

# RECEPTION HALL RENOVATION FOR:



# BEV INCORPORATED

211 COUSIN STREET  
SLIDELL, LA 70458

RECEPTION HALL RENOVATION FOR: <b>BEV, INCORPORATED</b>		J:\DAMMON\Dammon Logo\Dammon Logo_Banner.JPG	
211 COUSIN STREET SLIDELL, LOUISIANA 70458 JOB No: 2220 DATE: MARCH 08-2015 DRAWN BY: KJK CHECKED BY: CKZ		www.dammonengineering.com info@dammon.com PH: 985.649.5932 F: 985.641.5950	
RECEPTION HALL RENOVATION FOR: <b>BEV, INCORPORATED</b>		CHIEF ARCHITECT: KEVIN J. KITCHEN - NCA/ARB CHIEF ENGINEER: PAUL W. MARSH - PE 594 OLD SPANISH TRAIL SLIDELL, LA 70458	
SHEET TITLE: COVER SHEET		SEAL:	
DRAWING NUMBER: <b>G001</b>		REVISIONS	
SHEET No: 01 of 19		DATE	

# LIFE-SAFETY INFORMATION

<b>APPLICABLE CODES</b>		
NFPA 101 LIFE-SAFETY CODE 2012		
OCCUPANCY TYPE(S) AND CHAPTER(S)		
ASSEMBLY (CHAPTER 12), INDUSTRIAL (CHAPTER 40), BUSINESS (CHAPTER 38)		
MULTIPLE, MIXED, OR SEPARATE OCCUPANCY (REFERENCE CHAPTER 6)		
N/A		
<b>OCCUPANT LOAD FACTOR</b> (REFERENCE TABLE 7.3.1.2)		
LEVEL 1		
ASSEMBLY (BANQUET HALL)	3,214 SF NET 1 SF/OCCUPANT NET	460 OCCUPANTS
INDUSTRIAL (KITCHEN)	311 SF NET	2 OCCUPANTS
BUSINESS	1,975 SF 100 SF/OCCUPANT	21 OCCUPANTS
TOTAL OCCUPANT LOAD - LEVEL 1 483 OCCUPANTS		
LEVEL 2		
ASSEMBLY (BANQUET HALL)	2,382 SF NET 1 SF/OCCUPANT NET	341 OCCUPANTS
ASSEMBLY (BALCONY)	441 SF NET 1 SF/OCCUPANT NET	64 OCCUPANTS
INDUSTRIAL (KITCHEN)	311 SF NET	2 OCCUPANTS
BUSINESS	2,404 SF 100 SF/OCCUPANT	24 OCCUPANTS
TOTAL OCCUPANT LOAD - LEVEL 2 431 OCCUPANTS		
TOTAL OCCUPANT LOAD 914 OCCUPANTS		
<b>CONSTRUCTION TYPE(S)</b> (REFERENCE: CHAPTERS, TABLE A.8.2.1.2 AND COMMENTARY TABLE 6.1 IN HANDBOOK)		
III(200)		
<b>MINIMUM EXIT SEPARATION DISTANCE FOR REMOTELY LOCATED EXITS</b>		
(REFERENCE: SECTION 7.5, SPECIFY 1/2 OR 1/3 DIAGONAL DISTANCE OF AREA SERVED)		
1/3 DIAGONAL =	34'-2"	
<b>MAXIMUM DEAD-END CORRIDORS</b> (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.1.6)		
20'		
<b>MAXIMUM COMMON PATH OF TRAVEL DISTANCE</b> (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.1.6)		
75'		
<b>MAXIMUM TRAVEL DISTANCE TO EXITS</b> (REFERENCE: OCCUPANCY CHAPTER AND TABLE A.1.6)		
250'		
<b>EXTINGUISHMENT REQUIREMENTS</b> FULLY SPRINKLED		
<b>DETECTION, ALARM, AND COMMUNICATION SYSTEMS</b> THIS BUILDING SHALL HAVE A FULL FIRE ALARM		
<b>ALLOWABLE HEIGHT AND BUILDING AREA</b> PER IBC EQUIVALENT CONSTRUCTION TYPE		

# BUILDING CODE INFORMATION

<b>APPLICABLE CODES</b>		
IBC 2012		
ASSEMBLY GROUP A-2 (BANQUET HALL) (IBC 2012 SECTION 303)		
BUSINESS GROUP B (IBC 2012 SECTION 304)		
<b>OCCUPANT LOAD CALCULATIONS</b> (TABLE 1004.1.2)		
LEVEL 1		
ASSEMBLY (GROUP A-2)	3,214 SF NET 1 SF/OCCUPANT NET	460 OCCUPANTS
ASSEMBLY (GROUP A-2) - KITCHEN	311 SF NET	2 OCCUPANTS
BUSINESS (GROUP B)	1,975 SF 100 SF/OCCUPANT	20 OCCUPANTS
TOTAL OCCUPANT LOAD - LEVEL 1 482 OCCUPANTS		
LEVEL 2		
ASSEMBLY (GROUP A-2)	2,382 SF NET 1 SF/OCCUPANT NET	341 OCCUPANTS
ASSEMBLY (GROUP A-2) BALCONY	441 SF NET 1 SF/OCCUPANT NET	64 OCCUPANTS
ASSEMBLY (GROUP A-2) - KITCHEN	311 SF NET	2 OCCUPANTS
BUSINESS (GROUP B)	2,404 SF 100 SF/OCCUPANT	25 OCCUPANTS
TOTAL OCCUPANT LOAD - LEVEL 2 433 OCCUPANTS		
TOTAL OCCUPANT LOAD 914 OCCUPANTS		
<b>CONSTRUCTION TYPE(S)</b> (TABLE 503)		
III(B) (SECTION 503)		
<b>ALLOWABLE HEIGHT AND BUILDING AREA LIMITED BY TYPE OF CONSTRUCTION</b>		
MAXIMUM HEIGHT IN STORIES (SECTION 503 & 504, TABLE 503)	3	
MAXIMUM AREA IN SQUARE FEET (SECTION 503, 506 & 507, TABLE 503)	14,000	

# WIND SPEED DESIGN REQUIREMENTS

THIS BUILDING SHALL BE DESIGNED WITH IBC SEC 1609 AS A FULLY ENCLOSED BLDG USING THE FOLLOWING INFORMATION:

**WIND DESIGN DATA:**

DETERMINATION OF WIND LOADS SHALL BE IN ACCORDANCE WITH IBC SEC 1609.3 (A), (B), OR (C) DEPENDING ON THE RISK CATEGORY

BASIC WIND SPEED (3 SECOND GUST) = 132 MPH (IBC FIG 1609C)

RISK FACTOR: CATEGORY I BLDG SURFACE ROUGHNESS = C

TOPOGRAPHIC FACTOR = 1 EXPOSURE = C

DESIGN WIND PRESSURE (ASCE 7-10 TABLE 28.6-1): 34.7 PSF

INTERNAL PRESSURE COEFFICIENT (ASCE 7-10 TABLE 28.11-1): ± 0.18

LIVE LOADS (IBC SEC 1607)

