

ENGINEERING EVALUATION

200 Legendre Drive
Slidell, LA 70458

Prepared for:

Mr. Raymond Williams, Jr.
3330 Pontchartrain Drive
Slidell, LA 70458

Prepared by:

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February 27, 2011

Inspection No.: 2011-026
Date of Inspection: February 21, 2011
Engineer: Daniel T. Dormady, P.E.

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SUMMARY

For your convenience, we have prepared the following summary our findings regarding the condition the building. Please refer to the appropriate section of this report for a more detailed discussion.

1. The fire did not appear to structurally compromise the foundation system including the raised concrete slab, the perimeter CMU walls and the steel beams and support columns.
2. The fire did not appear to structurally compromise the kitchen, den, laundry room and the right rear addition.
3. The fire did not structurally compromise the rear deck.
4. The fire structurally damaged and compromised the roof structure on the original part of the home.
5. The fire structurally damaged and compromised the front porch structure including the front porch roof structure.
6. The fire structurally damaged and compromised the ceiling joists in the left front bedroom, left rear bedroom, living room, foyer, dining room, breakfast area, 2nd floor hallway, 2nd floor office, 2nd floor bedroom, 2nd floor bathroom, 2nd floor storage room, and 2nd floor closets..
7. The fire structurally damaged and compromised the wood wall studs in the left front bedroom, left rear bedroom, living room, foyer, 2nd floor hallway, 2nd floor office, 2nd floor bedroom, 2nd floor storage room, 2nd floor bathroom, and 2nd floor closets.
8. Based on our review, in our opinion, the Bankers repair cost estimate is insufficient to restore the home to the pre-fire conditions. Given the amount of water damage that occurred during the fire suppression activities in the non-fire damaged portions of the home, the Wolfman estimate appropriately considers these related damages in its estimate.

INTRODUCTION

At your request a **limited** engineering evaluation of the above property was performed on February 21, 2011. The report that follows has been prepared based on that inspection. The primary purpose of the evaluation and this report is to evaluate the extent of the structural damage as a result of a fire that occurred on November 7, 2010. This evaluation was performed by and report written by Daniel T. Dormady, P.E. For your interest, a copy of Mr. Dormady's resume is attached. The weather at the time of the inspection was partly cloudy and the temperature was in the 60s.

This written report is the complete response to your request for an inspection of this property and should be read in full. It supersedes any discussions that may have occurred during the inspection. If you have any questions about this report or our inspection, please call our office immediately for clarification.

This inspection report is limited to observations made from visual evidence. Limited destructive or invasive inspections were performed. The report is not to be considered a guarantee of condition and no warranty is implied.

For your reference while reading the report that follows, the following definitions may be helpful:

- Average* - Average compares the item to what is typical for construction in the geographic area in which the inspection occurs. It also compares it to buildings of similar age and construction type. Since construction practices vary from region to region, average is intended to be region specific.
- Excellent* - Component or system is in "as new" condition, requiring no rehabilitation, and should perform in accordance with expected performance.
- Good* - Component or system is sound and performing its function, although it may show signs of normal wear and tear. Some minor rehabilitation work may be required.
- Fair* - Component or system falls into one or more of the following categories: a) Evidence of previous repairs not in compliance with commonly accepted standards, b) Workmanship not in compliance with commonly accepted standards, c) Component or system is obsolete, d) Component or system approaching end of expected performance. Repair or replacement is required to prevent further deterioration or to prolong expected life.
- Poor* - Component or system has either failed, or cannot be relied upon to continue performing its original function as a result of having exceeded its expected performance, excessive deferred maintenance, or state of disrepair. Present condition could contribute or cause the deterioration of other adjoining elements or systems. Repair or replacement is required.

All ratings are determined by comparison to other buildings of similar age and construction type. Further, some details of workmanship and materials will be examined more closely in higher quality homes where such details of workmanship and materials typically become more relevant.

Construction quality is evaluated based on adherence to use of standard construction materials and practices. Standard construction practices represent what is commonly accepted (i.e., typical) in terms of quality of materials and workmanship for construction of similar quality homes in the geographic region where the property is located.

Attached are the actual inspection field notes, which contain additional information. These should be considered part of the overall evaluation and report.

