

LADOTD Permit # 62025541 Permit Expiration Date: 12-18-19  
 Permit Entered By: \_\_\_\_\_ Date Permit Entered: \_\_\_\_\_

State of Louisiana  
 Department of Transportation & Development  
**ACCESS CONNECTION PERMIT CERTIFICATE**

Property Owner's Name: Raymond Horvath

Physical (911) Address of Property: US 190 Freeway

City: Sidell State: LA Zip: 70458

State Highway Adjacent to Property (Hwy. #): US 190 Parish: St. Tammany

Property located on the (circle one) (N) S E W side of the highway 0.3 miles (circle one) N S E (W)

From (nearest LA/US route # or other major roadway) I-10 overpass

Control Section: 013-13 Log Mile: — Latitude: 30.162288 Longitude: 89.453747

Proposed Use of Property:

- Single-Family Residential
- Multi-Residence Single Family - Number of Homes Proposed \_\_\_\_\_
- Non-Commercial Agricultural
- Temporary (less than 1 year) - Explain Use \_\_\_\_\_
- Commercial - Total Facility Sq. Ft. 3,900
  - Select One:  Retail
  - Educational
  - Mixed-Use
  - Medical
  - Religious
  - Public
  - Agricultural
  - Utility
  - Bank
  - Other - Explain \_\_\_\_\_

Property Frontage along Highway (ft.): 163 Depth of Property (ft.): 218

Apparent Right-of-Way (ft.): 50 Current Highway Surface Material: concrete

Approved Driveway Material: concrete Culvert Size: Dia. (in.) \_\_\_\_\_ Length (ft.) \_\_\_\_\_

Setback from Right-of-Way to nearest building/gas pump/etc. (ft.) \_\_\_\_\_ Culvert Material \_\_\_\_\_

Driveway Width 24 ft. Radius of Driveway 25 ft. (see attached standard)

Hydraulic Review:  Not Required  Required, Approved on \_\_\_\_\_ by \_\_\_\_\_

Traffic Impact Study:  Not Required  Required, Approved on 12/18/12 by Christie Stouder

(Attach a copy of the Letter of Compliance)

Traffic Signal Study:  Not Required  Required, Approved on \_\_\_\_\_ by \_\_\_\_\_

Signal Permit Issued:  No  Yes, Signal Permit Number: \_\_\_\_\_

La DOTD Access Connection Detail to Be Used for Construction: \_\_\_\_\_ Notes: \_\_\_\_\_

Other permits related to this property: \_\_\_\_\_

Driveway Sharing:  Not Required  Required - Attached signed agreement.

Details: \_\_\_\_\_

Mitigation Required:  No  Yes - Details: \_\_\_\_\_

Construction of Access Connection shall be subject to the following additional restrictions:

62025641  
Applicant Must Notify

Erin Lacey McCaskill or Seth DeArmas @ 985-893-6367, 3-Days Prior  
to Beginning work on completion.

Temporary Permit?  No  Yes. Terms: \_\_\_\_\_

**Additional Provisions:**

1. All documentation associated with this permit shall remain attached to this Permit Certificate and shall at all times be available for review, when requested, by a representative of the Louisiana Department of Transportation and Development.
2. All signed and stamped plans associated with this permit which are affixed with the LADOTD Permit # shall remain with this permit and shall at all times be kept on the job site. If requested by a representative of the Louisiana Department of Transportation and Development, the entire plan package shall be produced at the job site for review.
3. The DOTD District Office will handle all necessary public notices regarding temporary traffic control related to work authorized by this permit. The Permittee shall notify the District office a minimum of five (5) working days before construction if the traffic control plan was previously approved or contained in the approved plans or a minimum of ten (10) working days before construction if the traffic control plan must be submitted for lane closures not addressed in the plans.