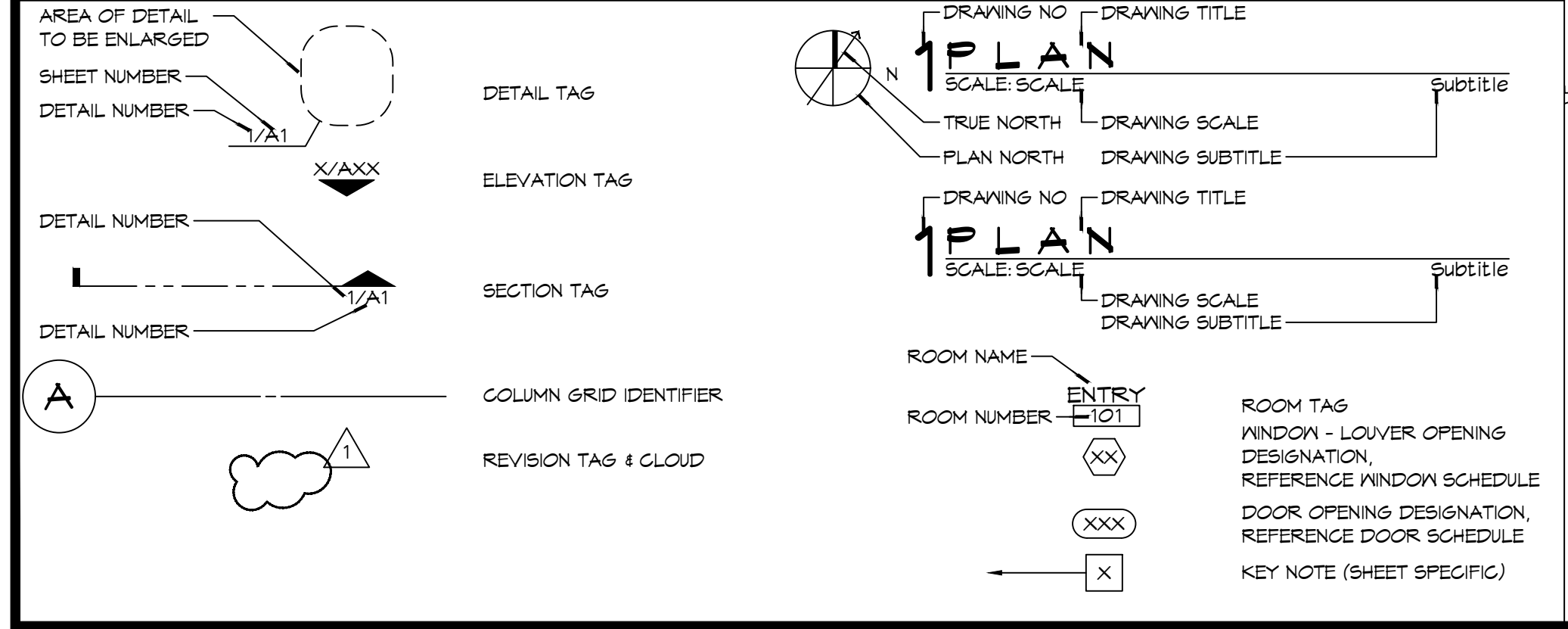
STORAGE, LIGHT (IBC TABLE 1607.1): 125 PSF

ROOF LIVE LOADS (IBC TABLE 1607.1): 20 PSF UNIFORM, 300 LB CONCENTRATED

SNOW LOADS (IBC TABLE 1608):

