



Acutec Home Inspectors  
PO Box 93  
Slidell, La 70459



336 Cape Breton  
Slidell La 70458

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## Definitions

**NOTE:** All definitions listed below refer to the property or item listed as inspected on this report at the time of inspection

<b>Acceptable</b>	Functional with no obvious signs of defect.
<b>Not Present</b>	Item not present or not found.
<b>Not Inspected</b>	Item was unable to be inspected for safety reasons or due to lack of power, inaccessible, or disconnected at time of inspection.
<b>Marginal</b>	Item is not fully functional and requires repair or servicing.
<b>Defective</b>	Item needs immediate repair or replacement. It is unable to perform its intended function.

## General Information

### Property Information

**Client Name** Ray Masker  
**Property Address** 336 Cape Breton  
**City** Slidell **State** La. **Zip** 70458

### Client Information

### Inspection Company

**Inspector Name** Shawn Gregg  
**Company Name** Acutec Home Inspectors  
**Address** PO Box 93  
**City** Slidell **State** La **Zip** 70459  
**Phone** Acutec Home Inspectors  
**E-Mail** Shawn@AcutecLLC.com  
**Report Name** Masker081016  
**Payment Amount:** 600.00  
**Payment Method:** Check

### Conditions

**Others Present** Buyer, Buyer's Agent, Termite Inspector, Pool Contractor, HVAC Serviceman  
**Property Occupied** Occupied  
**Estimated Age** 7 **Entrance Faces** Southwest  
**Inspection Date** 08/10/2016  
**Start Time** 8:30 **End Time** 4:14  
**Electric On** Yes  
**Gas On** Yes  
**Water On** Yes  
**Temperature** 90  
**Weather** Partly cloudy, Rain **Soil Conditions** Damp, Wet  
**Building Type** Single family **Garage** Attached

## General Information (Continued)

**Sewage Disposal** Public **How Verified**

**Water Source** Public **How Verified**

**Excluded: Pool /Hot tub Other Structures** It is recommended that a pool expert inspect the pool and equipment, and verify that all current safety devices are installed and working properly to help prevent accidents and injury.

Waterfront property may have structures and equipment such as bulkheads, docks or boat house/ lifts. These items are not included in a home inspection. It is recommended that you have qualified professionals evaluate these items for condition and proper installation and operation.

Electric generators are not evaluated during a home inspection. These systems should be evaluated by the servicing company or a licensed electrician.

**Excluded: Many** -wall, floor and/or ceiling surfaces were obscured by large amounts of furniture and/or stored items. Many areas couldn't be evaluated.

Some areas were not accessible with personal property throughout. There were light bulbs that appear to need replacing. All fixtures should be checked during final walk through. A further evaluation should be made after occupant moves all items from building.

Marginal **Other concern:** There was a licensed Termite Inspector present performing an evaluation of the property during this home inspection.

This home inspection does not include an evaluation or determination of termites, other insects or past/ present damage associated with.

There was a gas smell near the gas meter/ generator at the house during the inspection. It is recommended that a licensed plumber or the gas utility provider evaluate for leaks and determine the source of the gas smell.

## Property Grounds

### 1. Defective

**Driveway: Concrete:** Stucco structure at driveway entrance is damaged. There are cracks and gaps with rust and water damage visible. Further evaluation and repair by a qualified contractor is recommended.

Gaps and cracks with missing grout noted with tiled drive. Repairs should be made to prevent further damage.

Driveway has cracks with sections separating. Repairs may not be necessary, but monitor for further movement and the need for repairs in the future. Sealing cracks may help reduce movement.

Gutter downspouts may contribute to material deterioration. Redirecting water may help reduce further damage.

## Property Grounds (Continued)

### Driveway: (continued)

Cement curb was cut. Appears to be a water relief. This may indicate excessive water in this areas.



2. Marginal

**Grading:** Ground under the pool equipment support pad has dropped/settled. If concrete is left unsupported, movement or damage can occur. The pool plumbing may be in a bind and may require repair. This should be evaluated by a qualified contractor.



3. Marginal

**Vegetation:** Vegetation near exterior sidings. This is a conducive condition for insects and moisture damage. Recommend keeping all plants 1 foot from structure.

Some areas of exterior and foundation are not visible and could not be evaluated.



## Property Grounds (Continued)

4. Marginal

**High soil:** High soil to foundation. The soil should be pulled away from the structure to prevent insect and moisture damage. Ideal conditions is having 4 or more inches of visible foundation.

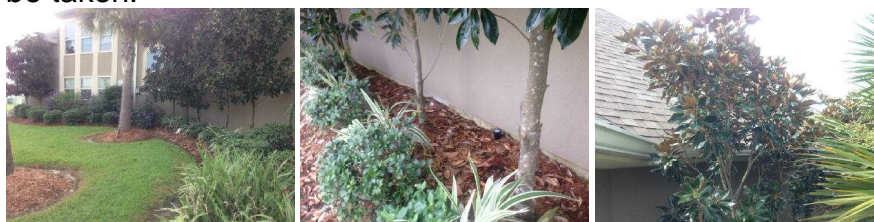


Some areas of foundation were not visible and could not be evaluated.

5. Marginal

**Trees:** Trees growing close to structure can cause damage to roof, siding and other components. Regular pruning required. A licensed arborist should evaluate trees close to the structure, trees that appear to be damaged and remaining trees for potential concerns.

Tree roots are close to the structure. This can be a concern if roots grow under the foundation. There are many large trees planted within 2-3 feet of the foundation. This should be evaluated by a licensed arborist to determine if proactive measures should be taken.