As Professional Engineers, it is our responsibility to evaluate available evidence relevant to the purpose of this inspection. We are not, however, responsible for conditions that could not be seen or were not within the scope of our service at the time of the inspection.

DESCRIPTION

This subject building is a one and one-half-story single-family home. The home was a conventional wood-framed structure that was constructed on a concrete slab on grade foundation. The entire home and foundation slab has been raised and supported on concrete masonry unit (CMU) walls with interior steel columns and beams. The exterior walls are covered with brick veneer, stucco and wood siding. The roof surface was covered with asphalt composition shingles. The home was severely damaged by a fire and was vacant at the time of this inspection. For the purpose of this inspection and report, the front of the home will be considered to face to the west.

For purposes of this report, all directions (left, right, rear, etc.) are taken from the viewpoint of an observer standing in front of the building and facing it.

INVESTIGATION

Background

Mr. Williams reported that the home was originally constructed in 1968 and that he purchased the home in 2000-2001. The home was raised to the current elevation prior to Hurricane Katrina by the previous homeowner. The floodwater from Hurricane Katrina in August 2005 was reported to be approximately 9 feet, which was below the first floor elevation of the house. The roof surface was replaced in 2006 due to wind damage from Hurricane Katrina.

Mr. Williams reported that the fire occurred to the home on November 7, 2010, and that the fire most likely started in the master bedroom at the left side of the house.

This investigation and evaluation was performed by interviewing the homeowner, reviewing the insurance adjuster's report dated December 1, 2010, the engineer's report dated January 19, 2011, the contractor's repair cost estimate dated January 25, 2011, and by performing a site inspection on February 21, 2011.

Observations

The following observations were made during the site inspection on February 21, 2011:

Exterior and Roof

- The roof on the home over the front (west) and left side (north) were completely burned and destroyed by the fire. The roof has collapsed in these areas.
- The roof above the front porch was completely burned and destroyed by the fire.
- The soffit and fascia was burnt and charred on the west, east, south and north sides of the original home.

- The exterior finishes and the soffit and fascia did not appear to be damaged on the addition at the right rear of the house.
- The roof on the front porch was completely burned and destroyed by the fire.
- The front deck framing was burnt and damaged, more heavily on the north end of the porch.
- The support columns and hand railing are missing at the north end of the front porch.
- The wood siding did not appear to be damaged on the east side of the original home.
- The French doors on the front (west) of the home were burnt and charred. The glass was missing in these doors.
- The French doors on the rear of the home were burnt and charred.
- The brick veneer was discolored at the left front corner of the house.
- Broken glass panes were observed in the windows on the west, north and south sides of the home.
- The stairs and hand railing to the front porch are charred and the hand railing is broken and lying on the ground.
- The end section of the hand railing is broken and leaning against the rear of the house.
- There was no visible damage to the rear (east) deck structure and deck boards.

Foundation

- No visible damage such as deformation or warping was observed to the structural steel beams and columns that support the home.
- No visible damage such as discoloration or spalling was observed to the bottom of the concrete slab. The top side of the slab was not visible due to the presence of the interior floor finishes, which were intact, and is an indication that the heat of the fire did not affect the concrete slab.
- No visible damage was noted to the perimeter CMU foundation walls.
- No visible damage was noted to the brick masonry front porch support columns.

Interior

Bedroom at Left Rear of 1st Floor

- The drywall on the ceiling of this bedroom was missing and the ceiling joists are burnt and badly damaged. The extent of the ceiling joist damage is such that the joists are missing near the north wall and the damage is deep into the remaining ceiling joists.

- Part of the drywall is missing on the west and north walls of this room. The exposed wall studs are severely burnt and probing indicated that this goes deep into the wood.
- The walls and doors in this bedroom are soot stained.
- The beam and wall studs visible through the ceiling joists on the north end of the 2nd floor of the home are badly burnt and damaged.
- The back side of the brick veneer that was visible on the north wall is charred.

Bathroom at Left Rear of 1st Floor

- There are heavy soot stains on the wall paper on the walls and on the drywall on the ceiling. The soot is also covering the floor, vanity, toilet and bathtub.
- Because the interior finishes were still in tact, the structural members in this room were not visible for inspection.