GROUND SNOW LOAD (IBC FIG 1608.2): 5 PSF

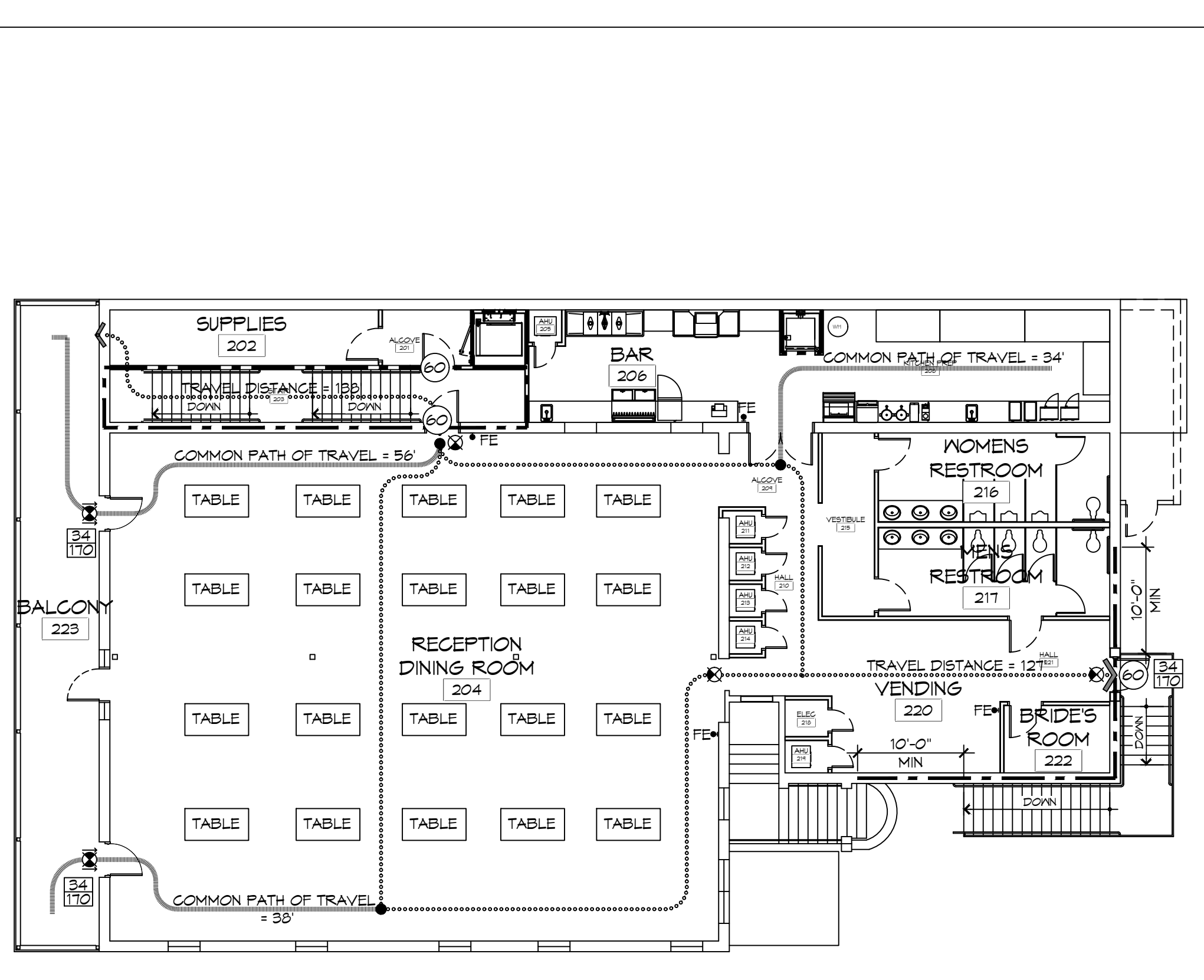
# GRAPHIC SYMBOLS



# RECEPTION HALL RENOVATION

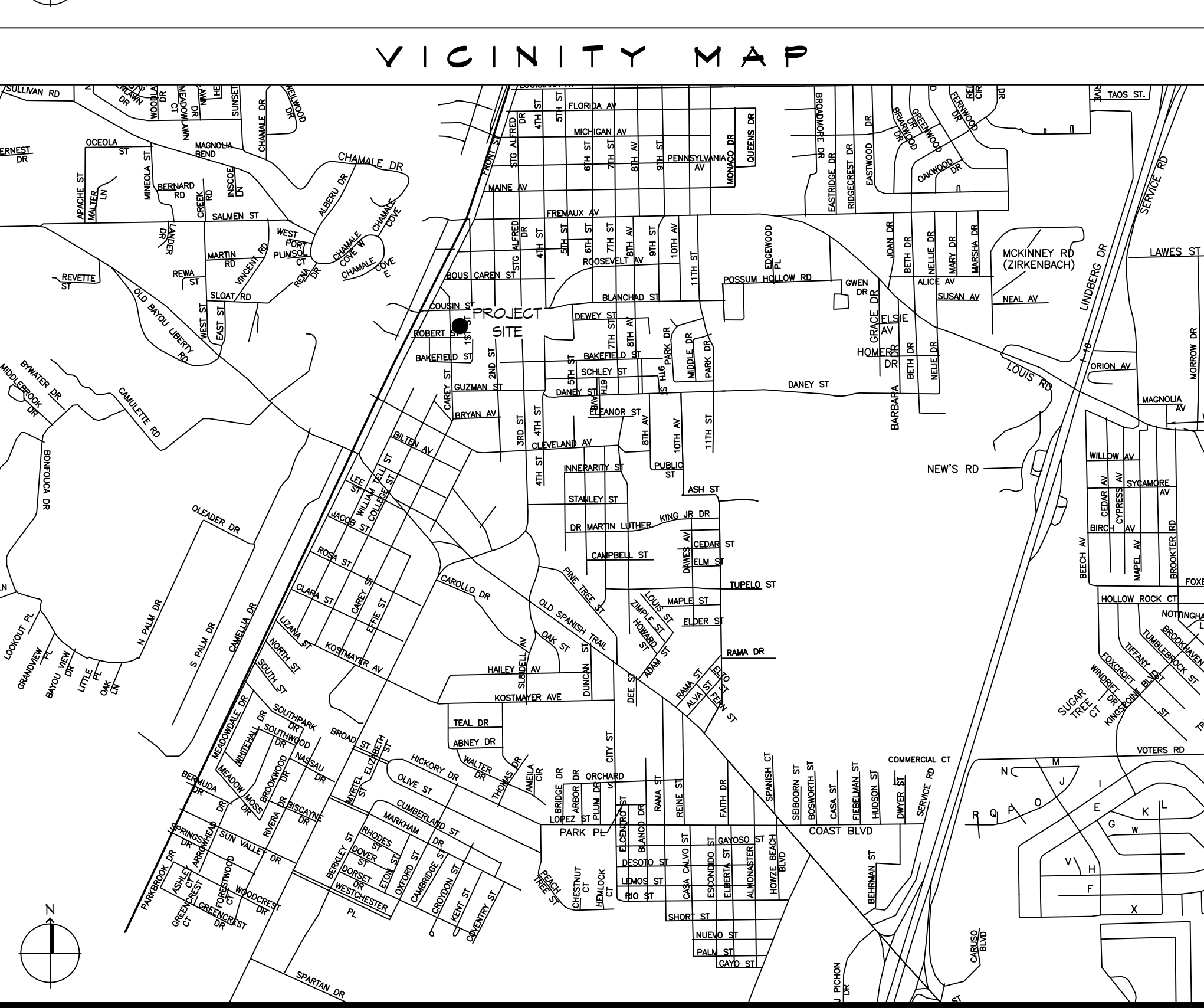
# BEV INCORPORATED

211 COUSIN STREET  
SLIDELL, LA 70458



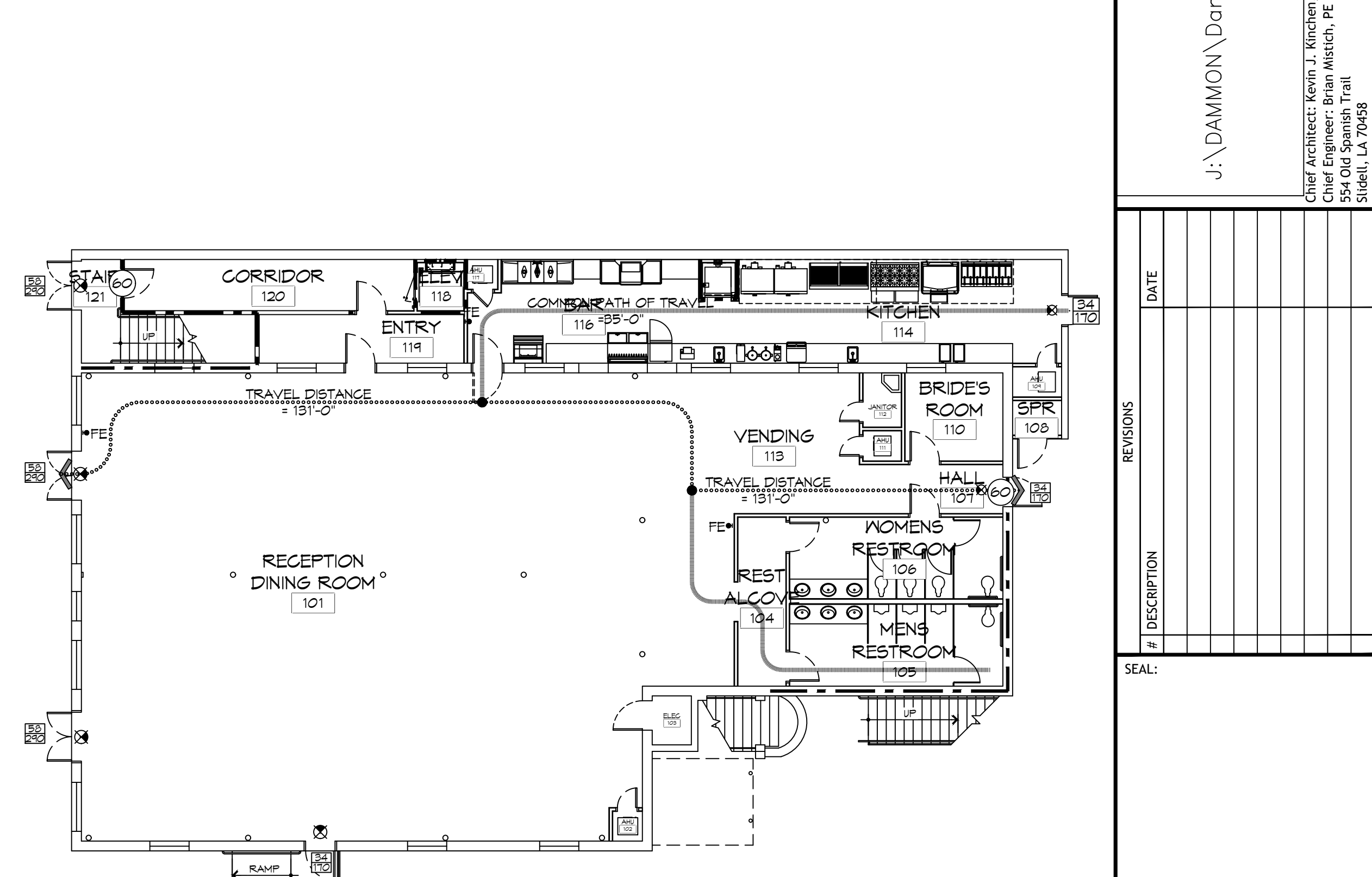
NOTE: ALL TABLES SHOWN IN DINING AREAS ARE 36"x60" (10 SF) UNO.

**2 LIFE-SAFETY PLAN - LEVEL 2**  
SCALE: 3/32" = 1'-0"



# LIFE-SAFETY LEGEND

SYMBOL	DESCRIPTION
↖	EXITS
45	DOOR FIRE RATING (MINUTES)
36/100	DOOR WIDTH/EGRESS CAPACITY
⊠	EXIT LIGHT
FE	FIRE EXTINGUISHER AND CABINET
FE	FIRE EXTINGUISHER W/ WALL MTD BRACKET
—	COMMON PATH OF TRAVEL
.....	TRAVEL DISTANCE
●	DECISION POINT
---	SMOKE PARTITION
---	ONE-HOUR FIRE RATED PARTITION
---	TWO-HOUR FIRE RATED PARTITION
---	TWO-HOUR FIRE/SMOKE PARTITION
---	FOUR-HOUR RATED PARTITION



**1 LIFE-SAFETY PLAN - LEVEL 1**  
SCALE: 3/32" = 1'-0"

# SHEET INDEX

SHEET #	SHEET TITLE
G1	GENERAL INFORMATION, LIFE-SAFETY PLANS, AND CODE DATA
G2	ADAAG INFORMATION SHEET
D1	DEMOLITION PLAN - LEVEL 1
D2	DEMOLITION PLAN - LEVEL 2
A1	ARCHITECTURAL FLOOR PLAN - LEVEL 1
A2	ARCHITECTURAL FLOOR PLAN - LEVEL 2
A3	SCHEDULES AND NOTES
A4	STAIRS PLAN, SECTIONS, ELEVATIONS, & DETAILS
P1	PLUMBING PLAN - LEVEL 1
P2	PLUMBING PLAN - LEVEL 2
P3	SANITARY RISERS & DETAILS
M1	MECHANICAL PLAN - LEVEL 1
M2	MECHANICAL PLAN - LEVEL 2
M3	MECHANICAL NOTES, SCHEDULES & DETAILS
E1	ELECTRICAL POWER PLAN - LEVEL 1
E2	ELECTRICAL LIGHTING PLAN - LEVEL 2
E3	ELECTRICAL POWER PLAN - LEVEL 1
E4	ELECTRICAL LIGHTING PLAN - LEVEL 2
E5	ELECTRICAL CIRCUIT PANELS & ONE-LINE DIAGRAMS