## Exterior

1. Foundation type: Cement:

2. Siding type: Stucco:

3. Defective

**Siding:** Cracks noted in stucco siding. Cracks are typical with this type of material as shrinkage/ settlement can form cracks over time. There are also areas of damage around the exterior.

A certain amount may be considered normal, but when there are excessive amounts or the cracks appear wider than "hairline" a qualified contractor should evaluate to determine true condition and necessary repairs.

There are noted repairs and a few areas that appear to need repair or at least evaluation by a stucco expert. It is recommended that the structure is evaluated to determine if any immediate action is needed or could reduce further damage. Gaps between materials allows water entrance, which promotes damage to concealed material behind or below.

Structures with stucco siding are difficult to fully evaluate during a standard Home Inspection, especially when painted, as this house has been. A qualified stucco expert/inspector should be consulted for a full evaluation of condition of components.

It is recommended that the seller be asked for details of any past or present damage

## Exterior (Continued)

### Siding: (continued)

and any repairs made to the structure.



4. Marginal

**Trim:** Damage and signs of repair visible in areas. Further evaluation recommended.

5. Defective

**Patio Door:** The threshold at one or more doors is not properly supported. The threshold moves when stepped on. These will need repair and proper supports installed.

6. Marginal

**Window Screens:** One or more window screens are missing.

7. Marginal

**Exterior Lighting:** Some fixtures may be on timers, automatic or motion switches or may need bulbs replaced for further evaluation. All lights can not be verified as working properly at certain times of the day. Some fixtures were not visible from switch location and may require multiple people to test. Further evaluation required.

The purpose of some switches were not identified during the inspection. They may control fixtures not visible from switch location or indicate fixtures that are not



## Exterior (Continued)

### Exterior Lighting: (continued)

functioning properly. Recommend asking seller about each switch and it's use.



8. Marginal

**Porch / Patio:** Tiles have gaps at joints between components. These should be secure and sealed to prevent movement and damage.

Gaps and cracks at all exterior surfaces should be sealed to prevent moisture penetration and damage.

There is loose wood trim on ceiling of pool house living area (near fireplace). Repairs should be made to prevent further damage.



9. Defective

**Deck:** The pool deck and surrounding structure has signs of cracks and repairs. There are heavy water stains visible near water feature. This area should be evaluated to determine the extent of damage and necessary repairs.

Handrails missing. Recommend having safety rails installed according to current standards.



## Exterior (Continued)

10. Marginal

**Other concern:** Open gaps or seams noted, adding silicone/ caulk to open seams around the exterior can prevent moisture and insect entrance. It can also help reduce damage from high winds and rain getting behind materials. Areas typically included are when two different materials meet or change direction. These should be sealed to prevent insect and moisture from entering or damaging the structure.

Gaps exist at one or more openings around the exterior, such as those where outside faucets, refrigerant lines, and/or gas supply pipes penetrate the exterior. Gaps should be sealed as necessary.



11. Marginal

**Other concern:** Plumbing / drain pipes should have an elbow pointing down to prevent water from running under the pipe and back into the wall structure.



## Roof

### Roof Surface

1. **Method of Inspection:** From ladder at eaves

2. **Unable to Inspect:** Some areas were too high, steep or wet to traverse. Some areas were not visible and not inspected for that reason. A professional roofer with the proper equipment should be consulted for further evaluation to determine any damage or necessary improvements.



3. **Material:** Asphalt shingle



4. **Type:** Hip

5. **Approximate Age:** Unknown

## Roof (Continued)

6. **Flashing:** Galvanized-- Galvanized flashing present. Most components are covered and only partially visible. Concealed areas and components could not be evaluated during this home inspection.



7. Defective **Plumbing Vents:** PVC, Rubber boots, Lead boots-- Flashing does not rest tight to roof below. This area is prone to leak as water may travel up and under flashing. This metal should not be raised. There is daylight visible from underside in attic. Repairs should be made.



8. **Gutters:** Aluminum



## Garage/Carport

### Garage

1. **Type of Structure:** Attached **Car Spaces:** 3
2. **Garage Doors:** Metal
3. **Door Operation:** Motorized
4. **Door Opener:** Chamberlain-- Modern garage door openers are equipped with a pressure safety reverse sensor that stops the door if it is closing and comes down on top of someone or something. Pressure safety reverse switches are not tested during a home inspection as damage or injury could result, but should be tested by client to ensure they work properly. If the sensor does not reverse the door or if not equipped, the opener should be replaced with a new unit. See manufacture information to determine the best means of testing the model installed.



## Garage/Carport (Continued)

5. Marginal **Ceiling:** Evidence of past or present water staining on ceiling. Further evaluation required.



6. Marginal **Walls:** Signs of past or present water leakage. Further evaluation recommended.

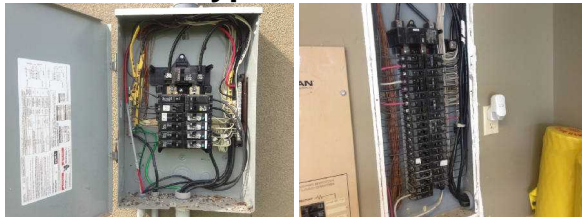


7. Marginal **Floor/Foundation:** Evidence of water entrance on garage flooring. Further evaluation and actions recommended to prevent water from entering structure.



