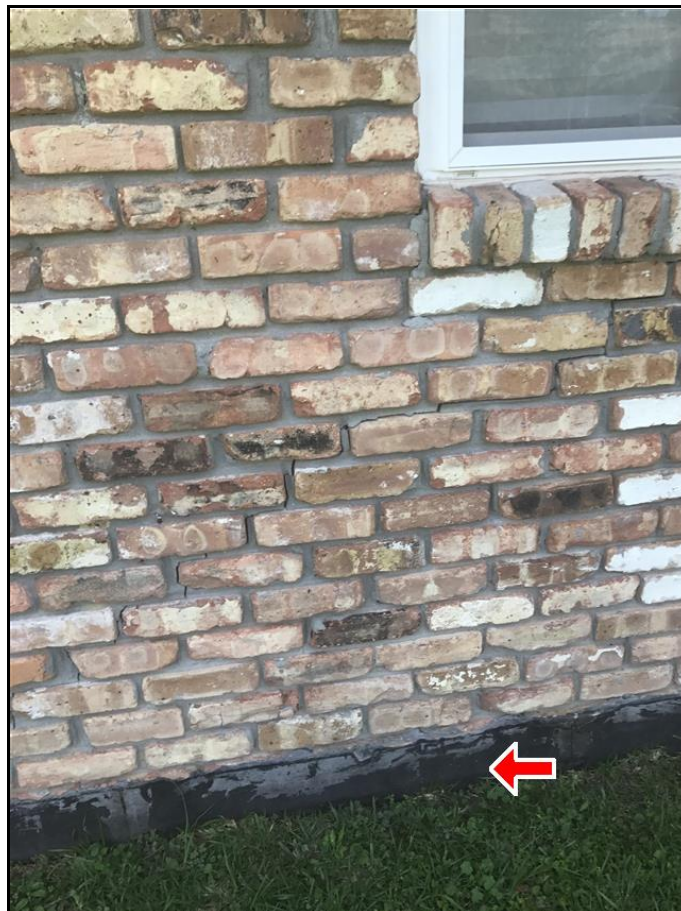
### Comments:

**5.0** (1) An interior foundation survey was performed. This is a spot measurement and after allowing for different flooring material heights, the total differential in this home was **(0.8) inches**. This is the differences in the highest point of the home (left bedroom) and the lowest point in the home (rear laundry). Based on the homes age,(most settlement in homes usual occurs in the first ten years of the homes existence) further settlement should be minimal, but cannot be totally discounted. This differential appears to be from construction tolerances and common settlement of the home. If there are any concerns with this measurement, then I would recommend you consult a qualified licensed structural contractor or engineer as needed.

As mentioned earlier in this report, the foundation wall on the left exterior and rear is covered with a weather proof sealant over the foundation wall. This sealant appears to have been applied as this area of the yard was taking on heavy amounts of water, mainly due to the lack of a gutter can and poor grading in the rear yard. This black coating on the foundation wall however is a concern from a wood destroying insect perspective. The insects can get up under the black coating and you will not even know they are there. This coating really should be removed, and better drainage installed to help with the water removal in this area of the home. Recommend repair as needed by a qualified licensed contractor.



5.0 Item 1(Picture) black coating on foundation and 1st row of bricks



5.0 Item 2(Picture) black weather proof sealant over foundation

(2) It is recommended that you allow 4-6 inches of the foundation wall be showing at all times. (front gardens) This will help keep moisture away from the foundation and help detect any termite trails into the home. Repair as needed.

**5.5** There is evidence of roof leak in the attic space. (vent over laundry room, left attic space) The stain appears to be old and from a previous leak, however I do recommend that you monitor these areas to ensure there is no current leak. Repair as needed.

The black wall wrap or moisture barrier is missing under the left attic gable vent. This is installed during construction and appears to have been torn off, possibly due to moisture damage. Recommend repair as needed.