# GENERAL NOTES

- ALL MATERIALS AND WORK, INCIDENTAL TO THE CONSTRUCTION OF THIS PROJECT, SHALL CONFORM TO ALL GOVERNING CODES, AND REGULATIONS OF AGENCIES IN AUTHORITY.
- CONTRACTOR SHALL PROVIDE ALL PUBLIC PROTECTIONS NECESSARY AS REQUIRED BY LAW.
- THE DRAWINGS, SPECIFICATIONS AND ANY SUBSEQUENTLY ISSUED ADDENDA, AMENDMENTS OR SUCH CHANGE ORDERS APPROVED BY THE OWNER AND THE CONTRACTOR ARE PART OF THESE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS. CONSULT WITH THE ARCHITECT REGARDING ANY ITEMS IN THE CONTRACT DOCUMENTS THAT REQUIRE CLARIFICATION.
- TRASH SHALL BE REMOVED FROM THE SITE NOT LESS THAN TWICE MONTHLY.
- THE GENERAL CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND REPORT ANY AND ALL DISCREPANCIES TO THE ARCHITECT.
- CONTRACTOR VEHICLES AND EQUIPMENT NECESSARY FOR CONSTRUCTION MAY BE PARKED ON THE SITE. OTHER VEHICLES PARKED ON THE SITE REQUIRE THE OWNER'S PERMISSION.
- NAMING A CERTAIN BRAND, MAKE OR MANUFACTURER IS TO DESIGNATE THE GENERAL STYLE, TYPE, CHARACTER AND QUALITY STANDARD OF THE PRODUCT DESIRED. SUBSTITUTION REQUESTS MUST BE SUBMITTED PRIOR TO BIDDING.
- ALL MATERIALS/EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS. WORK NOT CONSISTENT WITH MANUFACTURER'S RECOMMENDATIONS WILL BE REJECTED BY OWNER/ARCHITECT.

# PROJECT STATISTICS

SQUARE FOOTAGE	
LEVEL 1	5,456 SF
LEVEL 2	5,397 SF
TOTAL ENCLOSED SPACE	10,853 SF
<b>PROJECT LOCATION:</b>	
211 COUSIN STREET SLIDELL, LA 70458	
OWNER: REED INGRAM	

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Civil Engineer: Brian Mischig, PE  
554 Old Spanish Trail  
Slidell, LA 70458

RECEPTION HALL RENOVATION FOR: **BEV, INCORPORATED**

211 COUSIN STREET  
SLIDELL, LOUISIANA 70458

JOB No: 2220 DATE: MARCH 13, 2015 CHECKED BY: K-K

DRAWN BY: K-K

SHEET TITLE: GENERAL INFORMATION, LIFE-SAFETY PLANS, AND CODE DATA

DRAWING NUMBER: **G1**

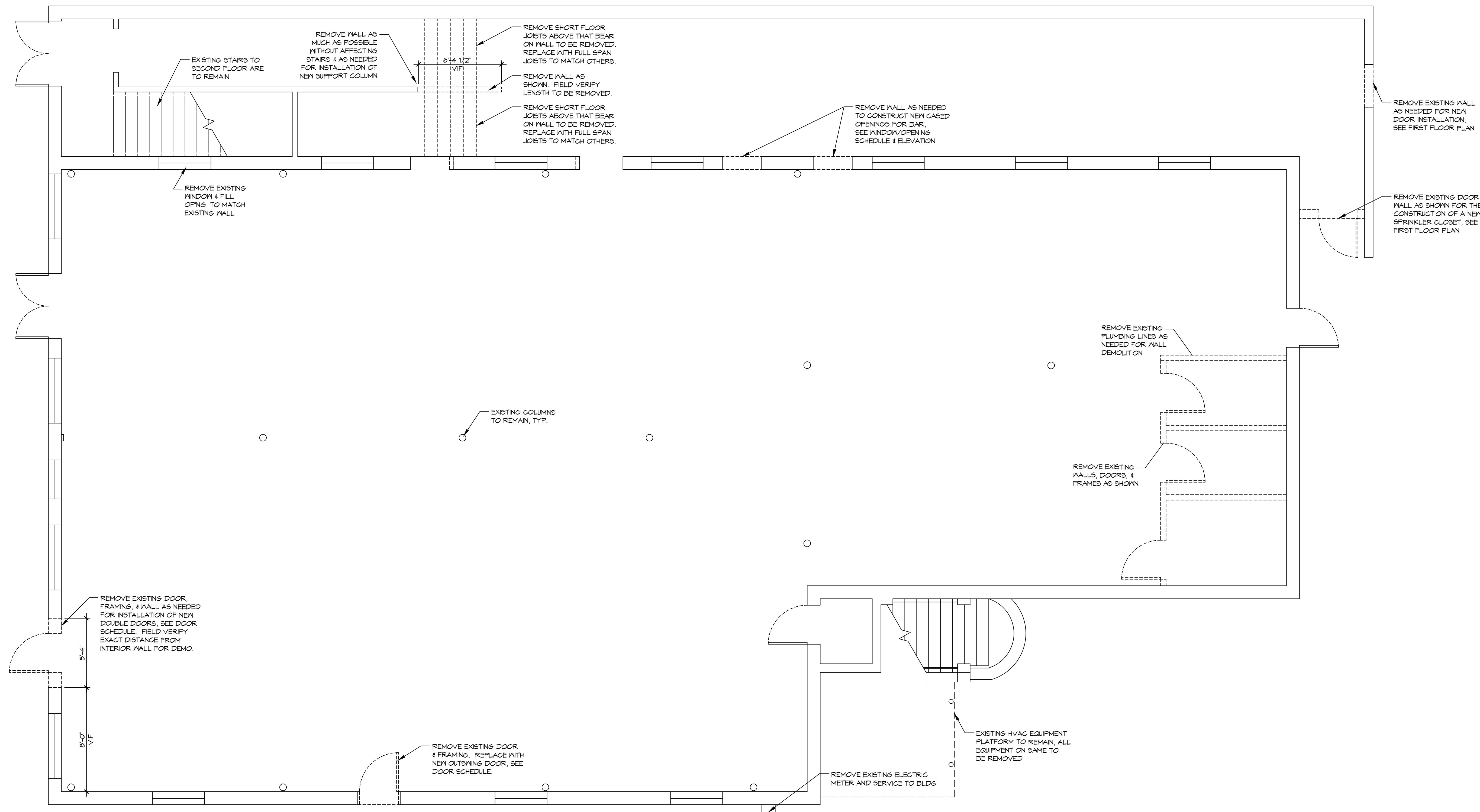
SHEET No: 1 of 19





## GENERAL DEMOLITION NOTES

1. REMOVE AS REQUIRED TO ACCOMPLISH WORK INDICATED IN THESE DOCUMENTS.
2. THE DEMOLITION PLANS ARE DERIVED FROM EXISTING BUILDING PLANS AND ARE INTENDED TO REASONABLY REPRESENT EXISTING CONDITIONS. ILLUSTRATIONS, DIMENSIONS, AND INFORMATION IN THESE DRAWINGS ARE BASED, IN PART, ON EXISTING INFORMATION FURNISHED BY THE OWNER. ACTUAL CONDITIONS MAY DEVIATE FROM THAT SHOWN ON THE DRAWINGS. THE DEMOLITION KEYNOTES IDENTIFY SPECIFIC AREAS OF WORK BUT MAY NOT BE COMPLETE IN THE IDENTIFICATION OF ALL REMOVALS. THE CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND COORDINATE THE DEMOLITION WITH NEW WORK SO THAT DEMOLITION IS COMPLETE.
3. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE ENTIRE SET OF CONSTRUCTION DRAWINGS. DO NOT REMOVE ANY ITEMS WITHOUT VERIFYING AND COORDINATING WITH ALL GENERAL TRADES AS TO HOW THEY RELATE TO THE OVERALL PROJECT.
4. THE CONTRACTOR MUST TAKE ALL NECESSARY PRECAUTIONS TO ENSURE THE SAFETY OF THE PUBLIC AND/OR WORKMEN ON THE SITE TO PREVENT ACCIDENTS OR INJURY TO ANY PERSON ON OR ADJACENT TO THE PREMISES. THE CONTRACTOR SHALL COMPLY WITH ALL LAWS, ORDINANCES, AND REGULATIONS PERTAINING TO SAFETY AND THE PREVENTION OF ACCIDENTS.
5. WHEN DEMOLITION TAKES PLACE, SHOULD ANY WORK AFFECT THE INTEGRITY OF THE STRUCTURE, WORK MUST STOP IMMEDIATELY, AND DAMMON ENGINEERING NOTIFIED. UNDER NO CIRCUMSTANCES SHALL REINFORCING OF ANY KIND BE DAMAGED, CUT, OR BROKEN.



