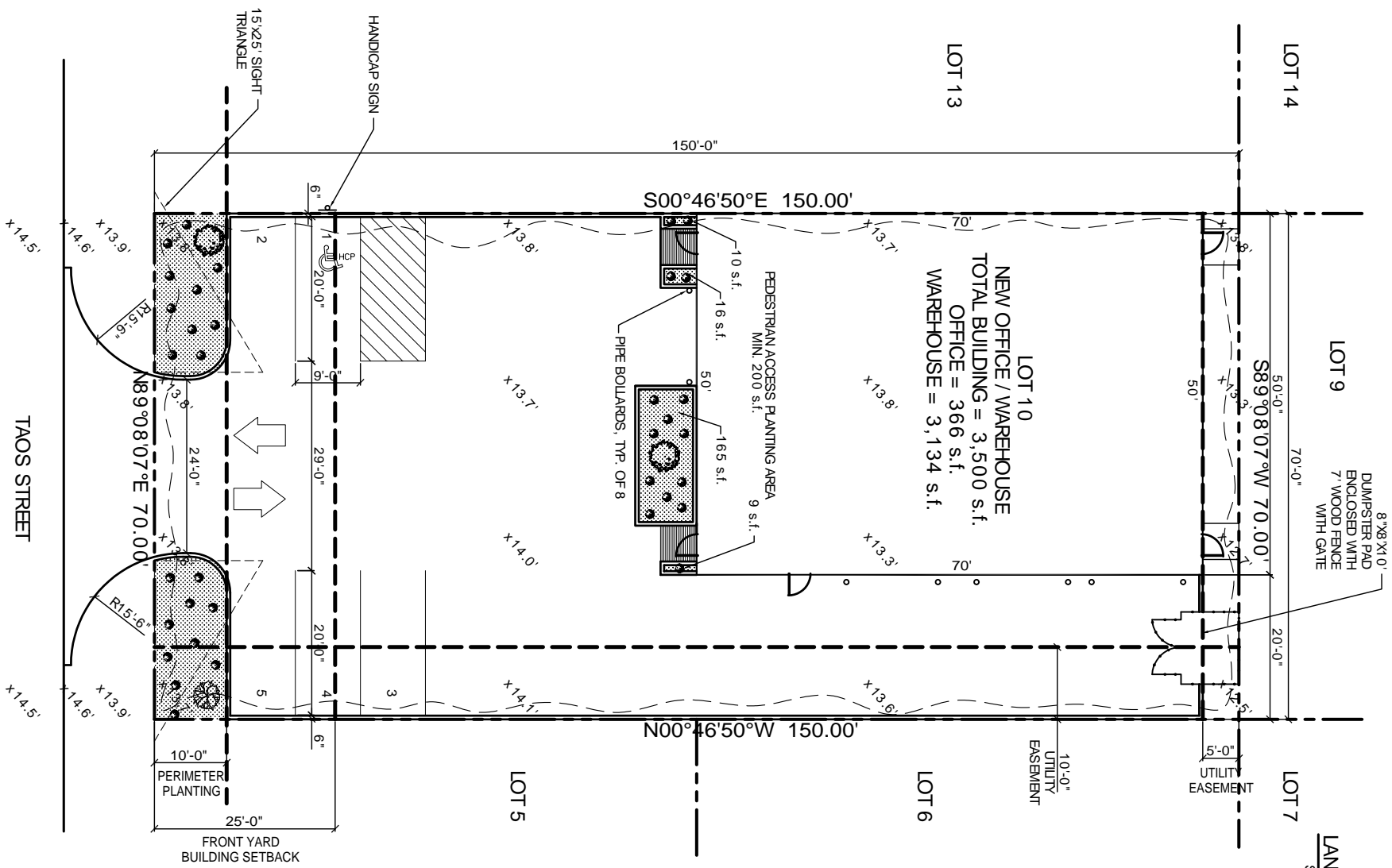
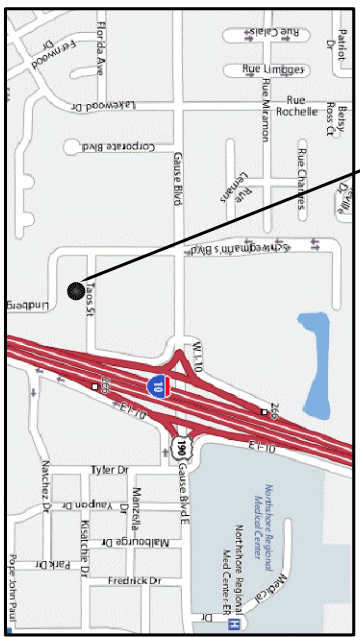


