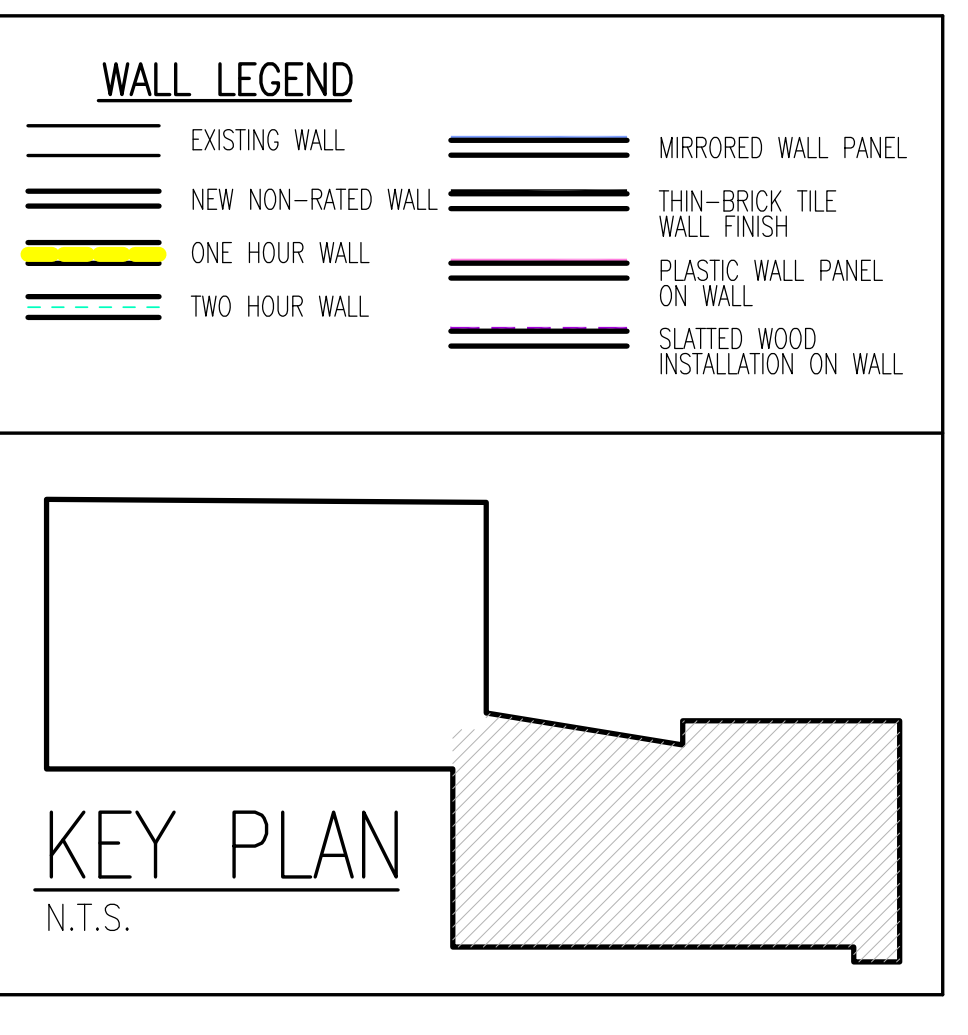


PARTIAL PENTHOUSE FLOOR PLAN
SCALE: 3/16" = 1'-0"

- ### PENTHOUSE SPECIFIC NOTES
- [PH1] 2" THICK ROOF-TOP CONCRETE PAVER SYSTEM ON OPEN-JOINT "TERRA-STAND" PEDESTAL SYSTEM (SAND SERIES AS MFR'D BY TECTURA DESIGNS/MAUSAU. SET PEDESTALS ON ROOF-PADS (EXACT COLORS & PATTERNS TO BE DETERMINED)) (24"x24"x2" THICK PAVERS @ FIELD & 12"x48" PAVERS @ BORDERS, AS INDICATED).