#	DESCRIPTION	REVISIONS	DATE

SEAL:

**RECEPTION HALL RENOVATION FOR:**

BEV, INCORPORATED

211 COBIN STREET  
SLIDELL, LOUISIANA 70459  
JOB No: 2220 DATE: MARCH 08-2015  
DRAWN BY: KJK CHECKED BY: CASD

SHEET TITLE:  
DEMOLITION PLAN  
- LEVEL 1

DRAWING NUMBER:  
  
D1

SHEET No: 3 of 19

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Chief Architect: Kevin J. Kinchen, NCARB  
Chief Engineer: Brian Mistich, PE

PLT NAME: A:\Cadd\Jobs\Revamp\Revamp.dwg - 08/24/2015 10:00:00 AM - 08/24/2015 10:00:00 AM - 08/24/2015 10:00:00 AM

**1 DEMOLITION PLAN - LEVEL 1**  
SCALE: 1/4" = 1'-0"

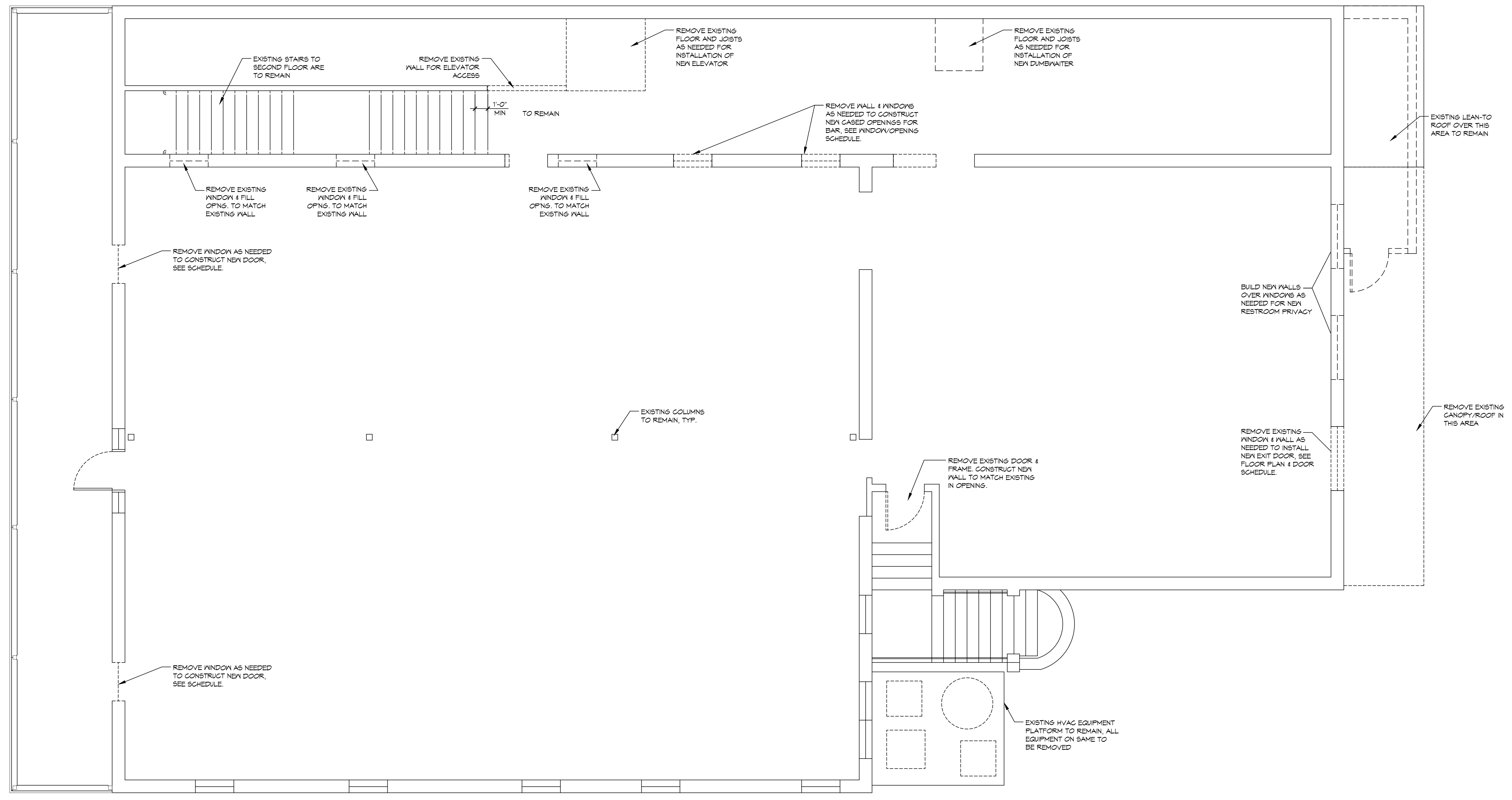
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# GENERAL SHEET NOTES

1. SEE SHEET D1 FOR GENERAL DEMOLITION NOTES.

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#	DESCRIPTION	REVISIONS	DATE

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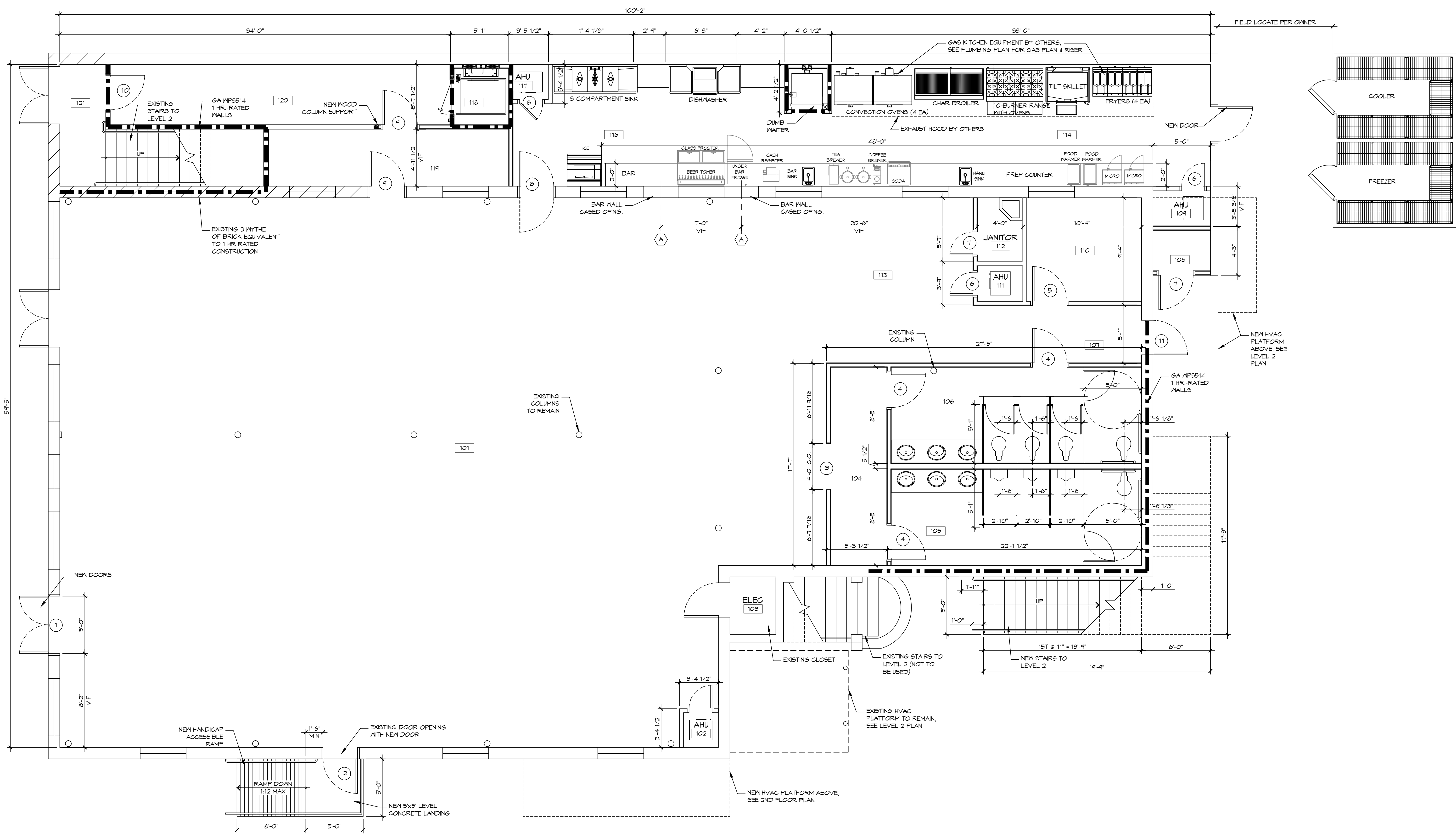
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**BEV, INCORPORATED**  
 211 COBIN STREET  
 SUITE 10450  
 SUDELL, LOUISIANA 70450  
 JOB NO: 2320 DATE: MARCH 13, 2015  
 DRAWN BY: KJK CHECKED BY: CASD