5.5 Item 1(Picture) moisture stains by plumbing vent



5.5 Item 2(Picture) moisture stains



5.5 Item 3(Picture) black barrier missing in areas

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The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 6. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

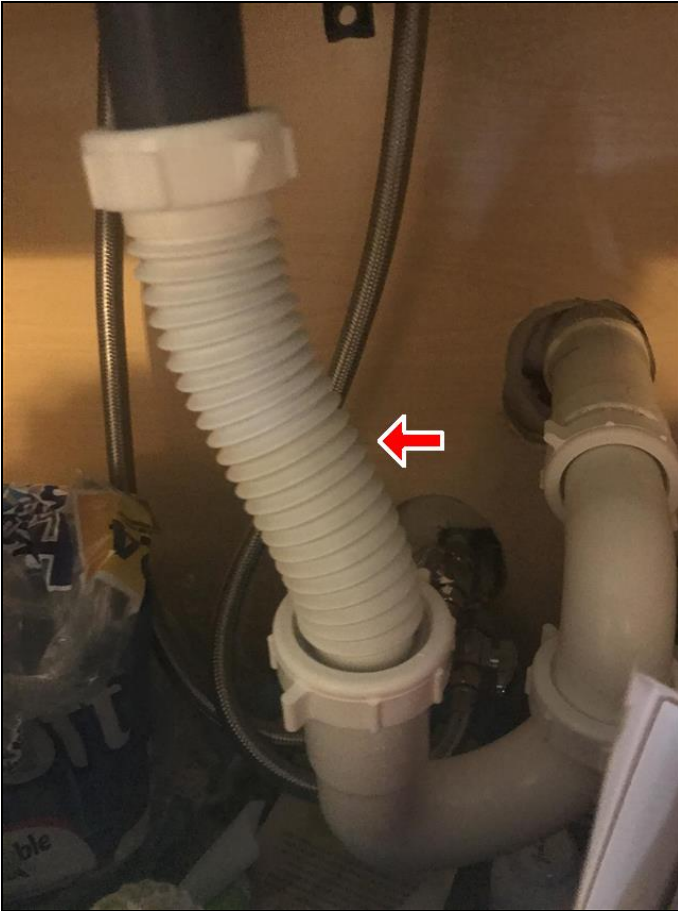
		IN	NI	NP	RR	Styles & Materials
6.0	PLUMBING DRAIN, WASTE AND VENT SYSTEMS	•				<b>Water Source:</b> Public
6.1	PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES	•				<b>Water Filters:</b> None
6.2	HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS	•				<b>Plumbing Water Supply (into home):</b> Copper
6.3	MAIN WATER SHUT-OFF DEVICE (Describe location)	•				<b>Plumbing Water Distribution (inside home):</b> Copper
6.4	FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)			•		<b>Washer Drain Size:</b> 1 1/2"
6.5	MAIN FUEL SHUT OFF (Describe Location)	•				<b>Plumbing Waste:</b> PVC
6.6	SUMP PUMP			•		<b>Water Heater Power Source:</b> Electric
						<b>Water Heater Size:</b> 40 Gallon (1-2 people)
						<b>Manufacturer:</b> GE

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IN NI NP RR

### Comments:

**6.0 (1) The (master sink) drain lines have plastic flex piping material installed. Using flex pipe under the kitchen sink is generally not allowed in today's plumbing as grease and debris can get caught in the grooves of the flex line and cause the drain to back up. More importantly though is this drain pipe is a very thin wall material which typically cracks in the grooves of the flex and begins to leak. Recommend installed solid plastic pipe in this area as needed by a qualified licensed plumber.**



6.0 Item 1(Picture) flex pipe on master sinks

(2) There are no inspection panels cut on the two tubs in the home. Typically with a poured concrete slab, the plumbing to the tubs needs to be exposed as this is an area that needs to be treated by the pest control operator. This is just for your information.