 - [PH2] 42" HEIGHT STAINLESS STEEL GUARD RAIL SYSTEM SECURED TO BASE ROOF SLAB (VERTICAL CABLE RAIL).
 - [PH3] CONCRETE PAVER SYSTEM STEPS (SAND SERIES) (SEE DETAILS).
 - [PH4] A.D.A.-COMPLIANT AUTOMATIC VERTICAL WHEELCHAIR LIFT (EXTERIOR GRADE) (SEE ELECTRICAL).
 - [PH5] CUSTOM FIBER-GLASS POOL W/ 2-SIDED INFINITY EDGE/ CAPTIVE AREA. POOL SHALL BE STRUCTURALLY SELF-SUPPORTING AT ALL SIDES & EDGES, (4'-0" DEEP) (BY SAN JUAN OR EQUAL) (SUBMIT SHOP DRAWING FOR REVIEW & APPROVAL).
 - [PH6] 36" HEIGHT STAINLESS STEEL HANDRAIL SYSTEM AT ALL STEPS (W/ 12" EXTENSIONS @ TOP & BOTTOM).
 - [PH7] 36" HEIGHT STAINLESS STEEL GUARD RAIL SYSTEM SECURED TO BASE ROOF SLAB.
 - [PH8] WOOD PLANK SCREEN WALL SECURED TO GALV. STEEL POSTS SECURED TO BASE ROOF SLAB (6" HEIGHT).
 - [PH9] POOL EQUIPMENT (COORD. W/ELECTRICAL & POOL INSTALLER/MFR).
 - [PH10] 48" HEIGHT STAINLESS STEEL GUARD RAIL SECURED TO BASE ROOF SLAB (SOLID VERTICAL STEEL PICKETS @ 4'-0" O.C.).
 - [PH11] PREFINISHED METAL PARAPET @ NEW RAISED PARAPET AREA (WATER-TIGHT).
 - [PH12] RAISED C.M.U. STOOP W/ STONE TILE CAP & PAINTED CEMENT PLASTER WALL SURFACE.
 - [PH13] FUTURE BAR - PROVIDE WALL, ELECTRIC & PLUMBING ROUGH-IN. BAR EQUIPMENT WORK UNDER SEPARATE FUTURE PERMIT.
 - [PH14] REPLACE EXISTING DETERIORATED METAL WALL PARAPET CAP W/ NEW PRE-FINISHED METAL PARAPET CAP (WATER-TIGHT) (MATCH EXIST.).
 - [PH15] REPLACE EXISTING METAL FASCIA ROOF EDGE FLASHING (MATCH EXIST.).
 - [PH16] POOL INFINITY EDGE & WATER CAPTIVE AREA W/STONE TILE SEATING EDGE CAPS.
 - [PH17] A.D.A.-COMPLIANT POOL ACCESS LIFT W/ COVER (SEE ELECTRICAL & STRUCTURAL).
 - [PH18] A.D.A.-COMPLIANT STAINLESS STEEL TRANSFER RAILINGS.
 - [PH19] 48" HEIGHT PLANTER (FURNITURE PIECE SET ON TOP OF PAVERS) (BY OWNER).
 - [PH20] REPLACE EXISTING METAL FLASHING CAP @ EXISTING WALL AREA. NEW FLASHING UP & INTO JOINT (OR BEHIND WALL) OF EXISTING ADJACENT BUILDING (WATER-TIGHT) (COORD. W/ ADJACENT BUILDING OWNER).