Bedroom at Left Front of 1st Floor

- The drywall on the ceiling of this bedroom was missing and the ceiling joists are burnt and badly damaged. The extent of the ceiling joist damage is such that the majority of the ceiling joists are missing. The damage is deep into the remaining few ceiling joists.
- Part of the drywall is missing on the west and north walls of this room. The exposed wall studs are severely burnt and probing indicated that this goes deep into the wood.
- The beam and wall studs visible through the missing ceiling joists on the north and west sides of the 2nd floor of the home are badly burnt and damaged.
- The walls and doors in this bedroom are soot stained.
- The French doors on the west wall of this bedroom are burnt and badly damaged. The glass is missing.

Living Room

- The majority of the drywall on the ceiling of this room was missing, primarily across the front of the house and the exposed ceiling joists are burnt and badly damaged. The damage is deep into the ceiling joists that are visible such that portions of the ceiling joists are missing.
- There are sections of missing drywall on the west wall of this room exposing some of the wall studs. The studs that are visible are burnt and probing revealed that the damage goes deep into the wood of some of the studs.
- The French doors are charred at the top of the doors and the glass is broken in the doors.
- There are soot stains on the remaining drywall on the walls and ceiling in this room.

Hall Bathroom

- There are soot stains on the wall paper on the walls and on the drywall on the ceiling. The soot is also covering the floor, vanity, toilet and bathtub.
- Because the interior finishes were still in tact, the structural members in this room were not visible for inspection.

Foyer

- The drywall on the ceiling of this area was missing and the ceiling joists are burnt and badly damaged. The extent of the ceiling joist damage was deep into the wood.
- The drywall is missing on the west wall of this area exposing the wall studs. The studs that are visible are burnt and probing revealed that the damage goes deep into the wood.
- The front door on the west wall in the foyer was charred at the top of the door and the doorframe. The glass was missing in the door.
- The remaining drywall on the walls of the foyer were soot stained.

Dining Room

- The drywall on the ceiling of the dining room was missing and the ceiling joists are burnt and badly damaged. The extent of the ceiling joist damage was deep into the wood.
- Because the interior finishes were still in tact on the walls of the dining room, the wall studs were not visible for inspection.
- The drywall on the walls of the dining room were soot stained.
- The French doors on the west wall of the dining room are burnt and damaged. The glass was missing in the doors.

Kitchen

- The drywall on the ceiling and the wall in the kitchen were in tact. As a result, no inspection of the wall studs or the ceiling joists could be performed.
- The drywall on the walls and ceiling of the kitchen were soot stained.
- The kitchen cabinets and appliances are in tact; however, they are soot stained.

Breakfast Area

- Approximately 50% of the drywall is missing on the ceiling in the breakfast area exposing the ceiling joists.

- Some of the ceiling joists area burnt and damaged. The extent of the ceiling joist damage was deep into the wood.
- The drywall on the walls of the breakfast area is still in tact. As a result, no inspection of the wall studs could be performed.
- The roof rafters and roof decking that were visible through the ceiling joists in the breakfast area appeared to be badly burnt and damaged.
- The drywall on the walls and the remaining part of the ceiling in the breakfast area were soot stained.

Den

- The wood finishes on the walls and the ceiling of the den were not visibly burnt or charred. However, there are soot stains on the wood finishes on the walls and ceilings.
- There are water stains on the wood ceiling and on the wood ceiling beams.

Laundry Room

- The drywall on the walls and ceiling of the laundry room is still in tact. As a result, no inspection of the wall studs and ceiling joists could be performed.
- The drywall on the walls and ceiling of the laundry room were soot stained.

Right Rear Addition

- The drywall on the ceiling and the walls in the addition were in tact. As a result, no inspection of the wall studs or the ceiling joists could be performed.
- The drywall on the walls and ceiling of the addition were soot stained. No evidence of charring was noted on the wood ceiling area or wood beams.
- The drywall on the walls and ceiling and the wood ceiling area of the addition were soot stained.
- The bathroom cabinets and fixtures are soot stained.
- A waterline mark was visible on the baseboard trim that was about 2 inches above the floor, most likely from the fire suppression activities.

2nd Floor Office (north end)

- The majority of the drywall on the ceiling of this room was missing, and the exposed ceiling joists are burnt and badly damaged. The damage is deep into the ceiling joists such that portions of the ceiling joists are missing.