**6.1 (1) The hose bibs around the home were functional at the time of this inspection, however no vacuum breaker valves were present.** Newer homes today are required to have the valves installed on the hose bibs to prevent any back flow to the water supply or contamination. We recommend you installed this valves and can be purchases at any plumbing supply store. Repair as needed by a qualified person.

The hose bib handle on the left rear of the home is broken and mostly missing. Recommend replacing the handle as needed by a qualified licensed plumber.



6.1 Item 1(Picture) hose handle broken

(2) **The toilet in the (hall bathroom) is loose at the base of the toilet.** I recommend securing the base to the flooring so it does not move for safety reasons and leakage. Repair as needed by a qualified licensed plumber.

**6.2 (1) Water heater maintenance** - It is recommended that you properly drain the water heater(s) once per year to remove sediments in the heater. The supply valve should be shut closed, and any power or gas to the unit turned off. Once this is done, drain with a hose to safe location. Close and re-fill the water heater. Once the water heater is full, turn back on the power source. Once again this is to maintain and extend the life of the water heaters. Complete as needed by a qualified person or licensed plumber.

(2) The water heater was tested and found to be functional at the time of this inspection. Your water heater is approximately (5) years old.

**6.3** The main shut off is the knob located outside on the front wall. This is for your information.



6.3 Item 1(Picture) main water shut off

6.5 The main fuel shut off is at gas meter outside at the front right side of the home.



6.5 Item 1(Picture) main gas shut off valve

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The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 7. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

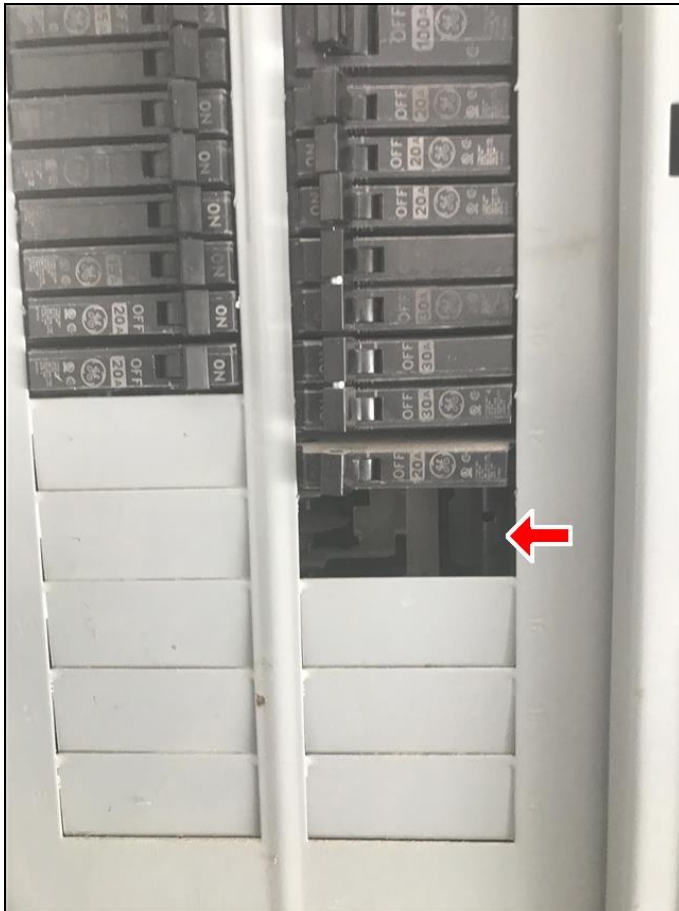
		IN	NI	NP	RR	Styles & Materials
7.0	SERVICE ENTRANCE CONDUCTORS	•				<b>Electrical Service</b>
7.1	SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS	•				<b>Conductors:</b> Below ground Copper 120/240 V - Single Phase
7.2	BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE	•				<b>Panel Capacity:</b> 200 AMP
7.3	CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)	•				<b>Panel Type:</b> Circuit breakers
7.4	POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE	•				<b>Electric Panel</b> <b>Manufacturer:</b> GENERAL ELECTRIC
7.5	OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)	•				<b>Branch wire 15 and 20 AMP:</b> Copper
7.6	LOCATION OF MAIN AND DISTRIBUTION PANELS	•				<b>Wiring Methods:</b> Romex
7.7	SMOKE DETECTORS	•				<b>Is panel grounded:</b> Yes
7.8	CARBON MONOXIDE DETECTORS			•		

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

### Comments:

7.1 (1) The main panel appears to be grounded to a grounding rod on the rear of the home.