- ### SHEET NOTES - FLOORS 1, 6, 7, 8, 9
- [1] INTERIOR SLOPING CORRIDOR 1:20 MAX. SLOPE. (NOT A RAMP)
 - [2] NEW INTERIOR ALUMINUM STOREFRONT WINDOW SYSTEM (FIELD VERIFY SILL HEIGHT)
 - [3] REPAIR/RESTORE/UPGRADE EXISTING ELEVATOR SYSTEM, SHAFT, & ASSOCIATED COMPONENTS TO NEW FUNCTIONING, CODE-COMPLIANT & FINISH CONDITIONS. EXTEND/RAISE SYSTEM, SHAFT & MECHANICAL PENTHOUSE TO INCLUDE NEW 9TH FLOOR STOP. RE-CLAD ALL DOORS, FRAMES & CABS W/NEW FINISHES. (COORD. W/OWNER) (FIELD VERIFY) (SEE DETAILS)
 - [4] ATRIUM OPENING FROM 6TH FLOOR BELOW AND PENETRATING THROUGH 7TH FLOOR, 8TH FLOOR, AND NEW PENTHOUSE FLOOR/ROOF. AN ENCLOSED SKYLIGHT SYSTEM WILL BE ON THE PENTHOUSE ROOF LEVEL. AN APPROVED SMOKE EVACUATION SYSTEM WILL BE REQUIRED FOR VENTING OF THE ATRIUM SPACE. (SEE DETAILS)
 - [5] COVERED CANOPY SYSTEM ABOVE (SEE SECTIONS AND DETAILS) (SEE STRUCTURAL DRAWINGS)
 - [6] NEW 45 MIN. FIXED FIRE RATED INDUSTRIAL STEEL WINDOW WITH ONE HOUR FIRE RATED GLASS PANELS (FLASH, SEAL AND GUARANTEE AIRTIGHTNESS AND WATER TIGHTNESS)(CREATE/CUT NEW OPENING IN MASONRY WALL (W/ STEEL LINTEL) TO ACCEPT NEW WINDOW (FIELD VERIFY AND MATCH ADJACENT EXISTING WINDOW SIZES AND CONDITIONS) (SEE STRUCTURAL DRAWINGS)(PROVIDE "SM" SAFETY FILM TO ACHIEVE WIND-RATING, PER CITY APPEAL)
 - [7] EXISTING STEEL STAIR SYSTEM TO REMAIN (1ST FLR THRU 8TH FLR) REPAIR/CORRECT ALL DAMAGED STEEL-PAN/CONCRETE NOSINGS/TREADS TO FLUSH/LEVEL CONDITIONS(SUPPLEMENT EXISTING RAIL SYSTEM TO CREATE COMPLIANT HAND/GUARDRAILS)(REPAIR AND RE-PAINT ALL FOR NEW FINISH CONDITIONS)(FIELD VERIFY AND INCLUDE ALL COSTS IN BID) (SEE 1/A7.13 FOR TYPICAL RAIL SUPPLEMENTATION)
 - [8] EXISTING STEEL STAIR SYSTEM TO REMAIN (6TH FLR TO 9TH FLR) BASE-ROOF LEVEL(SUPPLEMENT EXISTING RAIL SYSTEM TO CREATE COMPLIANT HAND/GUARDRAILS)(REPAIR AND RE-PAINT ALL FOR NEW FINISH CONDITIONS)(FIELD VERIFY AND INCLUDE ALL COSTS IN BID) (SEE STAIR SECTOR/DETAIL SHEETS)(SEE 2/A7.13 FOR TYPICAL RAIL SUPPLEMENTATION)
 - [9] EXISTING STEEL STAIR SYSTEM FROM 1ST FLR TO THE BASE 6TH FLR LEVEL TO BE REPLACED W/ NEW COMPLIANT STEEL STAIR SYSTEM. CREATE NEW CONCRETE CUT-OUTS IN EXISTING CONCRETE STRUCTURE TO ACCOMMODATE NEW STAIR/LANDING LAYOUT. (SEE STAIR DETAILS A7.12) (SEE STRUCTURAL DRAWINGS FOR CUT-OUT AND NEW STRUCTURAL STEEL) (SUPPLEMENTATION)(ENSURE COMPLETE 2-HOUR FIRE RATED ENCLOSURE)
 - [10] PROVIDE NEW STEEL STAIR SYSTEM FROM EXISTING 9TH FLR BASE ROOF UP TO THE NEW RAISED PENTHOUSE LEVEL (30" RISE)(ENSURE 6" CODE COMPLIANCE)
 - [11] PROVIDE NEW COMPLIANT STEEL STAIR SYSTEM FROM 9TH FLR TO THE NEW UPPER ROOF LEVEL. CREATE NEW CONCRETE CUT-OUTS IN EXISTING 9TH FLOOR CONCRETE STRUCTURE TO ACCOMMODATE NEW STAIR/LANDING. (SEE STAIR SECTIONS/DETAILS) (SEE STRUCTURAL DWGS.)