## Electrical

1. **Service Size Amps:** Not determined **Volts:** 110-240 VAC
2. **Service:** Copper
3. **120 VAC Branch Circuits:** Copper
4. Marginal, Defective **240 VAC Branch Circuits:**
5. **Conductor Type:** Romex



6. **Ground:** Visible rod in ground

### Left side of house Electric Panel

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7. **Main Panel Location:** Garage
8. **Main Breaker Size:** 200 Amps
9. Not Present **AFCI:** AFCI breakers not present as required in new structures built today. They were not available years ago but are used on all newly built houses. Consider adding to all applicable circuits for improved safety.

## Electrical (Continued)

10. **Other concern:** Generator connections or equipment are not inspected and should be evaluated by a licensed electrician.



## Structure

1. **Structure Type:** Wood frame  
2. **Foundation:** Poured concrete  
3. Defective **Bearing Walls:** Wood frame-- There are cracks in walls in more than one area. The door in this area is difficult to close and sticks in jamb. These may be an indication of structural movement or damage. A licensed contractor should evaluate for the cause, extent of damage and necessary repairs.



4. Marginal **Beams:** The visible beam in garage, below bedroom upstairs, appears to sag in the center. With the visible cracks in drywall and the door casing that is out of square above, this should be evaluated further by a licensed contractor.

There appears to be signs of repair or paint to components in this area.



## Air Conditioning /Heat

It is recommended that a licensed HVAC technician service and evaluate all systems for proper installation and performance. A home inspection provides a minimum evaluation of the performance only.

### AC System

1. **A/C System Operation:** The units were evaluated by a HVAC technician during the home inspection. Refer to the information and recommendations regarding the condition of the systems provided by the technician in addition to this report. The systems were partially, visually inspected as part of this inspection.

2. Defective **Exterior Unit:** Raised structure-- The structure has visible damage to stucco and metal components with heavy rust buildup in gaps. Further evaluation and repairs are recommended.

Units on raised platforms should be secured to platform to prevent movement of equipment. Some local standards as well as many insurance policies are now requiring raised units to be secured. It could not be verified that these were or were not secured to structure.



3. **Manufacturer:** American Standard



4. **Model Number:** 4a6h6036b1000aa, 4a6h6024b1000aa **Serial Number:** 80240rg1f, 81330n81f

5. **Area Served:** Multiple units **Approximate Age:** 8, 8

6. **A/C Fuel Type:** Electric **Temperature Differential:**

7. **Heat energy source:** Heat Pump



8. **Type:** Central A/C and Heat **Capacity:**

## Air Conditioning /Heat (Continued)

9. Marginal

**Overflow Pan:** Pan has rust from past water. System should be serviced and evaluated by an HVAC technician.



10. Defective

**Refrigerant Lines:** Torn or missing insulation on freon line. Water dripping from line promotes damage to material below. There is water damage to structure below. These pipes should be insulated as much as possible.



### AC System

11. Not Inspected

**Other concern:** Dehumidification systems are not evaluated during a home inspection. These components should be thoroughly evaluated for proper installation, proper function and any necessary repairs by a qualified licensed HVAC professional.

The overflow pan under the unit shows excessive rust and should be serviced and evaluated for pan repairs.

The condensate and pan drain lines are connected with AC condensate drain lines. Dedicated drains lines may prove beneficial in preventing drain problems. Further evaluation is recommended.



## Fireplace

The proper manufactures installation and operation of fireplaces could not be evaluated during this home inspection and should be evaluated by a professional.

All fireplaces should be serviced prior to its use.

Gas fireplaces without automatic wall switches are not lit per the standards of practice as written by the LSBHI.

### Living room Fireplace

## Fireplace (Continued)

1. **Fireplace Construction:** Prefab



2. **Type:** Gas log

3. **Flue:** Ventless

### Pool house Fireplace

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4. Not Inspected **Fireplace Construction:** Prefab-- The unit was not tested. There were no instructions for operation visible at the time of inspection.



5. **Type:** Gas log

6. **Flue:** Ventless

### Master bedroom Fireplace

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7. **Fireplace Construction:** Prefab



8. **Type:** Gas log

9. Not Inspected **Fireplace Insert:**

10. Defective **Flue:** Metal-- Minimum clearance to combustible materials does not appear to be sufficient. Recommend further evaluation and corrective actions taken. The pipe indicated a 1" min clearance. The spray foam is in contact. A professional installer should evaluate further for concerns.



11. **Damper:** None visible

## Plumbing

1. Marginal **Service Line:** Copper-- Exposed pipes should be insulated.



2. **Main Water Shutoff:** Right side of house.

3. Marginal **Water Lines:** Plastic, Copper-- Exposed pipes are vulnerable to freezing and damage. All exterior pipes should be insulated.



4. **Drain Pipes:** PVC

5. **Vent Pipes:** PVC

6. **Gas Shutoff:** Right side of house-- There is a gas smell near the gas meter/ generator. The service provider should be contacted immediately to test for leaks and make repairs if necessary.



### Attic over living area Water Heater

7. Marginal **Water Heater Operation:** Functional at time of inspection-- There is surface rust and paint peeling on the water heater and in the pan. There are no signs of water leaks at the time of inspection. This may be from a past water leak, but the cause is unknown. Further evaluation by a licensed plumber is recommended.



8. **Manufacturer:** Ruud



9. **Model Number:** pe2-52-2 **Serial Number:** ru 0607203018

10. **Type:** Electric **Capacity:** 50 Gal.