SHEET TITLE:  
DEMOLITION PLAN  
- LEVEL 2

DRAWING NUMBER:  
**D2**  
SHEET No: 4 of 19

# GENERAL SHEET NOTES

1. ALL DIMENSIONS ARE FACE-OF-WALL TO FACE-OF-WALL UNLESS NOTED OTHERWISE.
2. GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES WITH THE PLANS IN RELATION TO THE EXISTING FIELD CONDITIONS.
3. ALL MANUFACTURED ARTICLES, MATERIALS, AND EQUIPMENT SHALL BE CONDITIONED, USED APPLIED, INSTALLED, CONNECTED, ERECTED, AND CLEANED IN ACCORDANCE WITH THE MANUFACTURERS WRITTEN SPECIFICATIONS OR INSTRUCTIONS.
4. WRAP AROUND ALL ARCHITECTURAL, MECHANICAL, OR ELECTRICAL BOXES, RECESSED/PENETRATED INTO ANY FIRE-RATED WALLS WITH 5/8" TYPE 'X' GYPSUM BOARD UNLESS WALL IS OF CONCRETE CONSTRUCTION.



#	DESCRIPTION	REVISIONS	DATE

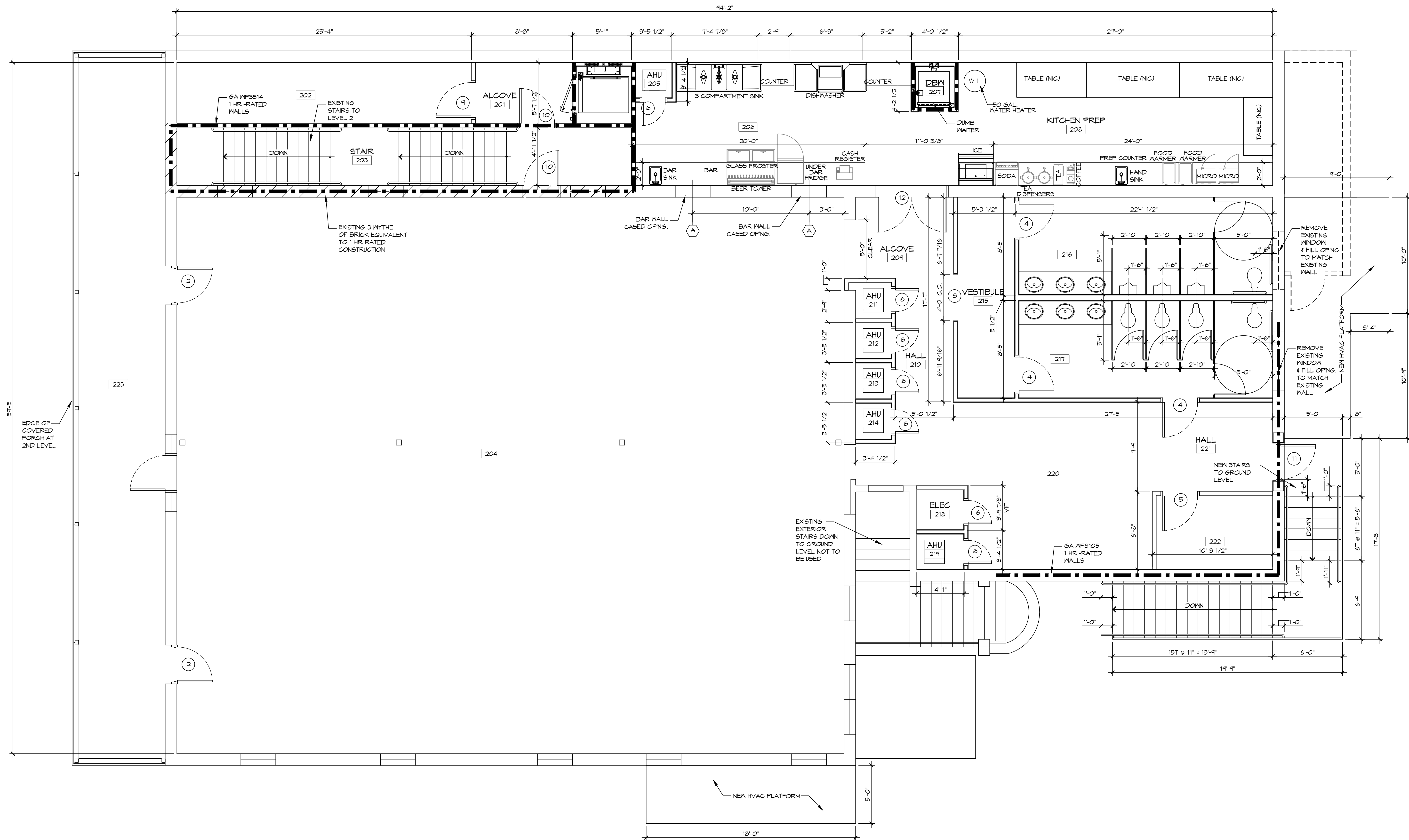
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**BEV, INCORPORATED**  
 211 COBIN STREET  
 SLIDELL, LOUISIANA 70469  
 JOB NO: 2220 DATE: MARCH 13, 2015  
 DRAWN BY: JTL CHECKED BY: CSD

SHEET TITLE:  
 ARCHITECTURAL FLOOR PLAN - LEVEL 1  
 DRAWING NUMBER:  
**A1**  
 SHEET No: 5 of 19

J:\DAMMON\Dammon Logo\Dammon Logo\_Banner.jpg  
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**1 ARCHITECTURAL FLOOR PLAN - LEVEL 1**  
 SCALE: 1/4" = 1'-0"

FILE NAME: J:\Projects\2015\20150313\20150313\_01.dwg PLOT DATE: 3/13/2015 10:45:40 AM PLOT BY: KJK



1 ARCHITECTURAL FLOOR PLAN - LEVEL 2  
SCALE: 1/4" = 1'-0"

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Chief Architect: Kevin J. Kinchen, NCARB  
Chief Engineer: Brian Mistich, PE

#	DESCRIPTION	REVISIONS	DATE

SEAL:

RECEPTION HALL RENOVATION FOR:

**BEV, INCORPORATED**

211 COBIN STREET  
SLIDELL, LOUISIANA 70459  
JOB No: 2220 DATE: MARCH 13, 2015  
DRAWN BY: KJK CHECKED BY: KJK

SHEET TITLE:  
ARCHITECTURAL FLOOR  
PLAN - LEVEL 2

DRAWING NUMBER:

**A2**

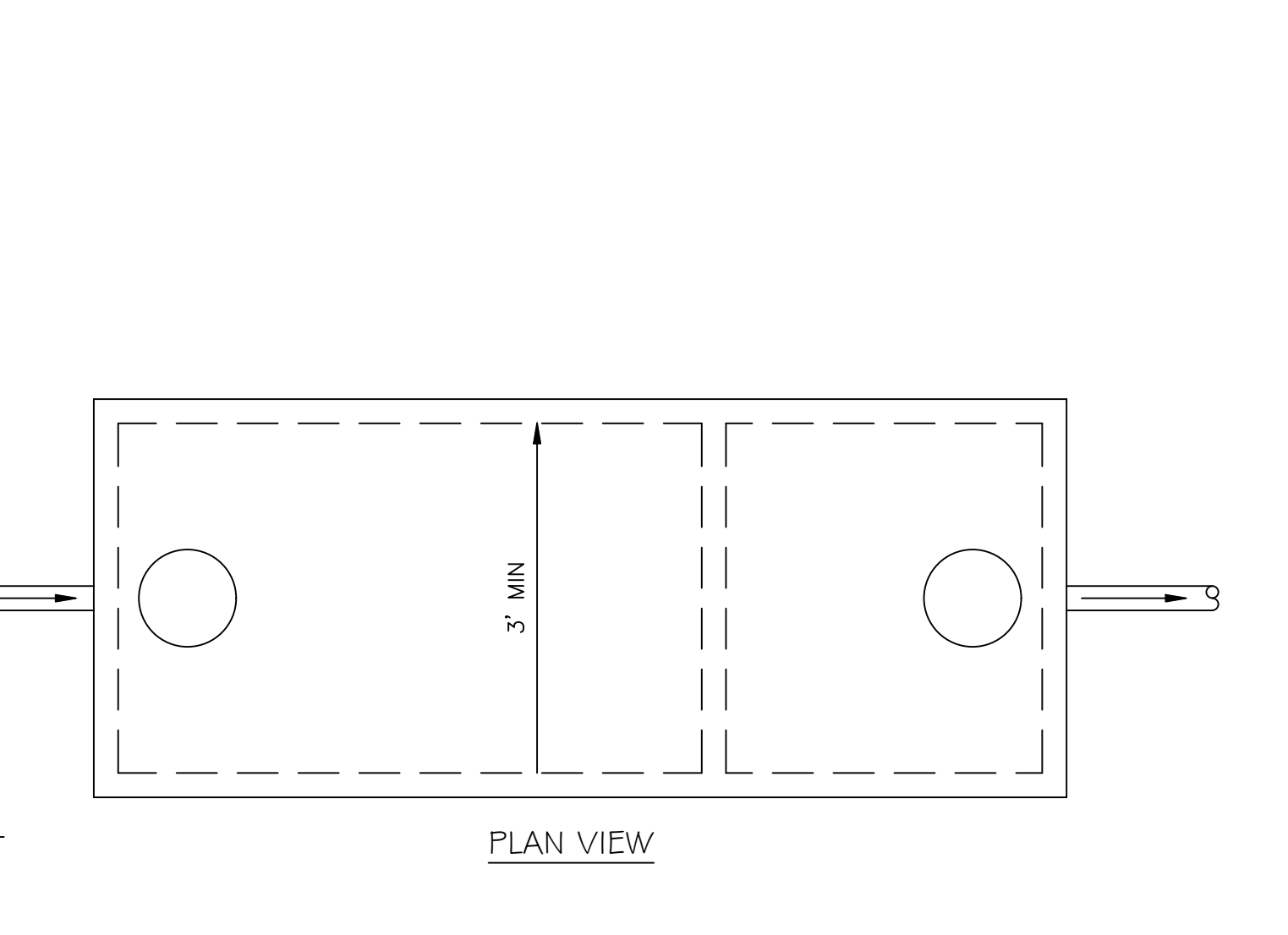
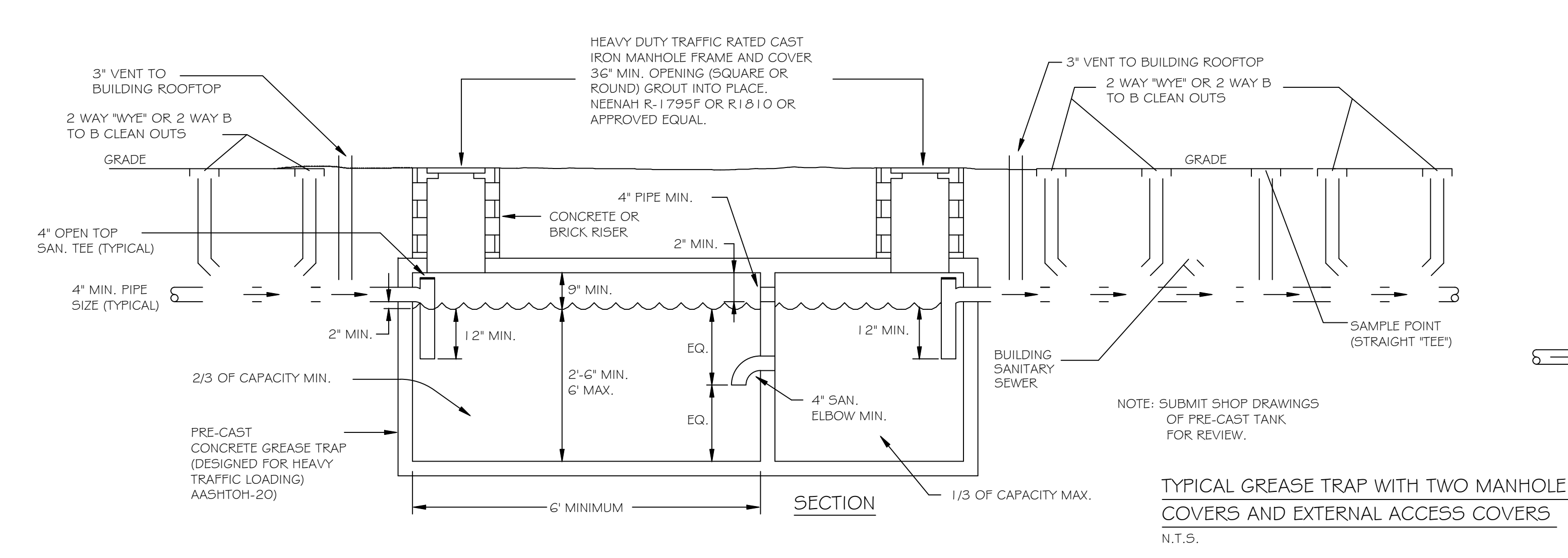
SHEET No: 6 of 19