- The drywall is missing on the west wall of this room (closet) exposing the wall studs. The wall studs are burnt and probing revealed that the damage goes deep into the wood.
- The drywall is still in tact on the north, east and south walls of this room, and as a result, the wall studs were not visible for inspection.
- There are heavy soot stains on the drywall on the remaining walls in this room.
- The roof rafters and roof decking that were visible through the ceiling joists in this room appeared to be badly burnt and damaged. The roof rafters are missing on the west roof area.

2nd Floor Storage Room (north end)

- The drywall on the sloped ceilings of this room was missing, and the exposed roof rafters and roof decking are burnt and badly damaged. The damage is deep into the rafters and decking.
- The drywall is missing on the walls of this room exposing the wall studs. The wall studs are badly burnt and probing revealed that the damage goes deep into the wood.

2nd Floor Hallway

- The drywall on the ceiling of the 2nd floor hallway was missing, and the exposed ceiling joists are burnt and badly damaged. The damage is deep into the ceiling joists.
- The wall studs are also badly burnt and damaged.
- The roof rafters and roof decking visible through the ceiling joists are burnt and badly damaged. The roof has collapsed on top of the ceiling joists.
- The exterior door and doorframe is partially missing.

2nd Floor Bedroom (south end)

- The drywall on the ceiling of this bedroom was missing, and the exposed ceiling joists are burnt and badly damaged. The damage is deep into the ceiling joists.
- The drywall is still in tact on the walls of this bedroom, and as a result, the wall studs were not visible for inspection. However, from the closet side of the walls, the studs are burnt and damaged.
- There are heavy soot stains on the drywall on the walls in this room.

2nd Floor Bedroom Closet (south end)

- The roof structure above this closet was mostly gone. The drywall in the closet was missing. The remaining structural members are badly burnt and damaged.
- The remaining wall studs are burnt and probing revealed that the damage goes deep into the wood.

2nd Floor Hall Bathroom

- The drywall on the ceiling of the 2nd floor hall bathroom was missing, and the exposed roof rafters and roof decking are burnt and badly damaged. The damage is deep into the rafters and decking. Some of the ceiling joists are missing and the roof collapsed on top of the remaining ceiling joists.
- The drywall and ceramic tile surrounds are still mostly in tact, preventing an inspection of the stud walls in the 2nd floor hall bathroom. However, from the attic side of these walls, the wall studs appear to be similarly burnt and damaged.

Attic

- The attic was not accessible for direct inspection due to the severely damaged condition of the structure.
- As discussed throughout the report, the roof rafters and roof decking is severely damaged throughout the majority of the house.

Document Reviews

The engineering report prepared by Rimkus Consulting Group, Inc. dated January 19, 2011 was reviewed. The conclusions reached by this report appear to be consistent with our findings. However, we identified a number of apparent inconsistencies and possible typographical errors in the report. The number of errors observed may be an indication that there are other problems with the accuracy and quality of the report.

The property claim estimate prepared by Bankers Specialty Insurance Company, dated December 1, 2010 was reviewed. This repair cost estimate was performed using a Remove-Replace methodology for each damaged item. This repair cost estimate was for a total of \$245,989.82.

The repair cost estimate prepared by Wolfman Construction, dated January 25, 2011 was reviewed. This repair cost estimate was prepared using a complete demolition first, then a reconstruction methodology for each damaged part of the house. This repair cost estimate was for a total of \$447,456.72.

A general evaluation of the values between the two repair cost estimates was performed and the following comments are provided:

1. The cost allowance for the structural repairs required to be complete at the home appear to be similar in both repair cost estimates.
2. The Wolfman Construction repair cost estimate includes costs for a number of “general condition” type items such as dumpsters, storage pods, temporary fencing, site clean up, and supervision.
3. The total square footage estimate for the roof area in the Bankers estimate is 23% less than the Wolfman estimate.
4. The Bankers estimate provides for repair and repainting of some of the French doors that are severely damaged. The Wolfman estimate provides for replacement of the French doors.
5. The Bankers estimate often leaves out the replacement costs for such things as some of the light fixtures, low-voltage wiring such as CATV wiring and the phone wiring, thermostats, and the doorbell.
6. The Wolfman estimate includes the replacement costs for a number of custom materials on the front porch such as columns, corbels and dental molding. These are not in the Bankers estimate.
7. The amount of brick veneer to be replaced in the Wolfman estimate is about 2x the amount in the Bankers estimate. The Bankers estimate assumes the brick veneer on the north side of the house can be cleaned, not replaced.
8. The Bankers estimate includes a small cost allowance for replacement in the 2nd floor hall bathroom only. The Wolfman estimate includes full replacement of the plumbing vent and drain piping and the water distribution piping.
9. The Wolfman estimate includes replacement of the high-end kitchen cabinets, countertops and appliances, which are not included in the Bankers estimate. The Wolfman estimate also includes the cabinets and the countertop in the breakfast area.
10. The painting and sealing of the interior walls and ceilings provides for 3 coats in the Wolfman estimate and only 2 coats in the Bankers estimate.
11. The Wolfman estimate includes significant repair costs for the den and stairway including replacement of the wall and ceiling finishes, the stairs, the slate flooring, cabinets and the fire place. The Bankers estimate contains notes that this part of the house only had “light smoke and some water damage.” Based on our observations, this is not correct. Wolfman’s estimate is appropriate based on the physical evidence observed.
12. The Wolfman estimate includes complete renovation of the left rear bathroom on the 1st floor whereas the Bankers estimate only calls for cleaning and painting.
13. The Wolfman estimate includes complete renovation of the rear entry and the laundry room whereas the Bankers estimate only calls for cleaning and painting.
14. The Wolfman estimate includes complete renovation of the master bedroom and bathroom addition at the right rear due to water damage whereas the Bankers estimate provides no repair costs for this part of the house.

15. The Wolfman estimate provides for two heating and air conditioning system replacements whereas the Bankers estimate only includes one system replacement.

Based on our review, in our opinion, the Bankers repair cost estimate is insufficient to restore the home to the pre-fire conditions. The Wolfman repair cost estimate is substantially more than the Bankers estimate; however, it appears to be much closer to what it will cost to restore the home to the pre-fire conditions. Given the amount of water damage that occurred during the fire suppression activities in the non-fire damaged portions of the home, the Wolfman estimate appropriately considers these related damages in its estimate.

Evaluation

The fire did not appear to structurally compromise the foundation system including the raised concrete slab, the perimeter CMU walls and the steel beams and support columns. No visual evidence was observed to suggest damage to these components.

The fire also did not appear to structurally compromise the kitchen, den, laundry room and addition. No significant damage was visible to the interior finishes in these room that would indicate structural damage to the floors, walls and ceilings.

The fire did not structurally compromise the rear deck.

The fire structurally damaged and compromised the roof structure on the original part of the home. The extent of the visible damage will require complete replacement of the roof structure.

The fire structurally damaged and compromised the front porch structure including the porch roof structure. The extent of the visible damage will require complete replacement of the front porch structure.

The fire structurally damaged and compromised the ceiling joists in the left front bedroom, left rear bedroom, living room, foyer, dining room, breakfast area, 2nd floor hallway, 2nd floor office, 2nd floor bedroom, 2nd floor bathroom, 2nd floor storage room, and 2nd floor closets.. The extent of the damage to these areas will require complete replacement.

The fire structurally damaged and compromised the wood wall studs in the left front bedroom, left rear bedroom, living room, foyer, 2nd floor hallway, 2nd floor office, 2nd floor bedroom, 2nd floor storage room, 2nd floor bathroom, and 2nd floor closets. The extent of the damage to these areas will require complete replacement.

There was evidence of heat and smoke damage from the fire and water damage from the fire suppression activities that caused extensive damage to the contents and the interior finishes and fixtures throughout the home.

The structural integrity of the fire-damaged portion of the home can be restored by using conventional construction and restoration techniques. However, given the extent of the fire damaged areas, in our opinion, to cost to repair the fire-damaged portion of the home may exceed a complete rebuild of the home.

Limitations

The inspection was based on a visual examination of the property, an interview with the homeowner, and a review of the documentation provided to us. No plans and material specifications were available for review. No materials were removed and no tests were performed.