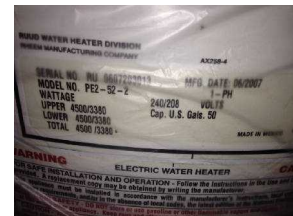
11. **Approximate Age:** 9 **Area Served:** Master bath side

### Attic over living area, garage side Water Heater

12. **Water Heater Operation:** Functional at time of inspection

## Plumbing (Continued)

13. **Manufacturer:** Ruud



14. **Model Number:** Pe2-52-2 **Serial Number:** ru 0607203013

15. **Type:** Electric **Capacity:** 50 Gal.

16. **Approximate Age:** 9 **Area Served:** Kitchen side

17. **Marginal** **Other concern:** Water pumps/ tanks and pipes should be protected from elements. UV rays and extreme temperatures can cause damage to components. Electrical devices should be protected from the elements with proper weather rated components when necessary.



## Bathroom

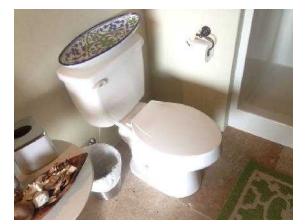
### Pool House Bathroom

1. **Marginal** **Walls:** Moisture damage visible at shower surround. Repairs should be made.



2. **Marginal** **Electrical:** One or more outlets has no power. This GFCI is tripped and will not reset. Further evaluation by a licensed electrician required.

3. **Defective** **Toilets:** The toilet is loose to the floor and should be tightened and then secured with silicone to prevent movement, water leaks and damage. Wax ring may require replacing. Although others may appear tight, all should be checked by a qualified plumber.



### 1st floor near bedrooms Bathroom

4. **Defective** **Walls:** Evidence of past or present water leakage with damage to material. Further evaluation by a licensed contractor to determine the cause (appears to be from shower curtain leakage), extent of damage and necessary repairs is recommended.



## Bathroom (Continued)

5. Marginal

**Electrical:** It is recommended that electrical fixtures over the shower or tub be GFCI protected for safety purposes. This is a current standard found in new construction homes in some areas and can be added for additional safety benefits in older homes. Fixtures did not appear to be protected. Further evaluation recommended.



6. Marginal

**Shower/Surround:** Loose or missing grout. The grout/ caulk at the seams has split open leaving a small gap. Moisture can enter and damage materials if not sealed tight. Any recent leaks or damage was not visible during home inspection and would require a licensed contractor to evaluate. Re-grout all areas necessary. Silicone should be used in corners to help prevent cracking.



Some tiles are not aligned straight. There may have been damage or repair at this location.

## Master Bathroom

7. Defective

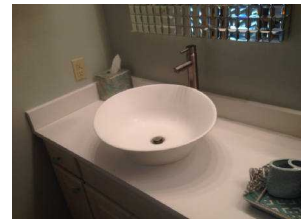
**Electrical:** Non-GFCI circuit within 6 foot of water. GFCI outlets should be installed as safety devices.

It is recommended that electrical fixtures over the shower or tub be GFCI protected for safety purposes. This is a current standard found in new construction homes in some areas and can be added for additional safety benefits in older homes. Fixtures did not appear to be protected. Further evaluation recommended.



8. Marginal

**Sink/Basin:** Top mounted sink bowl spins/ moves when tested. This bowl should be secure tight to prevent leaks and damage.



9. Marginal

**Tub/Surround:** Surface mounted tub moves freely. It should be secured tight to prevent movement, leaks and damage.



## Bathroom (Continued)

10. Defective

**Shower/Surround:** Loose or missing grout. The grout/ caulk at the seams has split open leaving a small gap. Moisture can enter and damage materials if not sealed tight. Any current leaks or damage was not visible during home inspection and would require a licensed contractor to evaluate. Re-grout all areas necessary. Silicone should be used in corners to help prevent cracking.



### 1st floor main, near laundry Bathroom

11. Defective

**Electrical:** It is recommended that electrical fixtures over the shower or tub be GFCI protected for safety purposes. This is a current standard found in new construction homes in some areas and can be added for additional safety benefits in older homes. Fixtures did not appear to be protected. Further evaluation recommended.



12. Marginal

**Faucets/Traps:** Shower valve plates and tub spouts should have silicone at base to prevent water damage to walls. Check all bathrooms.



13. Defective

**Shower/Surround:** Loose or missing grout. The grout/ caulk at the seams has split open leaving a small gap. Moisture can enter and damage materials if not sealed tight. Any current leaks or damage was not visible during home inspection and would require a licensed contractor to evaluate. Re-grout all areas necessary. Silicone should be used in corners to help prevent cracking.



14. Defective

**Toilets:** The toilet is loose to the floor and should be tightened and then secured with silicone to prevent movement, water leaks and damage. Wax ring may require replacing. Although others may appear tight, all should be checked by a qualified plumber.



### 2nd floor Bathroom

15. Defective

**Walls:** Evidence of past or present water leakage with damage to material. Further evaluation by a licensed contractor to determine the cause (appears to be from shower curtain leakage), extent of damage and necessary repairs is recommended.

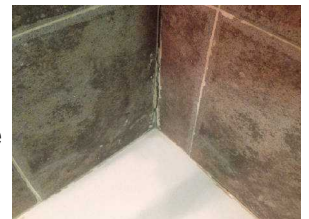


## Bathroom (Continued)

16. Defective **Faucets/Traps:** Handle spins freely on valve stem. The valve opened and closed during testing, but the handle need repair.



17. Defective **Shower/Surround:** Loose or missing grout. The grout/ caulk at the seams has split open leaving a small gap. Moisture can enter and damage materials if not sealed tight. Any current leaks or damage was not visible during home inspection and would require a licensed contractor to evaluate. Re-grout all areas necessary. Silicone should be used in corners to help prevent cracking.