(2) The main panel is missing a knock out on the interior panel cover. This knock out is designed to prevent anyone from touching any live electricity without unscrewing the interior panel cover. You can buy these knock out clips at a electrical supply house. Repair as needed.



7.1 Item 1(Picture) missing knock out

**7.3** (1) The following outlets tested as inoperable in (garage-1, dining room-1) of the home. Recommend a qualified licensed electrician inspect and repair as needed.

(2) The following light fixtures in the (kitchen sink, service bar area, rear patio) did not function during this inspection. Possible repair could be as easy as changing the light bulbs out. If not a qualified licensed electrician should inspect and repair as needed.

(3) The light globe or cover is missing over the light fixture in the (laundry room, front bedroom closet) of the home. Recommend replacing or installing the globe as needed by a qualified person.

(4) **The outlets in the (master bathroom, hall bathroom) of the home are not grounded. These outlets function as a two prong outlet would and are not grounded.** I recommend a qualified licensed electrician inspect and repair as needed.

(5) **There is some open wiring in the (garage attic space) of the home.** Any wires that are spliced and are not in a closed junction box are considered open wiring and a electrical hazard. I recommend a qualified licensed electrician inspect all open wiring and repair as needed.



7.3 Item 1(Picture) open wiring



7.3 Item 2(Picture) open wiring in attic



7.3 Item 3(Picture) open wiring in attic

**7.4 There was no GFCI outlet (ground fault circuit interrupter) found in the rear patio, kitchen- right of sink) home. It is recommended that any exterior outlet and any interior outlet within six feet of a water source be protected by a GFCI outlet or GFCI circuit breaker. This is for your safety.** Repairs should be made only by a qualified licensed electrician.

**7.5 The GFCI outlet in the (garage, master bathroom) of the home will not trip when tested.** This could be caused by improper wiring of the outlet or a faulty GFCI outlet. Recommend a qualified licensed electrician inspect and repair as needed.

**7.6 The main panel box is located on the (garage) of the home. To kill all power to the home, simply flip the top main breaker (200) amps into the off position.**



7.6 Item 1(Picture) main electrical disconnect

**7.7 (1) The smoke detector should be tested at common hallway to bedrooms upon moving in to home. This should be inspected routinely (every three months) to ensure proper operation of all smoke detectors in the home.**

**(2) It is recommended that each bedroom of the home has a functioning hard wired smoke detector installed for safety. Today, the requirements call for one in each bedroom and any hallway to the bedrooms. This is for your safety and should be installed by a qualified licensed electrician.**

**(3) The smoke detectors that are within reach are tested by the testing button. This test button is only testing power to the detector. We do not smoke test the detectors to ensure proper functioning. This should be properly inspected on a semi-annual basis by a qualified licensed electrician. Repair as needed.**

**🏠 7.8 There is no carbon monoxide detector found in home. It is recommended that one be installed according to the manufacturer's instructions, generally in the common hallway by the bedrooms and near gas appliance locations.**

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The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 8. Heating / Central Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