Our evaluation of this structure is based on many indirect observations. We cannot see most of the framing. We look for cracks, bulges and other evidence of distress or deterioration to help us evaluate the condition. As with any limited inspection, it is possible that there are structural deficiencies that cannot be known.

CONCLUSIONS and RECOMMENDATIONS

Based on the site inspection performed and the information available at this time, the following conclusions and recommendations are provided:

1. The structural fire severely damaged a significant portion of the home. The structural integrity of the fire-damaged portion of the home can be restored by using conventional construction and restoration techniques. However, given the extent of the fire damaged areas, in our opinion, to cost to repair the fire-damaged portion of the home may exceed a complete rebuild of the home.
2. The Bankers Insurance repair cost estimate is insufficient to restore the home to the pre-fire conditions.
3. The Wolfman repair cost estimate is substantially more than the Bankers estimate; however, it appears to be much closer to what it will cost to restore the home to the pre-fire conditions. Given the amount of water damage that occurred during the fire suppression activities in the non-fire damaged portions of the home, the Wolfman estimate appropriately considers these related damages in its estimate.

This report has been prepared in strict confidence with you as our client. No reproduction or re-use of this report for the benefit of others is permitted without expressed written consent, except as may be required by Louisiana real estate regulation. Further, except as required by real estate regulation, we will not release this report to anyone without your permission.

Many things have been discussed in this report. However, we realize that there may still be other things of interest to you that have not been discussed. Therefore, we encourage you to call with any additional questions you may have.

We reserve the right to amend our report at any time should new, relevant information be presented. Thank you for the opportunity to be of assistance to you.

Sincerely,

Daniel T. Dormady, P.E.
President

DTD/dtd
Enclosures

APPENDIX A

APPENDIX B

List of References

1. Structural Evaluation report for 200 Legendre Drive prepared by Rimkus Consulting Group, Inc., dated January 19, 2011
2. Insurance Adjusters repair cost estimate for 200 Legendre Drive prepared by Bankers Specialty Insurance Company, dated December 1, 2010.
3. Repair cost estimate for 200 Legendre Drive prepared by Wolfman Construction, dated January 25, 2011.

APPENDIX C

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
West elevation
view

Photo Number
1



Description:
South elevation
view

Photo Number
2

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
South elevation
view of the right
rear addition

Photo Number
3



Description:
East elevation
view of the right
rear addition

Photo Number
4

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
East elevation
view

Photo Number
5



Description:
Rear deck

Photo Number
6

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Damage visible to
rear soffit and
brick veneer

Photo Number
7



Description:
Left front corner of
the house; roof
collapsed, porch
damaged, and
structural damage
visible on the 1st
and 2nd floors

Photo Number
8

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Underneath the
front porch; fire
damage visible

Photo Number
9



Description:
Bottom of the
concrete slab and
the steel support
structural
members; no signs
of fire damage

Photo Number
10

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Bottom of the concrete slab and the steel support structural members; no signs of fire damage

Photo Number
11



Description:
Rear deck and right rear addition; no fire damage visible

Photo Number
12

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
East elevation of
the house; fire
damage visible

Photo Number
13



Description:
Severely fire
damaged roof
structure on front
porch

Photo Number
14

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Fire damaged
French doors on
the front porch

Photo Number
15



Description:
Fire damaged front
porch

Photo Number
16

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Right rear addition
bedroom

Photo Number
17



Description:
Laundry room

Photo Number
18

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Kitchen

Photo Number
19



Description:
Example of soot
and water damage
to north kitchen
wall

Photo Number
20

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Breakfast area

Photo Number
21



Description:
Breakfast area
ceiling; fire
damaged roof
structure visible
through the ceiling
joists

