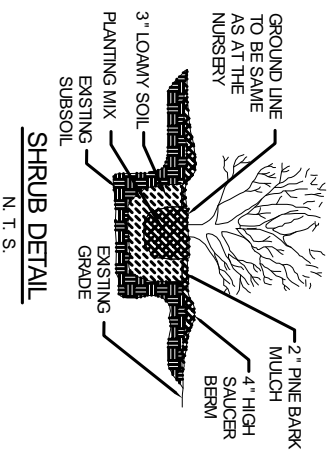
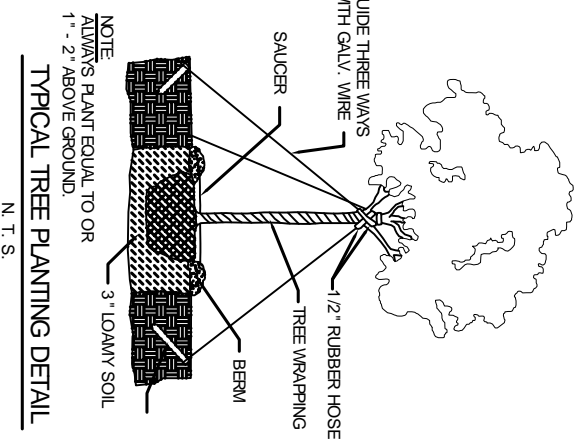
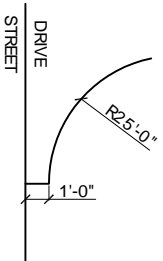
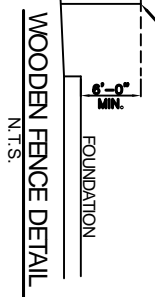
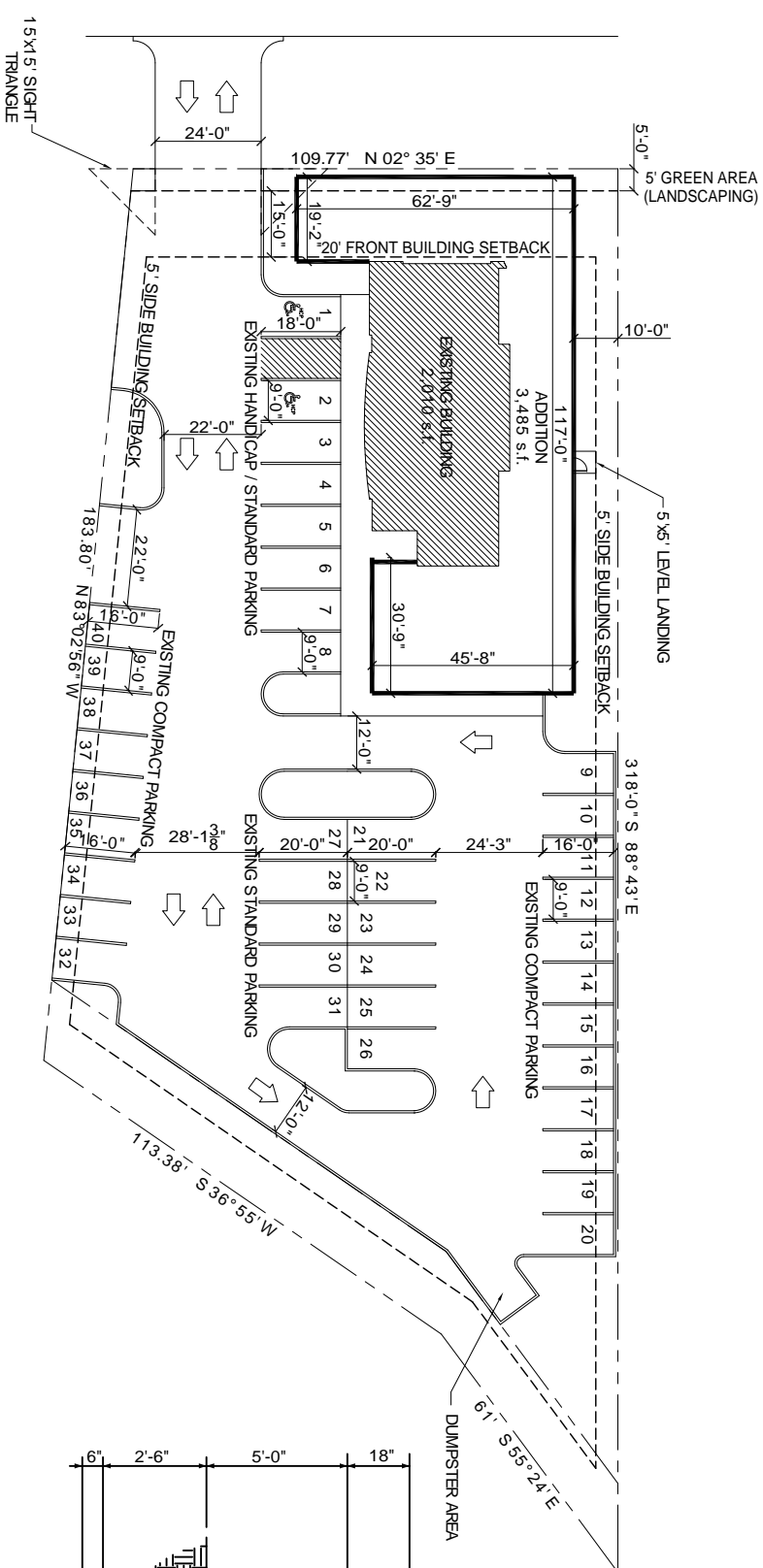