## Kitchen

### Main Kitchen

1. **Stove /Oven** Appeared functional when tested on normal setting at the time of inspection.



2. **Ventilator:** Appeared functional when tested on multiple speeds at the time of inspection.



3. Marginal **Dishwasher:** Appeared functional when tested on normal setting at the time of inspection. The plastic facing near handles is cracked. Appears functional.



4. Defective **Refrigerator:** There was no ice at the door during the evaluation. The water dispenser appeared functional.



### Pool House Kitchen

## Kitchen (Continued)

5. Defective **Cooking Appliances:** The oven/cooktop was nonfunctional at the time of inspection. There appeared to be gas present to the unit, but there was no spark at burners and the light did not function. Further evaluation recommended.

The grill appeared to function when tested using a burner. There was a visible flame.



6. **Ventilator:** Appeared functional when tested on multiple speeds at the time of inspection.



7. **Refrigerator:** Appeared functional at the time of inspection.



8. **Microwave:** Appeared functional when tested on normal setting at the time of inspection.



9. Not Inspected **Electrical:** The wall mounted TV was not evaluated.



## 2nd Floor Media Room Kitchen

10. Defective **Refrigerator:** The refrigerator/cooler outlet is powered by a GFCI outlet. The compressor can trip the GFCI during normal use causing the refrigerator to lose power. Refrigerators should be on a circuit without GFCI protection.



## Laundry Room/Area

### Laundry Room/Area

1. Marginal

**Laundry Tub:** Sink is loose to counter top. It should be secure and sealed at lip to prevent water leaks and damage.



## Interior Living Space

### Living Space

1. Marginal

**Ceiling:** Evidence of past or present water staining on ceiling. Further evaluation required.



2. Defective

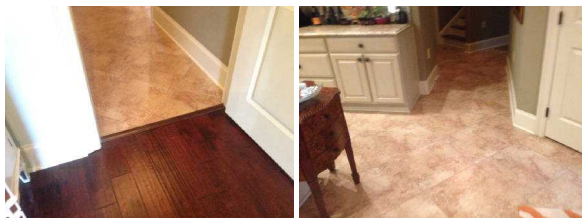
**Walls:** Evidence of past or present water leakage. Further evaluation by a licensed contractor to determine the cause, extent of damage and necessary repairs is recommended.



3. Marginal

**Floor:** Transition trim is loose between different flooring materials in areas. Repairs should be made.

Floor tiles and wood planks have a hollow sound. This is indicative of improper installation or separation of the material for various reasons. Cracks may form over time from normal use and material movement. A professional installer should be consulted for additional information.



## Interior Living Space (Continued)

4. **Electrical:** The purpose of some switches were not identified during the inspection. They may control fixtures not visible from switch location or indicate fixtures that are not functioning properly. Recommend asking seller about each switch and it's use.

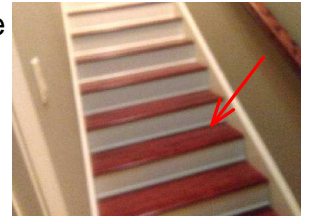


5. Not Inspected **Smoke Detector:** Present-- Batteries should be replaced and units tested during move in. Check all smoke detectors and replace all when 10 years old.

Carbon Monoxide detectors should be installed on each floor of houses with gas appliances present.



6. Marginal **Other concern:** Step tread boards do not lay flat on one or more steps. The cause was not determined, further evaluation recommended.



7. Marginal **Other concern:** Mold or similar growth is likely to be present and may be a potential health concern. Areas where moisture stains, water damage or water leaks are suspected, growth is likely and should be evaluated for concerns.

Removal and/or correction is recommended. The details of the growth are unknown and beyond the scope of this home inspection.

According to the EPA, mold is present everywhere. Removing the source of moisture is key to resolving ongoing problems.

## Attic

### Attic

1. **Method of Inspection:** Walked/crawled through attic portions

2. Marginal **Some areas:** Some areas were not accessible. These areas had insufficient walkways, flooring, headroom or other objects preventing full evaluation. Some components could not be fully evaluated, such as proper ventilation of interior exhaust, HVAC, electrical and plumbing components to name a few. A further evaluation may be necessary, after all personal and other items are removed.



Damaged or inadequate decking present. Repairs and removal of some components may be necessary. Further evaluation recommended.

## Attic (Continued)

Some areas: (continued)

3. **Roof Framing:** Rafter, Concealed with spray foam



4. **Ceiling Framing:** Joist-- Concealed by insulation, decking and/or personal items.



5. **Sheathing:** Spray foam covered



6. **Ventilation:** Sealed space

7. Defective **Insulation:** Spray Foam, Loose pieces on ceiling -- Spray Foam insulation is present. Evaluating the product, method installed or adverse conditions related are beyond the scope of this inspection. It is suggested that research and an evaluation be performed by a qualified professional for more information.

There are areas that appear to have been modified or improperly installed and some that appear to have loose or deteriorated foam. There are areas that are not sealed and may negate the affect of the spray foam and possibly even create unfavorable conditions. A qualified spray foam inspector should evaluate the system for proper installation, performance and necessary improvements.



## Attic (Continued)

8. **Insulation Depth:** +/-6" varies
9. Defective **Wiring/Lighting:** Open junction boxes should have covers to prevent electrical and fire hazards.



## Final Comments

This report is the exclusive property of Acutec Home Inspectors and is intended for the sole use of the client named on the report. Use of this report by any unauthorized persons is prohibited.

This report describes the systems and components inspected by this company. Items not found in this report are considered excluded or beyond the scope of this inspection, and should not be considered inspected at this time or part of this report. Please refer to your inspection agreement and the Standards of Practice for details relating to the scope of the inspection or report.