		IN	NI	NP	RR	Styles & Materials
8.0	HEATING EQUIPMENT	•				<b>Heat Type:</b> Forced Air
8.1	NORMAL OPERATING CONTROLS	•				<b>Energy Source:</b> Electric
8.2	AUTOMATIC SAFETY CONTROLS	•				<b>Number of Heat Systems (excluding wood):</b> One
8.3	DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	•				<b>Ductwork:</b> Insulated Flex Ducts
8.4	PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM	•				<b>Filter Type:</b> Disposable
8.5	CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)	•				<b>Filter sizes:</b> 20x30
8.6	SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)			•		<b>Types of Fireplaces:</b> None
8.7	GAS/LP FIRELOGS AND FIREPLACES			•		<b>Operable Fireplaces:</b> None
8.8	COOLING AND AIR HANDLER EQUIPMENT	•				<b>Number of Woodstoves:</b> None
8.9	NORMAL OPERATING CONTROLS	•				<b>Cooling Equipment Type:</b> Air conditioner unit
8.10	PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM	•				<b>Cooling Equipment Energy Source:</b> Electricity

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

**Woodstoves:**  
None

**Cooling Equipment**

**Type:**  
Air conditioner unit

**Cooling Equipment**

**Energy Source:**  
Electricity

**Central Air**

**Manufacturer:**  
HEIL

**Number of AC Only**

**Units:**  
One

**Comments:**

**8.0** The heating system was tested and found to be functional at the time of this inspection. Your heating system is approximately (5) years old.

**8.3** (1) Your disposable filter size is (20x30) and should be changed once per month during heavy use periods. This will help keep your cooling coils clean and produce the best cooling results as possible. Replace as needed.

**(2) The air return in the home are not is not sealed. Today construction calls for the returns to be sealed with drywall or insulation board but sealed completely. Older construction typically left the return open to the wall framing. This can bring in warmer air from the wall cavity and attic space through cracks. This can affect the cooling of the unit.** This is just for your information and repair as needed by a qualified licensed HVAC contractor.

**(3) The current air filter in place in the return air grill is very dirty. The air conditioning system coils will get dirty if filters are not regularly changed and will not perform to its potential. Recommend replacing disposal filters on a monthly basis.** Repair as needed.

**8.8** (1) The ambient air test was performed by using thermometers on the air handler of Air conditioner to determine if the difference in temperatures of the supply and return air are between 14 degrees and 22 degrees which indicates that the unit is cooling as intended. The supply air temperature on your system read 51 degrees, and the return air temperature was 70 degrees. **This indicates the range in temperature drop is normal.**

(2) The outside condenser is approximately (5) years old and has (5) tons of cooling capacity.

**(3) It is recommended that you pour two cups of white vinegar down the condensation drain line of the air conditioning drain every couple months. This will help clean the drain and stop build up inside the drain pipe. This is a maintenance item and should be performed by the home owner. Repair as needed.**

**(4) Yearly service and inspection of the heating and cooling systems are recommended. This can help extend the life of the units and ensure proper operation of these systems. If this system has not been serviced in the last year, service is recommended prior to closing on this home. This should be performed by a qualified licensed HVAC contractor as needed.**

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The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 9. Insulation and Ventilation

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

		IN	NI	NP	RR	Styles & Materials
9.0	INSULATION IN ATTIC	•				<b>Attic Insulation:</b> Batt
9.1	INSULATION UNDER FLOOR SYSTEM			•		<b>Ventilation:</b> Gable vents Soffit Vents Power Ventilator
9.2	VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)			•		<b>Exhaust Fans:</b> Fan with light Fan/Heat/Light
9.3	VENTILATION OF ATTIC AND FOUNDATION AREAS	•				<b>Dryer Power Source:</b> 220 Electric
9.4	VENTING SYSTEMS (Kitchens, baths and laundry)	•				<b>Dryer Vent:</b> Metal
9.5	VENTILATION FANS AND THERMOSTATIC CONTROLS (ATTIC)	•				<b>Floor System</b> <b>Insulation:</b> NONE <b>Vapor Barrier:</b> Yes

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

### Comments:

**9.3 The gable vent on the (garage and left attic) of the home needs to be re-screened from the interior of the attic space. This is needed to prevent any pest entrance into the home. Repair as needed by a qualified licensed contractor.**



9.3 Item 1(Picture) re-screen gable vents

**9.5 The thermostatically control power ventilator on the left side gable vent in the attic space is not functioning at the time of this inspection. The common problem with these ventilators is burned out motors. These are not very expensive and can be replaced fairly easily. Recommend a qualified licensed electrician inspect and repair as needed.**

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The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 10. Built-In Kitchen Appliances

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The home inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.