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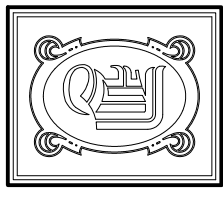
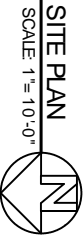
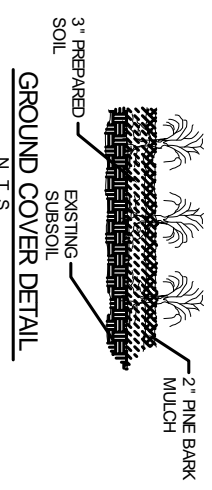
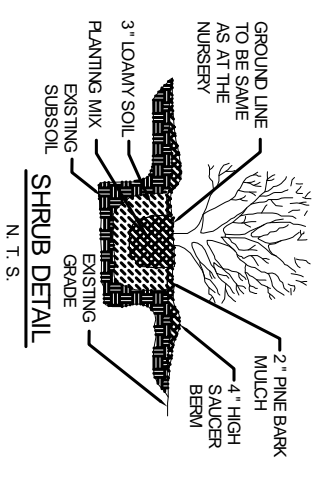
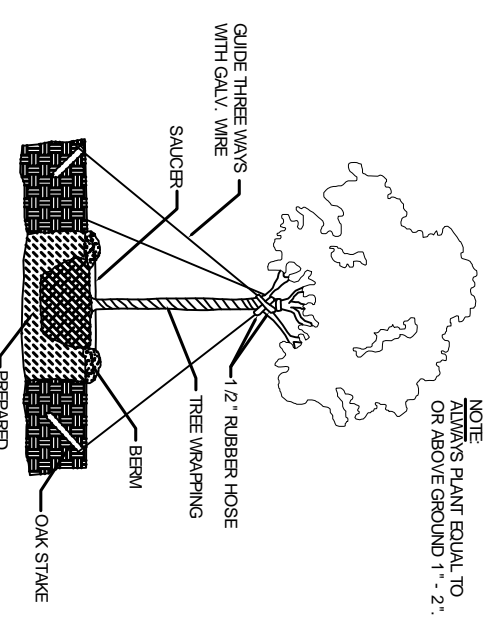
SURVEY OF LOT 10 INTERSTATE COMMERCIAL PARK
CITY OF SUDELL ST. TAMMANY PARISH, LOUISIANA FOR
GUASTELLA PROPERTIES, INC. REGIONS BANK AND
STEMART TITLE GUARANTY CO.

APPLICABLE CODE:	IBC 2006
DESIGN WIND SPEED:	130 MPH
DESIGN SLAB ELEVATIONS:	15.0'
PARKING REQUIREMENTS:	OFFICE SPACE OCCUPANCY PROVIDE ONE SPACE FOR EVERY 300 s.f. 366 s.f. OFFICE SPACE / 300 = 1.22 SPACE WAREHOUSE OCCUPANCY PROVIDE ONE SPACE FOR EACH FIVE EMPLOYEES 3,134 s.f. WAREHOUSE SPACE = 2 SPACES PARKING SPACES REQUIRED = 4 (INCLUDING 1 HANDICAP PARKING SPACE) PARKING SPACES PROVIDED = 5 (INCLUDING 1 HANDICAP PARKING SPACE)

LANDSCAPE REQUIREMENTS:
PERIMETER PLANTING AREA - A PERIMETER PLANTING AREA AT LEAST TEN (10) FEET IN WIDTH MUST BE PROVIDED OFF THE PUBLIC RIGHT-OF-WAY BETWEEN THE RIGHT-OF-WAY AND PARKING AREA OR STRUCTURES. PLANTING MATERIALS SHOULD ACHIEVE A BALANCE OF LOW-LYING HORIZONTAL, SHRUBBERY AND VERTICAL TREES. TREES SHALL BE PLACED NO MORE THAN 20-25 FEET ON CENTER WITH A COMPLIMENT OF NO LESS THAN 10 SHRUBS PER TREE.
PARKING LOT INTERIORS SHOULD BE DESIGNED TO PROVIDE AT LEAST ONE (1) TREE FOR EVERY TWELVE (12) PARKING SPACES. EACH TREE SHOULD BE LOCATED IN A LANDSCAPED ISLAND OF AT LEAST 200 s.f. TREES MUST BE DISTRIBUTED UNIFORMLY SO AS TO PROVIDE A CANOPY EFFECT.
PEDESTRIAN ACCESS PLANTING - LANDSCAPED AREAS MUST BE PROVIDED BETWEEN THE BUILDING FACES HAVING ACCESS AND THE PARKING LOT. FOUR (4) S.F. OF LANDSCAPED AREA SHOULD BE PROVIDED FOR EVERY LINEAR FOOT OF BUILDING FACE. NO PLANTING AREA SHOULD BE LESS THAN FIVE (5) FEET WIDE AND PLANTING MATERIALS SHOULD ACHIEVE A BALANCE BETWEEN LOW-LYING SHRUBBERY AND VERTICAL TREES.



- LANDSCAPE REQUIREMENTS**
SEE NOTES FOR REQUIREMENTS
- TYPE A TREE
 - TYPE B TREE
 - SHRUB
- LEGEND**
- PROPERTY LINE
 - SILT FENCING DETAIL
 - SETBACK LINE
 - BUILDING OUTLINE
 - HANDICAP PARKING
 - HANDICAP PARKING SIGN



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**NEW OFFICE/
WAREHOUSE**

ROSS GUASTELLA
TAOS STREET
SUDELL, LA

**SITE
PLAN**

REV:	
SCALE:	AS NOTED
JOB#:	
DATE:	4-14-08
SHEET:	

C-2

OF