 - [12] WATERTIGHT ALUMINUM THRESHOLD. (GUARANTEE WATERTIGHTNESS) TYPICAL AT ALL EXTERIOR STOREFRONT DOORS. PROVIDE SHEET METAL FLASHING PAN SET IN MASTIC FOR SECONDARY FLASHING (TYP.)
 - [13] ACTUAR - GALAXY 5-1/2" (CLASS B, C FIRE) FIRE EXTINGUISHER IN AN ACTUAR - COSMOPOLITAN FIRE EXTINGUISHER CABINET # 1836 (1-1/2" TRIM) (SEE DETAILS)
 - [14] SEE ELECTRICAL/MECHANICAL DRAWING FOR EQUIPMENT LAYOUT
 - [15] PROVIDE WATERTIGHT FLASHINGS, CLOSURES, CONNECTIONS AT ALL ROOF AND WALL AREAS WHERE BUILDINGS JOIN. (SEE DETAILS)(FIELD VERIFY) (GUARANTEE WATERTIGHTNESS)(COORD W/ ADJACENT PROPERTY OWNER)
 - [16] BUILT-IN (IN CASE WORK) NICHE W/ STONE COUNTER AND GLASS SHELVES. (SEE DETAIL 4/A6.10)
 - [17] 3/4"THK STONE WINDOW STOOL. TYPICAL THRU-OUT AT ALL WINDOW SILLS (NEW AND EXISTING)
 - [18] COMPACT SIZE STACK WASHER/DRYER UNITS (OWNER SELECTED)(ENSURE UNIT FITS PRIOR TO PURCHASE)
 - [19] REPAIR/RESTORE/REPAINT EXISTING INDUSTRIAL STEEL WINDOW FRAMES AND SASHES. (CAULK/SEAL AND GUARANTEE WATERTIGHTNESS)(REPAIR AND/OR REPLACE DAMAGED COMPONENTS TO NEW FINISH CONDITIONS) (PROVIDE/REPLACE GLAZING WITH NEW 60 MIN. FIRE RATED CLEAR GLASS PANELS) MATCH ALL EXISTING CONDITIONS (FIELD VERIFY)(ENSURE PROPER FUNCTION (REPAIR AND/OR REPLACE WINDOW GLAZING STOPS TO NEW FINISH CONDITIONS (ALL OPERABLE PIVOT PANELS SHALL BE SEALED IN A FIXED CLOSED CONDITION)(PROVIDE "SM" SAFETY FILM" TO ACHIEVE WIND RATING IF GLASS DOES NOT ACHIEVE WIND RATING. THIS WILL REQUIRE AN I.B.C. APPEAL WITH THE CITY)
 - [20] REPAIR/RESTORE/REPAINT EXISTING INDUSTRIAL STEEL WINDOW FRAME AND SASHES. (CAULK/SEAL AND GUARANTEE WATERTIGHTNESS)(REPAIR AND/OR REPLACE DAMAGED COMPONENTS TO NEW FINISH CONDITIONS) (PROVIDE/REPLACE GLAZING WITH NEW TEMPERED CLEAR GLASS PANELS) MATCH ALL EXISTING CONDITIONS (FIELD VERIFY)(ENSURE PROPER FUNCTION (REPAIR AND/OR REPLACE WINDOW GLAZING STOPS TO NEW FINISH CONDITIONS (ALL OPERABLE PIVOT PANELS SHALL BE SEALED IN A FIXED CLOSED CONDITION)(PROVIDE "SM" SAFETY FILM" TO ACHIEVE WIND RATING IF GLASS DOES NOT ACHIEVE WIND RATING. THIS WILL REQUIRE AN I.B.C. APPEAL WITH THE CITY)
 - [21] WALL BELOW COUNTER-TOP (SEE 2/A6.10)
 - [22] REPAIR ALL GASKETING AT EXISTING GLAZING FOR WATERTIGHT CONDITIONS. CLEAN ALL. REPLACE TINT W/NEW CLEAR SOLAR WINDOW FILM TINT RE-SEAL AS REQUIRED (FIELD VERIFY)
 - [23] RESTORE/REPAIR EXISTING EXTERIOR METAL PANELS PROVIDE RETROFITTED MAGNETITE-TYPE ACRYLIC WINDOW SYSTEM OVER EXISTING HISTORIC WINDOW.