		IN	NI	NP	RR	Styles & Materials
10.0	DISHWASHER	•				<b>Dishwasher:</b> BOSCH
10.1	RANGES/OVENS/COOKTOPS	•				<b>Disposer Brand:</b> BADGER
10.2	RANGE HOOD	•				<b>Exhaust/Range hood:</b> Bosch
10.3	TRASH COMPACTOR			•		<b>Range/Oven:</b> BOSCH
10.4	FOOD WASTE DISPOSER					<b>Built in Microwave:</b> Bosch
10.5	MICROWAVE COOKING EQUIPMENT					<b>Trash Compactors:</b> NONE
10.6	Refrigerator	•				<b>Refrigerator:</b> Samsung

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

IN NI NP RR

### Comments:

**10.2 There is a re-circulating vent over the gas cooktop of the home. Generally the re-circulating vents are typically allowed for electric cooktops, but not gas cooktops. We recommend all gas appliances are vented to the exterior of the home for safety. The re-circulating vent potentially could be venting dangerous gases and heat back into the home. It is also recommended that the range manufacturer specifications are followed concerning venting of the cooktops. We also recommend a carbon monoxide detector be installed in the kitchen area to help detect any gas leaks. Recommend a qualified licensed contractor to repair as needed.**

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

# General Summary

## DTM Building Inspection Serv.,LLC

4217 Lake Trail Dr  
Kenner, La. 70065

### Customer

Mr. Ryan Dey  
Ms. Briana Davis

### Address

139 Everest Drive  
Slidell La. 70458

The following items or discoveries indicate that these systems or components **do not function as intended or adversely affects the habitability of the dwelling; or warrants further investigation by a specialist, or requires subsequent observation.** This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

## 1. Roofing

### 1.3 ROOF DRAINAGE SYSTEMS

#### Inspected



(2) **The gutters are full of debris in areas and needs to be cleaned.** The debris in gutters can also conceal rust, deterioration or leaks that are not visible until cleaned, and I am unable to determine if such conditions exist. Gutter debris can lead to moisture damage to the eaves and promote wood destroying insect activity. Clean the gutter cans as needed on a regular basis by a qualified person.




1.3 Item 1(Picture) gutter debris

## 7. Electrical System

### 7.8 CARBON MONOXIDE DETECTORS

**Not Present**

-  **There is no carbon monoxide detector found in home. It is recommended that one be installed according to the manufacturer's instructions, generally in the common hallway by the bedrooms and near gas appliance locations.**

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Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to

normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

*Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Daniel Maloney*

# INVOICE

**DTM Building Inspection Serv.,LLC**  
**4217 Lake Trail Dr**  
**Kenner, La. 70065**  
**Inspected By: Daniel Maloney**

**Inspection Date: 5/12/2017**  
**Report ID: 03649**

<b>Customer Info:</b>	<b>Inspection Property:</b>
Mr. Ryan Dey Ms. Briana Davis 500 E. William David Pkwy Metairie La. 70005  <b>Customer's Real Estate Professional:</b> Lloyd Clark III	139 Everest Drive Slidell La. 70458

## Inspection Fee:

<b>Service</b>	<b>Price</b>	<b>Amount</b>	<b>Sub-Total</b>
Home Inspection	300.00	1	300.00

**Tax \$0.00**

**Total Price \$300.00**

**Payment Method:** Check # 3472

**Payment Status:** Paid At Time Of Inspection

**Note:**

**DTM Building Inspection Serv.,LLC**

**4217 Lake Trail Dr  
Kenner, La. 70065**

## **Report Attachments**

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments.

[Standards of Practice](#)

[Inspection Agreement](#)