WOODEN FENCE MUST BE 6'-0" ABOVE OFFICE SLAB LEVEL. ADJUST HEIGHT OF FENCE AS NEEDED



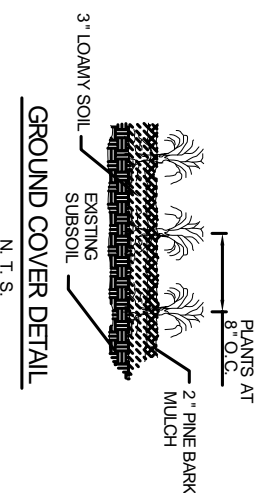
WORK SITE

SOUTH MORRISON BLVD.



SITE PLAN
SCALE 1" = 20'-0"

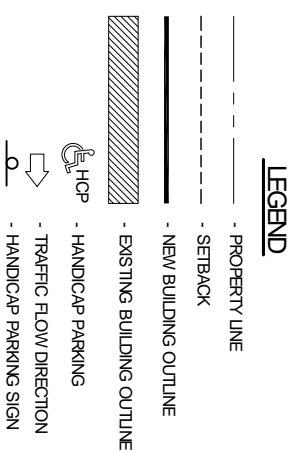
ZONED



PARKING REQUIREMENTS

BUILDING TOTAL = 5,495 s.f.
ONE SPACE PER 75 s.f. OF CUSTOMER SERVICE AREA (NOT INCLUDING KITCHEN OR STORAGE) = 3,175 s.f. / 75 s.f. = 42 SPACES (INCLUDING 2 HANDICAP SPACES) REQUIRED
410 SPACES (INCLUDING 2 HANDICAP SPACES) PROVIDED (NEED VARIANCE FOR TWO SPACES)

NOTE
THIS SITE PLAN WAS CONSTRUCTED FROM A PAPER COPY OF THE SURVEY.