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This inspection / report is not meant to be technically exhaustive but an analysis of the general overall condition of this property. This inspection and report is based upon observations of the conditions that existed at the time of the inspection only. This report excludes any and all components, items and conditions, which are concealed or otherwise difficult to inspect. This report does not include an inspection for past or active termite damage or infestation, contaminated (Chinese) drywall, radon gas, mold, asbestos, lead paint, or any other hazardous materials, substance or dangerous conditions on this property.

The limitation of liability for errors, omissions or judgment shall be limited to the cost of the service and report. This limitation shall include and apply to all bodily injury and property damages of any nature. No warranties or guarantees of any kind are given or implied with this inspection.

This Report includes a copy of the Louisiana State Board of Home Inspectors Standards of Practice and Code of Ethics. By reading or possessing this report you agree that you have read and understand the Standards of Practice and Code of Ethics and confirm that you have received copies of the documents as part of the report.

Thank you for choosing Acutec Home Inspectors for your inspection needs. I am here to serve your needs so if you have any questions, please feel free to contact me at (985) 290-8993.

## Summary

### General Information

1. **Other concern:** There was a licensed Termite Inspector present performing an evaluation of the property during this home inspection.

This home inspection does not include an evaluation or determination of termites, other insects or past/ present damage associated with.

There was a gas smell near the gas meter/ generator at the house during the inspection. It is recommended that a licensed plumber or the gas utility provider evaluate for leaks and determine the source of the gas smell.

### Property Grounds

2. **Driveway:** Concrete: Stucco structure at driveway entrance is damaged. There are cracks and gaps with rust and water damage visible. Further evaluation and repair by a qualified contractor is recommended.

Gaps and cracks with missing grout noted with tiled drive. Repairs should be made to prevent further damage.

Driveway has cracks with sections separating. Repairs may not be necessary, but monitor for further movement and the need for repairs in the future. Sealing cracks may help reduce movement.

Gutter downspouts may contribute to material deterioration. Redirecting water may help reduce further damage.

Cement curb was cut. Appears to be a water relief. This may indicate excessive water in this area.

3. **Grading:** Ground under the pool equipment support pad has dropped/settled. If concrete is left unsupported, movement or damage can occur. The pool plumbing may be in a bind and may require repair. This should be evaluated by a qualified contractor.
4. **Vegetation:** Vegetation near exterior sidings. This is a conducive condition for insects and moisture damage. Recommend keeping all plants 1 foot from structure.

Some areas of exterior and foundation are not visible and could not be evaluated.

5. **High soil:** High soil to foundation. The soil should be pulled away from the structure to prevent insect and moisture damage. Ideal conditions is having 4 or more inches of visible foundation.

Some areas of foundation were not visible and could not be evaluated.

6. **Trees:** Trees growing close to structure can cause damage to roof, siding and other components. Regular pruning required. A licensed arborist should evaluate trees close to the structure, trees that appear to be damaged and remaining trees for potential concerns.

Tree roots are close to the structure. This can be a concern if roots grow under the foundation. There are many large trees planted within 2-3 feet of the foundation. This should be evaluated by a licensed arborist to determine if proactive measures should be taken.

## Summary (Continued)

### Exterior

- 7. Siding:** Cracks noted in stucco siding. Cracks are typical with this type of material as shrinkage/ settlement can form cracks over time. There are also areas of damage around the exterior.
- A certain amount may be considered normal, but when there are excessive amounts or the cracks appear wider than "hairline" a qualified contractor should evaluate to determine true condition and necessary repairs.
- There are noted repairs and a few areas that appear to need repair or at least evaluation by a stucco expert. It is recommended that the structure is evaluated to determine if any immediate action is needed or could reduce further damage. Gaps between materials allows water entrance, which promotes damage to concealed material behind or below.
- Structures with stucco siding are difficult to fully evaluate during a standard Home Inspection, especially when painted, as this house has been. A qualified stucco expert/ inspector should be consulted for a full evaluation of condition of components.
- It is recommended that the seller be asked for details of any past or present damage and any repairs made to the structure.
- 8. Trim:** Damage and signs of repair visible in areas. Further evaluation recommended.
- 9. Patio Door:** The threshold at one or more doors is not properly supported. The threshold moves when stepped on. These will need repair and proper supports installed.
- 10. Window Screens:** One or more window screens are missing.
- 11. Exterior Lighting:** Some fixtures may be on timers, automatic or motion switches or may need bulbs replaced for further evaluation. All lights can not be verified as working properly at certain times of the day. Some fixtures were not visible from switch location and may require multiple people to test. Further evaluation required.
- The purpose of some switches were not identified during the inspection. They may control fixtures not visible from switch location or indicate fixtures that are not functioning properly. Recommend asking seller about each switch and it's use.
- 12. Porch / Patio:** Tiles have gaps at joints between components. These should be secure and sealed to prevent movement and damage.
- Gaps and cracks at all exterior surfaces should be sealed to prevent moisture penetration and damage.
- There is loose wood trim on ceiling of pool house living area (near fireplace). Repairs should be made to prevent further damage.
- 13. Deck:** The pool deck and surrounding structure has signs of cracks and repairs. There are heavy water stains visible near water feature. This area should be evaluated to determine the extent of damage and necessary repairs.

## Summary (Continued)

### Deck: (continued)

Handrails missing. Recommend having safety rails installed according to current standards.