**All conditions of this permit are subject to the provisions of LAC 70:11, Chapter 5, §531 and LAC 70:11, Chapter 15, §1501.**

I, the applicant, agree to hold harmless the DOTD and its duly appointed agents and employees against any action for personal injury or property damage sustained by reason of the exercise of this permit, whether or not the same may have been caused by the negligence of the DOTD, its agents, or its employees. I understand that this permit may be modified or rescinded at anytime at the discretion of the DOTD and any costs incurred as a result will be at my expense. I certify that the information contained herein is true, complete, and correct to the best of my knowledge. I understand that if any information contained herein is found to be falsified, this request and any permit issued based on this information shall be voided.

The provisions of this permit are hereby accepted and agreed to this \_\_\_\_\_ 19 \_\_\_\_\_ day of \_\_\_\_\_ Dec \_\_\_\_\_ 20 \_\_\_\_\_ 12.

SIGNED \_\_\_\_\_  
Owner's Name (printed): Raymond Fortuich

Mailing Address: 1860 Street Cut Road

City: Scidell State: LA Zip: 70458

Home/Work Phone: 985-781-7999 Cell Phone: 985-788-1805

If exercising Power of Attorney:

Name of Authorized Representative: MLR

(Attach a copy of Power of Attorney documentation)



APPROVED BY:

LOUISIANA DEPARTMENT OF TRANSPORTATION & DEVELOPMENT

Ernest Mathews Jr.  
DISTRICT PERMIT SPECIALIST -

Print Name Ernest Mathews Jr. Date 12-18-12

Jesse McClendon  
DISTRICT ADMINISTRATOR (OR DESIGNEE) -

Print Name Jesse McClendon Date 1-7-13

**Driveway Headwalls  
Are Prohibited**



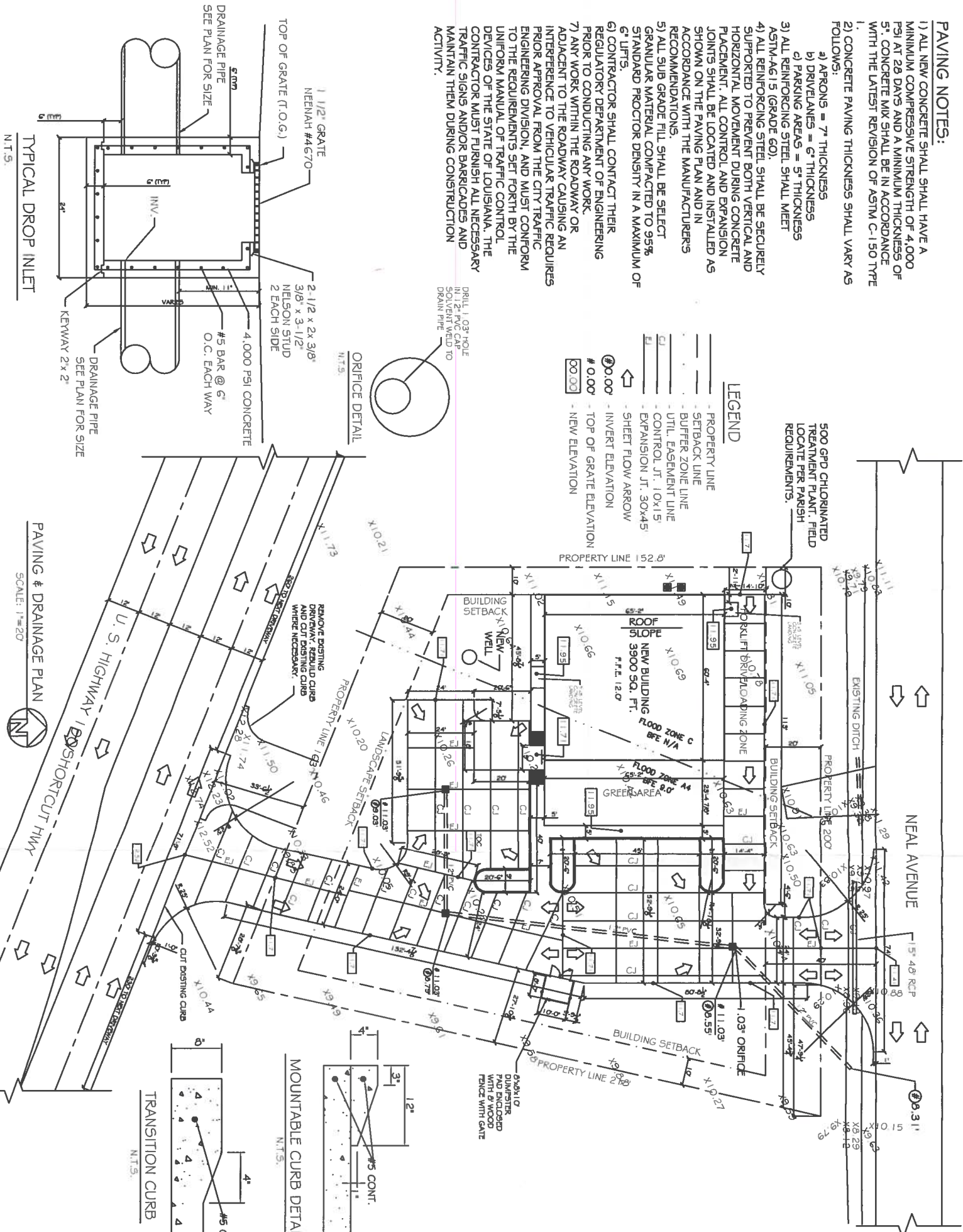
**PAVING NOTES:**

- 1) ALL NEW CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS AND A MINIMUM THICKNESS OF 5". CONCRETE MIX SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF ASTM C-150 TYPE 1.
- 2) CONCRETE PAVING THICKNESS SHALL VARY AS FOLLOWS:
  - a) ASPRONS = 7" THICKNESS
  - b) DRIVEWAYS = 6" THICKNESS
  - c) PARKING AREAS = 5" THICKNESS
- 3) ALL REINFORCING STEEL SHALL MEET ASTM-A615 (GRADE 60).
- 4) ALL REINFORCING STEEL SHALL BE SECURELY SUPPORTED TO PREVENT BOTH VERTICAL AND HORIZONTAL MOVEMENT DURING CONCRETE PLACEMENT. ALL CONTROL AND EXPANSION JOINTS SHALL BE LOCATED AND INSTALLED AS SHOWN ON THE PAVING PLAN AND IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
- 5) ALL SUB GRADE FILL SHALL BE SELECT GRANULAR MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY IN A MAXIMUM OF 6" LIFTS.
- 6) CONTRACTOR SHALL CONTACT THEIR REGULATOR DEPARTMENT OF ENGINEERING PRIOR TO CONDUCTING ANY WORK.
- 7) ANY WORK WITHIN THE ROADWAY OR ADJACENT TO THE ROADWAY CAUSING AN INTERFERENCE TO VEHICULAR TRAFFIC REQUIRES PRIOR APPROVAL FROM THE CITY TRAFFIC ENGINEERING DIVISION, AND MUST CONFORM TO THE REQUIREMENTS SET FORTH BY THE UNIFORM MANUAL OF TRAFFIC CONTROL DEVICES OF THE STATE OF LOUISIANA. THE CONTRACTOR MUST FURNISH ALL NECESSARY TRAFFIC SIGNS AND/OR BARRICADES AND MAINTAIN THEM DURING CONSTRUCTION ACTIVITY.