 - [24] SEE SHEET A7.11 FOR ENLARGED STAIR "C" PLAN
 - [25] 2 HOUR FIRE RATED VERTICAL SHAFTS. PROVIDE NEW CONCRETE CUT-OUTS AT FLOORS AS REQ'D. (SEE STRUCTURAL/MECHANICAL DWGS)
 - [26] DOOR WITH MAGNETIC HOLD OPEN DEVICE. SEE ELECTRICAL DWGS
 - [27] INTERIOR ALUM. STOREFRONT WINDOW SYSTEM WITH COMPLIANT SPRINKLER WATER-WASH SYSTEM ABOVE. (SEE MECHANICAL DWGS. (TYPICAL FOR ATRIUM & CORRIDOR WINDOWS)
 - [28] PROVIDE WATERPROOF/DAMP-PROOF COATING ON INTERIOR FACE OF EXISTING EXTERIOR/P.L. PERIMETER MASONRY WALLS. (ENSURE WATER-TIGHT CONDITIONS) (TYPICAL AT ALL EXISTING EXTERIOR AND PROPERTY LINE PERIMETER WALLS WITH NEW INTERIOR FINISH)
 - [29] ADJACENT BUILDING AT FACE OF PROPERTY LINE. (HATCHED)
 - [30] CODE COMPLIANT STAINLESS STEEL SPIRAL STAIR SYSTEM. CONVENIENCE STAIR ONLY (NOT AN EXIT STAIR)
 - [31] 42" HEIGHT GUARD-RAIL SYSTEM. SEE DETAIL ON 1/A7.7 (ATRIUM)
 - [32] 36" HEIGHT SEPARATION RAIL SYSTEM
 - [33] NEW CODE-COMPLYING PAINTED STEEL STAIR AND LEVEL LANDING SYSTEM SET ON TOP OF EXISTING CONCRETE RAMP (SEE STRUCTURAL DWGS)(SEE 3/A7.13 FOR SIMILAR DETAIL)(FIELD VERIFY CONDITION)
 - [34] EXIT/EGRESS PATH W/ 4" WIDE PAINTED YELLOW STRIPING.
 - [35] EDGE OF ATRIUM OPENING AND/OR LINE OF ATRIUM OPENING ABOVE
 - [36] EDGE/PERIMETER OUTLINE OF SKYLIGHT SYSTEM ABOVE THAT IS AT TOP OF PENTHOUSE ROOF LEVEL.
 - [37] NEW 2-HOUR RATED WALL BETWEEN PARKING LOT / HOTEL AREA: WALL TO BE CONSTRUCTED SIMILAR TO A PARTITION "P6AC". CONSTRUCT WITH 16 GAUGE 6" METAL STUDS @ 16" O.C. PARKING LOT SIDE TO HAVE GALV. SELF-FURRING METAL LATH WITH 3/4" PAINTED PLASTER SURFACE ON 2 LAYERS ON TYVEK STUCCO WRAP ON 2 LAYERS OF EXT. GRADE "DENGSLAS BOARD" (IN LIEU OF GYP. BD.)(W/ SOUND MATT MEMBRANE LAYER SYSTEM INSTALLED PER MFR.)