LEGAL DESCRIPTION

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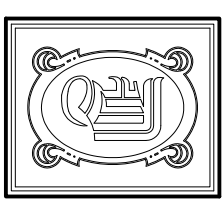
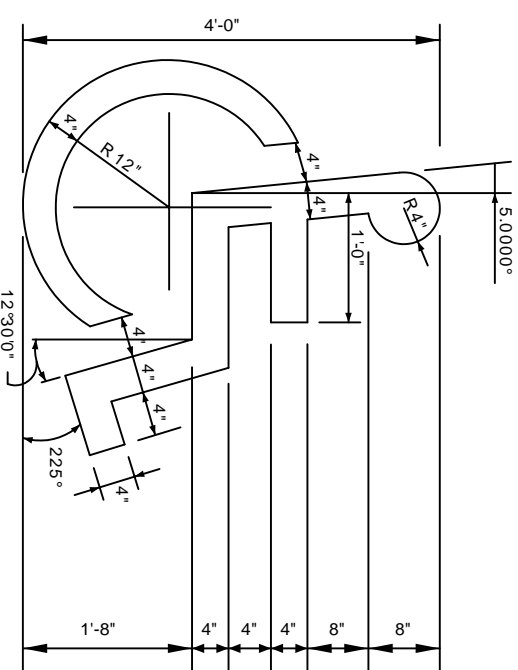
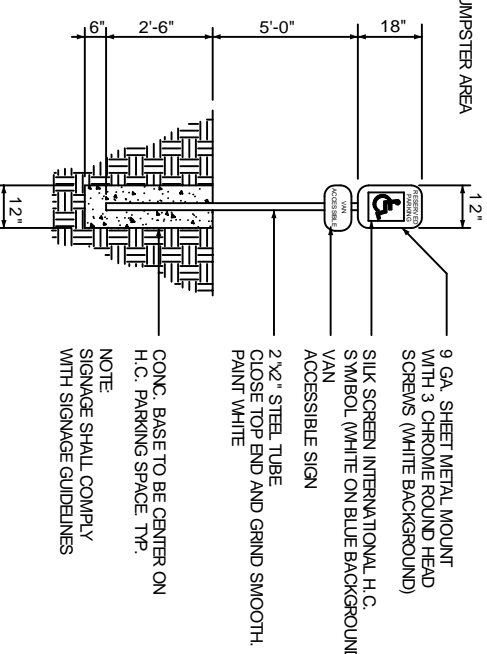
SITE LIGHTING

EXTERIOR LIGHTING SHALL BE SHADDED OR INWARDLY DIRECTED IN SUCH A MANNER SO THAT NO DIRECT LIGHTING OR GLARE BE CAST BEYOND THE PROPERTY LINE. THE INTENSITY OF SUCH LIGHTING SHALL NOT EXCEED ONE FOOT CANDLE AS MEASURED AT THE ADJUTING PROPERTY LINE (N/A)

LANDSCAPE LEGEND

- TYPE A OVERSTORY TREES: MINIMUM OF 12" HIGH, 2 INCH DIAMETER ONE FOR EVERY 1.5 LINEAR FEET OF ROAD FRONTAGE AND LANDSCAPED ISLANDS.
- TYPE B UNDERSTORY TREES: MINIMUM OF 12" HIGH, 2 INCH DIAMETER, ONE FOR EVERY 1.5 LINEAR FEET OF ROAD FRONTAGE
- CONTINUOUS SCREEN OF EVERGREEN SHRUBS A MINIMUM OF THREE FEET IN HEIGHT SHALL BE PLANTED TO SCREEN THE PARKING FROM THE ROADWAY.
- LANDSCAPE FILTER AREA ARE TO INCLUDE A GRASS/COVER AND LANDSCAPE MATERIAL. EXAMPLES INCLUDE: SOLID SOD, MONKEY GRASS, LIROPE, JAPANESE ARDISIA, ASIAN JASMINE OR IRIS.

HANDICAP PARKING SIGN



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CHIEF ENGINEER
EMMETT DAMMON, P.E.

CHIEF ARCHITECT
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ARCHITECTURE
ENGINEERING
STUDIES
PLANNING
INVESTIGATION
EXPERT WITNESS

RESTAURANT RENOVATION

OSAKA
S. MORRISON BLVD
HAMMOND, LA

PROPOSED SITE PLAN

REV:	
SCALE:	AS NOTED
JOB#:	1943
DATE:	3-19-08
SHEET	

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