Photo Number
22

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Den

Photo Number
23



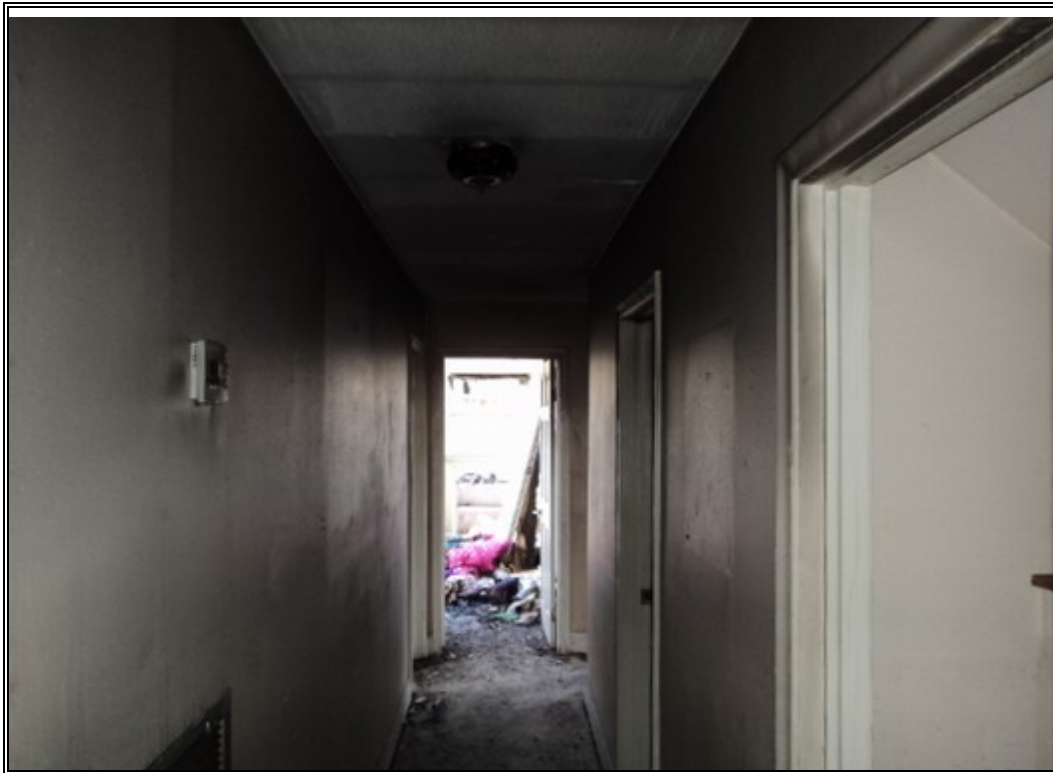
Description:
Water and soot
damage on den
ceiling wood finish
and beam

Photo Number
24

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
1st floor hallway
looking north

Photo Number
25



Description:
1st floor hall
bathroom

Photo Number
26

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:

1st floor left rear
bedroom

Photo Number

27



Description:

Ceiling in 1st floor
left rear bedroom

Photo Number

28

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
North wall and
ceiling in 1st floor
left rear bedroom

Photo Number
29



Description:
North 2nd floor
wall visible
through the 1st
floor left rear
bedroom ceiling

Photo Number
30

Location:
200 Legendre Drive
Slidell, LA

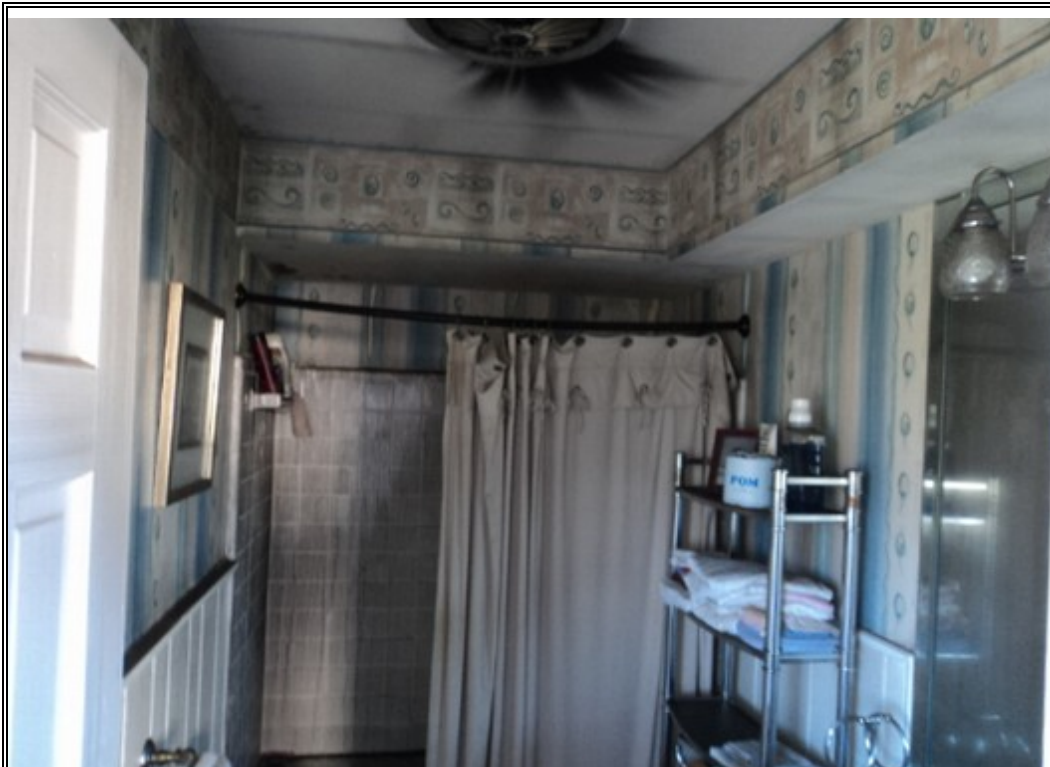
Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
North 2nd floor
wall visible
through the 1st
floor left rear
bedroom ceiling