500 GPD CHLORINATED TREATMENT PLANT, FIELD REQUIREMENTS.

**LEGEND**

- PROPERTY LINE
- SETBACK LINE
- BUFFER ZONE LINE
- UTIL. EASEMENT LINE
- CONTROL JT. 10x15
- EXPANSION JT. 30x45
- SHEET FLOW ARROW
- ⑦ 0.00' - INVERT ELEVATION
- ⑦ 0.00' - TOP OF GRATE ELEVATION
- ⑦ 0.00' - NEW ELEVATION



**TYPICAL DROP INLET**  
N.T.S.

**ORIFICE DETAIL**  
N.T.S.

**PAVING & DRAINAGE PLAN**  
SCALE: 1"=20'

**MOUNTABLE CURB DETAIL**  
N.T.S.

**TRANSITION CURB**  
N.T.S.

**TYPICAL ENTRANCE DETAIL**  
N.T.S.

**DRIVEWAY SECTION**  
N.T.S.

**CONTROL JOINT DETAIL**  
N.T.S.

**EXPANSION JOINT DETAIL**  
N.T.S.

- DRAINAGE PLAN NOTES:**
1. DRAIN PIPE & FITTINGS WITHIN PROPERTY LINE SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE, MEETING CLASS 100 C-900 PVC.
  2. ELEVATIONS SHOWN ARE M.S.L.
  3. FIELD VERIFY ALL ELEVATIONS AND DRAINAGE SYSTEM PLACEMENT PRIOR TO START OF WORK.
  4. THERE IS NO EVIDENCE OF EXISTING OFF-SITE FLOW CROSSING THE PROPERTY.

**PROJECT:** RAY HORVATH BUILDING  
STORMWATER RUN-OFF CALCULATIONS

Formulas used: [1] RATIONAL METHOD:  $Q = C I A$

where:  
Q = Peak discharge of watershed in cubic feet per second (cfs) (use to maximum storm flow assumed).  
C = Runoff coefficient based on conditions shown.  
I = Intensity of rainfall in inches per hour based on concentration time [2].  
A = Area of watershed in acres.  
[2] Intensity of rainfall in inches per hour based on concentration time [2].

TC = Time of concentration - time required for rain falling at most remote point to reach drainage point.  
C = Runoff coefficient based on conditions shown.  
I = Intensity of rainfall in inches per hour based on concentration time [2].

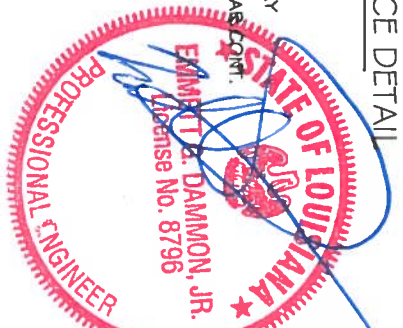
Q = A I	Watershed Surface	Q = A I	Watershed Surface
Gravel Surface (cfs) = 0.25	3564	Gravel Surface (cfs) = 0.25	39420
Gravel Surface (cfs) = 0.15	3200	Gravel Surface (cfs) = 0.15	3200
Summary	6.2	Summary	6.2

Duration (D) = Time of concentration (TC) = 1.205 minutes  
Inlet length = 1.205 minutes  
Inlet slope = 5.0%  
Inlet velocity = 1.384 ft/s

Q = A I  
Watershed Surface = 18018 sqft = 0.414 Acres  
Gravel Surface (cfs) = 0.25  
Gravel Surface (cfs) = 0.15  
Summary = 32730 sqft = 0.751 Acres

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**RAY HORVATH FLOORWORKS AND BLINDS**  
RETAIL  
1350 SHORTCUT ROAD  
SUITE LA 70453

JOB No: 2152 DATE: 11-13-12  
DRAWN BY: BSN CHECKED BY: BSN

**DAMMON ENGINEERING INC**  
Architects & Engineers

CHIEF ENGINEER: EMMETT DAMMON, P.E.  
CHIEF ARCHITECT: ROBERT WILSE  
554 OLD SPANISH TRAIL  
SUDELL, LA 70456

dammonengineering.com  
dammoneng@bellsouth.net  
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FAX: 985-641-5950

REVISIONS	DATE	DESCRIPTION

PAVING AND DRAINAGE PLAN  
SHEET No: 3 OF 10  
C-2