- 14. Other concern:** Open gaps or seams noted, adding silicone/ caulk to open seams around the exterior can prevent moisture and insect entrance. It can also help reduce damage from high winds and rain getting behind materials. Areas typically included are when two different materials meet or change direction. These should be sealed to prevent insect and moisture from entering or damaging the structure.

Gaps exist at one or more openings around the exterior, such as those where outside faucets, refrigerant lines, and/or gas supply pipes penetrate the exterior. Gaps should be sealed as necessary.

- 15. Other concern:** Plumbing / drain pipes should have an elbow pointing down to prevent water from running under the pipe and back into the wall structure.

### Roof

- 16. Plumbing Vents:** PVC, Rubber boots, Lead boots-- Flashing does not rest tight to roof below. This area is prone to leak as water may travel up and under flashing. This metal should not be raised. There is daylight visible from underside in attic. Repairs should be made.

### Garage/Carport

- 17. Garage Ceiling:** Evidence of past or present water staining on ceiling. Further evaluation required.  
**18. Garage Walls:** Signs of past or present water leakage. Further evaluation recommended.  
**19. Garage Floor/Foundation:** Evidence of water entrance on garage flooring. Further evaluation and actions recommended to prevent water from entering structure.

### Electrical

- 20. 240 VAC Branch Circuits:**

### Structure

- 21. Bearing Walls:** Wood frame-- There are cracks in walls in more than one area. The door in this area is difficult to close and sticks in jamb. These may be an indication of structural movement or damage. A licensed contractor should evaluate for the cause, extent of damage and necessary repairs.  
**22. Beams:** The visible beam in garage, below bedroom upstairs, appears to sag in the center. With the visible cracks in drywall and the door casing that is out of square above, this should be evaluated further by a licensed contractor.

There appears to be signs of repair or paint to components in this area.

### Air Conditioning /Heat

- 23. AC System Exterior Unit:** Raised structure-- The structure has visible damage to stucco and metal components with heavy rust buildup in gaps. Further evaluation and repairs are recommended.

Units on raised platforms should be secured to platform to prevent movement of equipment. Some local standards as well as many insurance policies are now requiring raised units to be secured. It

## Summary (Continued)

### Exterior Unit: (continued)

could not be verified that these were or were not secured to structure.

**24. AC System Overflow Pan:** Pan has rust from past water. System should be serviced and evaluated by an HVAC technician.

**25. AC System Refrigerant Lines:** Torn or missing insulation on freon line. Water dripping from line promotes damage to material below. There is water damage to structure below. These pipes should be insulated as much as possible.

## Fireplace

**26. Master bedroom Fireplace Flue:** Metal-- Minimum clearance to combustible materials does not appear to be sufficient. Recommend further evaluation and corrective actions taken. The pipe indicated a 1" min clearance. The spray foam is in contact. A professional installer should evaluate further for concerns.

## Plumbing

**27. Service Line:** Copper-- Exposed pipes should be insulated.

**28. Water Lines:** Plastic, Copper-- Exposed pipes are vulnerable to freezing and damage. All exterior pipes should be insulated.

**29. Attic over living area Water Heater Water Heater Operation:** Functional at time of inspection-- There is surface rust and paint peeling on the water heater and in the pan. There are no signs of water leaks at the time of inspection. This may be from a past water leak, but the cause is unknown. Further evaluation by a licensed plumber is recommended.

**30. Attic over living area, garage side Water Heater Other concern:** Water pumps/ tanks and pipes should be protected from elements. UV rays and extreme temperatures can cause damage to components. Electrical devices should be protected from the elements with proper weather rated components when necessary.

## Bathroom

**31. Pool House Bathroom Walls:** Moisture damage visible at shower surround. Repairs should be made.

**32. Pool House Bathroom Electrical:** One or more outlets has no power. This GFCI is tripped and will not reset. Further evaluation by a licensed electrician required.

**33. Pool House Bathroom Toilets:** The toilet is loose to the floor and should be tightened and then secured with silicone to prevent movement, water leaks and damage. Wax ring may require replacing. Although others may appear tight, all should be checked by a qualified plumber.

**34. 1st floor near bedrooms Bathroom Walls:** Evidence of past or present water leakage with damage to material. Further evaluation by a licensed contractor to determine the cause (appears to be from shower curtain leakage), extent of damage and necessary repairs is recommended.

**35. 1st floor near bedrooms Bathroom Electrical:** It is recommended that electrical fixtures over the shower or tub be GFCI protected for safety purposes. This is a current standard found in new construction homes in some areas and can be added for additional safety benefits in older homes. Fixtures did not appear to be protected. Further evaluation recommended.

**36. 1st floor near bedrooms Bathroom Shower/Surround:** Loose or missing grout. The grout/caulk at the seams has split open leaving a small gap. Moisture can enter and damage materials if not sealed tight. Any recent leaks or damage was not visible during home inspection and would require a

## Summary (Continued)

### Shower/Surround: (continued)

licensed contractor to evaluate. Re-grout all areas necessary. Silicone should be used in corners to help prevent cracking.

Some tiles are not aligned straight. There may have been damage or repair at this location.

- 37. Master Bathroom Electrical:** Non-GFCI circuit within 6 foot of water. GFCI outlets should be installed as safety devices.

It is recommended that electrical fixtures over the shower or tub be GFCI protected for safety purposes. This is a current standard found in new construction homes in some areas and can be added for additional safety benefits in older homes. Fixtures did not appear to be protected. Further evaluation recommended.