Photo Number
31



Description:
Left rear bathroom

Photo Number
32

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
1st floor left front
bedroom

Photo Number
33



Description:
1st floor left front
bedroom

Photo Number
34

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
North and west 2nd
floor walls visible
through the 1st
floor left rear
bedroom ceiling

Photo Number
35



Description:
Living room on 1st
floor

Photo Number
36

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Living room on 1st
floor

Photo Number
37



Description:
Foyer at front door

Photo Number
38

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Dining room on 1st
floor

Photo Number
39



Description:
Dining room
ceiling

Photo Number
40

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
Top of the stairs on
the 2nd floor
looking south

Photo Number
41



Description:
2nd floor office on
left end

Photo Number
42

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:

2nd floor closet in
office area at the
front of the house

Photo Number

43



Description:

2nd floor storage
room at the north
end of the house

Photo Number

44

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
2nd floor storage
room at the north
end of the house

Photo Number
45



Description:
2nd floor bedroom
on the south end of
the house

Photo Number
46

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:
2nd floor south
bedroom ceiling

Photo Number
47



Description:
2nd floor south
bedroom closet at
the right front
corner of the house

Photo Number
48

Location:
200 Legendre Drive
Slidell, LA

Photo Taken by:
Dan Dormady, P.E.

Date:
February 21, 2011



Description:

2nd floor hallway;
collapsed roof
structure visible
through the ceiling
joists

Photo Number

49



Description:

2nd floor hallway;
fire damaged wall
and door on the
west wall

Photo Number

50

PROFESSIONAL QUALIFICATIONS AND EXPERIENCE

DANIEL T. DORMADY, P.E.

Area of Expertise

Dan Dormady is a degreed Mechanical Engineer with a diverse background of experience. During the past 30 years, his experience has ranged from the inspection of individual homes and industrial facilities to the management of complex multi-million dollar engineering and construction projects.

As the President of Criterium - Dormady Engineers, he is responsible for the development and management of the firm. He is actively involved in serving clients in need of residential and commercial building inspections, investigative engineering, structural inspections, and maintenance planning.

Qualifications

Before establishing his own firm in 2002, Mr. Dormady was a senior manager with Entergy. Positions included Engineer, Maintenance Superintendent at Waterford 3, Manager, Design Engineering and Manager, Plant Engineering at River Bend Station, and Manager, Business Development. Mr. Dormady was responsible for direction of design and analysis for mechanical and civil/structural aspects of plant as well as estimating, budgeting, cost control, work management and personnel issues for the various groups of engineers. Mr. Dormady has extensive experience with design of mechanical systems well as modifications and repairs to those systems. He has managed a total of 60 engineers.

Education

Mr. Dormady received his Mechanical Engineering degree from Rensselaer Polytechnic Institute in 1981. He has a Masters of Business Administration from Louisiana State University in 1999. He has been a Licensed Professional Engineer in the State of Louisiana since 1988. He is a member of the National Society of Professional Engineers, and the Louisiana Engineering Society.