

OX LOT

577°29'10"W
49.83'
(R5=50.0')

EXISTING
CONCRETE TO
REMAIN.

LOT 3

NEW HAMPSHIRE STREET
(SIDE)

20' ALLEY

S 11°35'16"E 120.0'

NEW CONCRETE
WALKS TO NEW
BUILDING. SLOPE
PER A.D.A.

N 11°35'16"W 120.48'

NEW
COMMERCIAL
BUILDING
2,195 SQ. FT.
LEASIBLE

SIDEWALK

N78°02'20"E 49.83'

NEW CONCRETE
WALKS TO NEW
BUILDING. SLOPE
PER A.D.A.

BOSTON STREET
(ASPHALT)

1. SITE PLAN - PROPOSED



SCALE: 1/8" = 1'-0"
THIS DRAWING IS BASED ON A SURVEY BY:
MICHAEL A. BROWN, P.E.
502 NORTH JEFFERSON AVENUE
COVINGTON, LOUISIANA
DATE: 04/25/2014

SITE INFORMATION:

SITE IS LOT 3, DIVISION OF ST. JOHN, CITY OF COVINGTON, ST. TAMMANY PARISH, LOUISIANA.

SITE IS 5.991 .34 SQ. FT., or 0.138 ACRES.

SITE IS LOCATED IN FLOOD ZONES A1 5 & B, PER F.E.M.A. MAP NO. 220200 0005 B, DATED NOVEMBER 19th, 1980.

BUILDING INFORMATION:

BUILDING IS 2,195 SQ. FT. OF LEASIBLE AREA.

BUILDING SHALL BE USED AS:

FIRST FLOOR: RETAIL SPACE
SECOND FLOOR: OFFICE SPACE

PARKING INFORMATION: 3.3107

COMMERCIAL ESTABLISHMENTS IN THE DIVISION OF ST. JOHN SHALL HAVE NO OFF STREET PARKING REQUIREMENTS.

BUILDING CONTAINS 2,195 SQ. FT. OF LEASIBLE AREA.

PARKING AS REQUIRED: 0 PARKING SPACES

PARKING AS PROVIDED: 0 PARKING SPACES

SETBACK INFORMATION: 3.3106

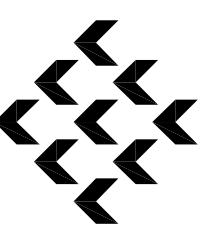
FRONT YARD: THERE SHALL BE NO FRONT YARD REQUIREMENTS.

REAR YARD: THERE SHALL BE NO REAR YARD REQUIREMENTS.

SIDE YARD: THERE SHALL BE NO SIDE YARD REQUIREMENTS.

Project 6214
date 2.25.15

revisions



Plaza Architecture Planning APAC
Mandeville Louisiana



P.A.B. © 2015

~ Proposed Retail and Office Building ~

East Boston Street at Vermont Street
Covington, Louisiana

Sheet

A02.2

of