- 38. Master Bathroom Sink/Basin:** Top mounted sink bowl spins/ moves when tested. This bowl should be secure tight to prevent leaks and damage.
- 39. Master Bathroom Tub/Surround:** Surface mounted tub moves freely. It should be secured tight to prevent movement, leaks and damage.
- 40. Master Bathroom Shower/Surround:** Loose or missing grout. The grout/ caulk at the seems has split open leaving a small gap. Moisture can enter and damage materials if not sealed tight. Any current leaks or damage was not visible during home inspection and would require a licensed contractor to evaluate. Re-grout all areas necessary. Silicone should be used in corners to help prevent cracking.
- 41. 1st floor main, near laundry Bathroom Electrical:** It is recommended that electrical fixtures over the shower or tub be GFCI protected for safety purposes. This is a current standard found in new construction homes in some areas and can be added for additional safety benefits in older homes. Fixtures did not appear to be protected. Further evaluation recommended.
- 42. 1st floor main, near laundry Bathroom Faucets/Traps:** Shower valve plates and tub spouts should have silicone at base to prevent water damage to walls. Check all bathrooms.
- 43. 1st floor main, near laundry Bathroom Shower/Surround:** Loose or missing grout. The grout/ caulk at the seems has split open leaving a small gap. Moisture can enter and damage materials if not sealed tight. Any current leaks or damage was not visible during home inspection and would require a licensed contractor to evaluate. Re-grout all areas necessary. Silicone should be used in corners to help prevent cracking.
- 44. 1st floor main, near laundry Bathroom Toilets:** The toilet is loose to the floor and should be tightened and then secured with silicone to prevent movement, water leaks and damage. Wax ring may require replacing. Although others may appear tight, all should be checked by a qualified plumber.
- 45. 2nd floor Bathroom Walls:** Evidence of past or present water leakage with damage to material. Further evaluation by a licensed contractor to determine the cause (appears to be from shower curtain leakage), extent of damage and necessary repairs is recommended.
- 46. 2nd floor Bathroom Faucets/Traps:** Handle spins freely on valve stem. The valve opened and closed during testing, but the handle need repair.
- 47. 2nd floor Bathroom Shower/Surround:** Loose or missing grout. The grout/ caulk at the seems has split open leaving a small gap. Moisture can enter and damage materials if not sealed tight. Any current leaks or damage was not visible during home inspection and would require a licensed contractor to evaluate. Re-grout all areas necessary. Silicone should be used in corners to help

## Summary (Continued)

### Shower/Surround: (continued)

prevent cracking.

### Kitchen

- 48. Main Kitchen Dishwasher:** Appeared functional when tested on normal setting at the time of inspection. The plastic facing near handles is cracked. Appears functional.
- 49. Main Kitchen Refrigerator:** There was no ice at the door during the evaluation. The water dispenser appeared functional.
- 50. Pool House Kitchen Cooking Appliances:** The oven/cooktop was nonfunctional at the time of inspection. There appeared to be gas present to the unit, but there was no spark at burners and the light did not function. Further evaluation recommended.

The grill appeared to function when tested using a burner. There was a visible flame.

- 51. 2nd Floor Media Room Kitchen Refrigerator:** The refrigerator/cooler outlet is powered by a GFCI outlet. The compressor can trip the GFCI during normal use causing the refrigerator to lose power. Refrigerators should be on a circuit without GFCI protection.

### Laundry Room/Area

- 52. Laundry Room/Area Laundry Tub:** Sink is loose to counter top. It should be secure and sealed at lip to prevent water leaks and damage.

### Interior Living Space

- 53. Living Space Ceiling:** Evidence of past or present water staining on ceiling. Further evaluation required.
- 54. Living Space Walls:** Evidence of past or present water leakage. Further evaluation by a licensed contractor to determine the cause, extent of damage and necessary repairs is recommended.
- 55. Living Space Floor:** Transition trim is loose between different flooring materials in areas. Repairs should be made.

Floor tiles and wood planks have a hollow sound. This is indicative of improper installation or separation of the material for various reasons. Cracks may form over time from normal use and material movement. A professional installer should be consulted for additional information.

- 56. Living Space Other concern:** Step tread boards do not lay flat on one or more steps. The cause was not determined, further evaluation recommended.
- 57. Living Space Other concern:** Mold or similar growth is likely to be present and may be a potential health concern. Areas where moisture stains, water damage or water leaks are suspected, growth is likely and should be evaluated for concerns.

Removal and/or correction is recommended. The details of the growth are unknown and beyond the scope of this home inspection.

According to the EPA, mold is present everywhere. Removing the source of moisture is key to resolving ongoing problems.

## Summary (Continued)

### Attic

**58. Attic Some areas:** Some areas were not accessible. These areas had insufficient walkways, flooring, headroom or other objects preventing full evaluation. Some components could not be fully evaluated, such as proper ventilation of interior exhaust, HVAC, electrical and plumbing components to name a few. A further evaluation may be necessary, after all personal and other items are removed.

Damaged or inadequate decking present. Repairs and removal of some components may be necessary. Further evaluation recommended.

**59. Attic Insulation:** Spray Foam, Loose pieces on ceiling -- Spray Foam insulation is present. Evaluating the product, method installed or adverse conditions related are beyond the scope of this inspection. It is suggested that research and an evaluation be performed by a qualified professional for more information.

There are areas that appear to have been modified or improperly installed and some that appear to have loose or deteriorated foam. There are areas that are not sealed and may negate the affect of the spray foam and possibly even create unfavorable conditions. A qualified spray foam inspector should evaluate the system for proper installation, performance and necessary improvements.

**60. Attic Wiring/Lighting:** Open junction boxes should have covers to prevent electrical and fire hazards.