 - [38] FIRE RATED ELEVATOR DOORS AND U.L. 1784 ROLLING MAGNETIC GASKETING SYSTEM "SMOKE-GUARD" FOR ELEVATOR HOISTWAY PROTECTION (INSTALL PER MFR) (TIED TO FIRE ALARM/DETECTION SYSTEM)(SEE ELEC.)
 - [39] NEW CUSTOM SHOWER UNIT. PROVIDE TILE WALLS W/ TILE FLOORS (ON WATER-TIGHT FLOOR PAN). PROVIDE 1/2" TEMPERED FRAMELESS GLASS SLIDING DOOR / FIXED PANEL SYSTEM W/ CHROME HARDWARE. BUILT-IN SHOWER BENCHES WHERE DESIGNATED SEE 4/A6.8.
 - [40] NEW CUSTOM A.D.A. SHOWER UNIT. PROVIDE TILE WALLS W/ TILE FLOORS ON WATER-TIGHT FLOOR PAN). PROVIDE COMPLIANT GRAB BARS, FOLDING SEAT, CONTROLS, AND HAND-HELD SPRAY UNIT. PROVIDE SHOWER ROD AND CURTAIN. (NO SHOWER CURB - STEP TILE DOWN IN SHOWER AREA 1/4" (COORD. IN FIELD FOR CLEAN FLOOR FINISH CONDITIONS)
 - [41] 2-HOUR FIRE RATED GYP. BOARD WRAP PROTECTION AROUND ALL STEEL COLUMNS. (SIMILAR TO 1 & 2 / A6.9) (TYPICAL) OPTION TO USE SPRAY-ON FIREPROOFING TO ACHIEVE 2-HOUR PROTECTION.
 - [42] NEW COMPLIANT 24"dia x 16 GAUGE STEEL TRASH CHUTE SYSTEM FROM FIRST FLOOR UP TO THE NEW PENTHOUSE LEVEL. (AS MFR'D BY (WILKINSON-H-RISE) PROVIDE 90 MINUTE RATED A.D.A. COMPLIANT CHUTE DOORS AT FLOORS 6, 7, 8, AND 9. PROVIDE HOUR RATED SHAFT AND 2-HOUR RATED VESTIBULE. PROVIDE FULL SHOP DRAWING REVIEW FOR REVIEW AND APPROVAL. PROVIDE SANITIZING UNIT AND REQUIRED SPRINKLER HEADS. (CONCRETE HOLE CUT-OUT IS EXISTING FROM FLOORS 1 THRU 6. PROVIDE NEW CUT/CORED HOLES AT FLOORS 7, 8, AND 9. (SEE STRUCTURAL DWGS AND COOR. ALL WITH MFR. PRIOR TO PROCEEDING.)
 - [43] NEW 2 HOUR FIRE RATED C.M.U. WALL.
 - [44] REPAIR/RESTORE EXIST. JALOUSIE WINDOW SYSTEM TO FUNCTIONING AND FINISH CONDITIONS. REPLACE ANY BROKEN COMPONENTS/GLAZING IN LIKE-KIND. SEAL AND FLASH FOR WATERTIGHT AND AIR-TIGHT CONDITIONS. PROVIDE RETROFITTED MAGNETITE-TYPE ACRYLIC WINDOW SYSTEM OVER EXISTING HISTORIC WINDOW.
 - [45] THRU-WALL SMOKE EVAC MAKE-UP AIR MECHANICAL LOUVER W/ 2-HOUR RATED DAMPER COMPONENT (SEE MECHANICAL & SMOKE EVAC SYSTEM DRAWINGS).



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**TERRELL
FABACHER
ARCHITECTS, L.L.C.**

These plans and specifications have been prepared by me or under my close supervision and they comply with all city requirements to the best of my knowledge and belief. The project (will) will not be visited periodically to review job progress.

**THE PARK HOTEL
HISTORIC RESTORATION**
222 LOLOYA AVE.
NEW ORLEANS,
LOUISIANA

NO.	REVISIONS

CHECKED BY: _____
DRAWN BY: _____
DATE: 6-10-19
JOB NO.: _____

A2.12
SHEET OF _____