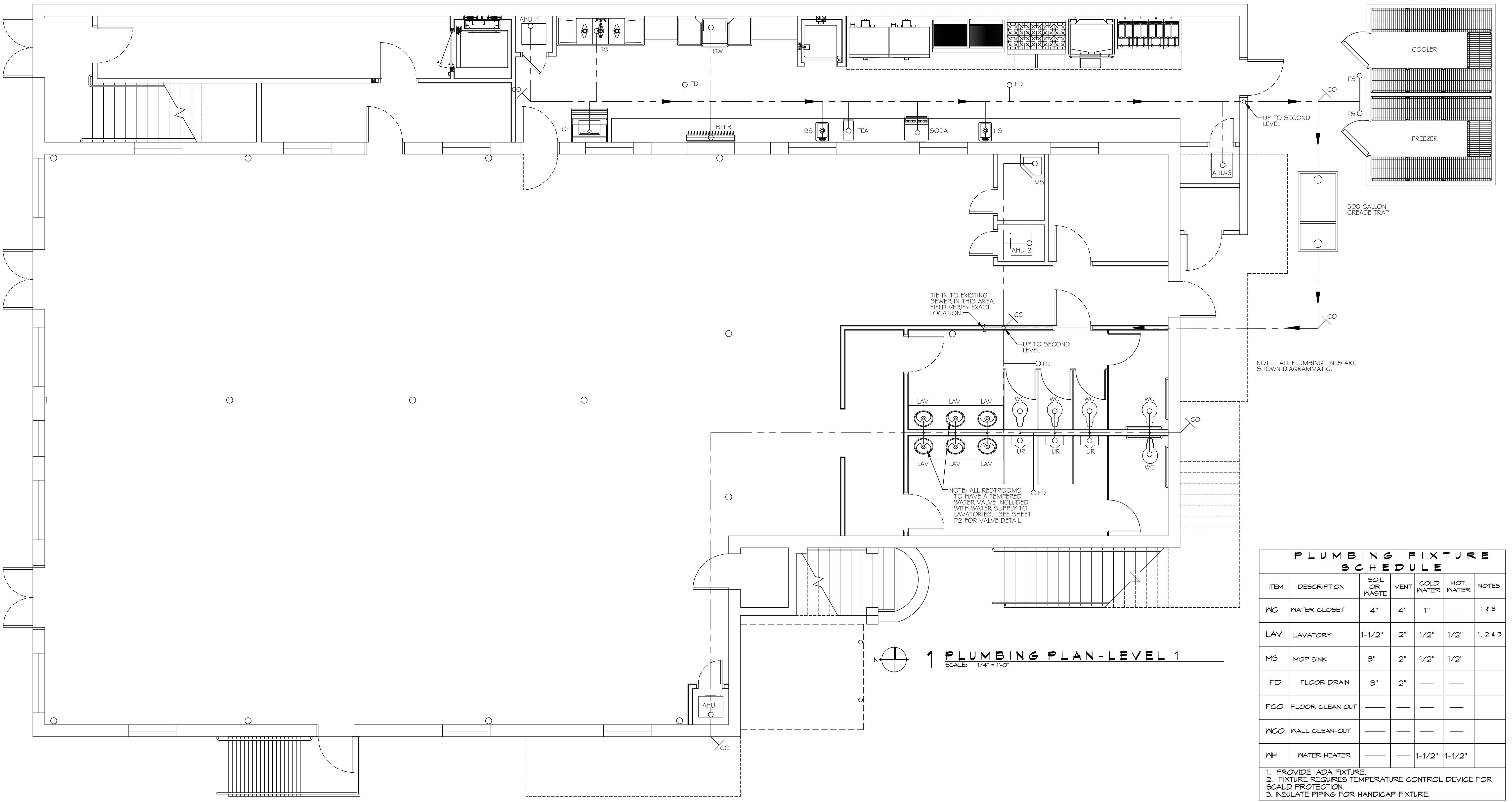




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- ### PLUMBING NOTES
1. PROVIDE ALL LABOR, MATERIAL AND EQUIPMENT FOR A COMPLETE OPERATING SYSTEM. THE SYSTEM SHALL INCLUDE HOT AND COLD WATER PIPING, SEWER AND VENT PIPING, INSULATION, WATER HEATER, HANGERS, VALVES & SUPPORTS WITHOUT ANY RESTRICTIONS TO FLOW. CUT AND PATCH AS REQUIRED TO INSTALL PIPES.
  2. ALL WORK AND MATERIAL SHALL CONFORM STRICTLY TO THE LATEST LOCAL, CITY, PARISH, STATE AND NATIONAL GOVERNING CODES.
  3. CONTRACTOR IS TO FIELD VERIFY ALL EXISTING UTILITY LOCATIONS, ELEVATIONS AND SIZES PRIOR TO COMMENCING ANY WORK. CONTRACTOR SHALL PAY NECESSARY FEES FOR THE UTILITIES CONNECTIONS.
  4. CONTRACTOR IS RESPONSIBLE TO VERIFY THE EXISTING INVERTS AND SET NEW INVERTS OF SEWERAGE AND DRAINAGE PIPES.
  5. SEWERAGE LINES 3-INCH AND SMALLER SHALL BE SLOPED 1/8\"/>



### PLUMBING FIXTURE SCHEDULE

ITEM	DESCRIPTION	SOIL OR WASTE	VENT	COLD WATER	HOT WATER	NOTES
WC	WATER CLOSET	4"	4"	1"	—	1, 4, 3
LAV	LAVATORY	1-1/2"	2"	1/2"	1/2"	1, 2, 4, 3
MS	MOP SINK	3"	2"	1/2"	1/2"	—
FD	FLOOR DRAIN	3"	2"	—	—	—
FCO	FLOOR CLEAN OUT	—	—	—	—	—
WCO	WALL CLEAN-OUT	—	—	—	—	—
WH	WATER HEATER	—	—	1-1/2"	1-1/2"	—

1. PROVIDE ADA FIXTURE  
 2. FIXTURE REQUIRES TEMPERATURE CONTROL DEVICE FOR SCALD PROTECTION.  
 3. INSULATE PIPING FOR HANDICAP FIXTURE.

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REVISIONS	DATE

# DESCRIPTION  
 SEAL:

RECEPTION HALL RENOVATION FOR:

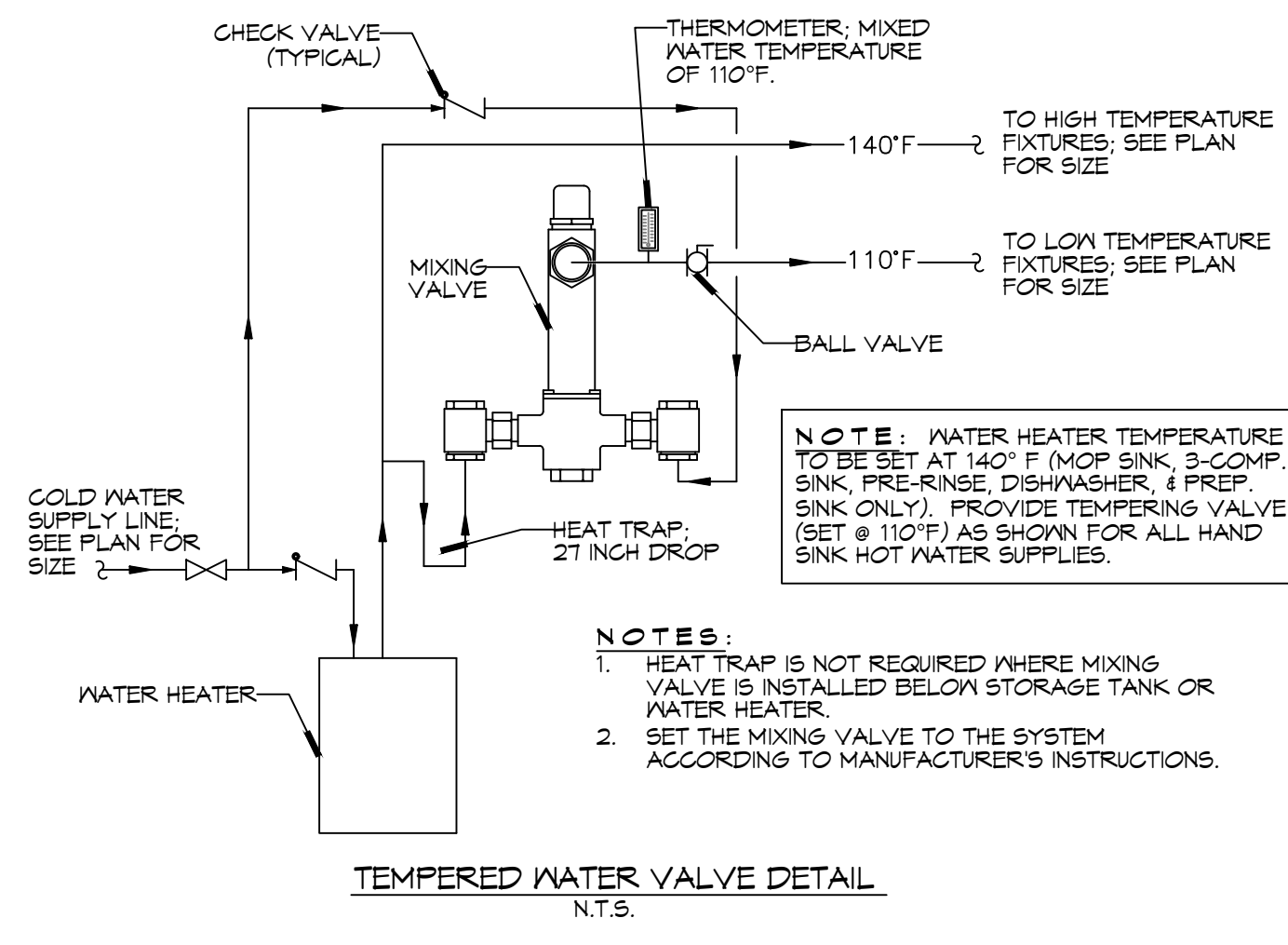
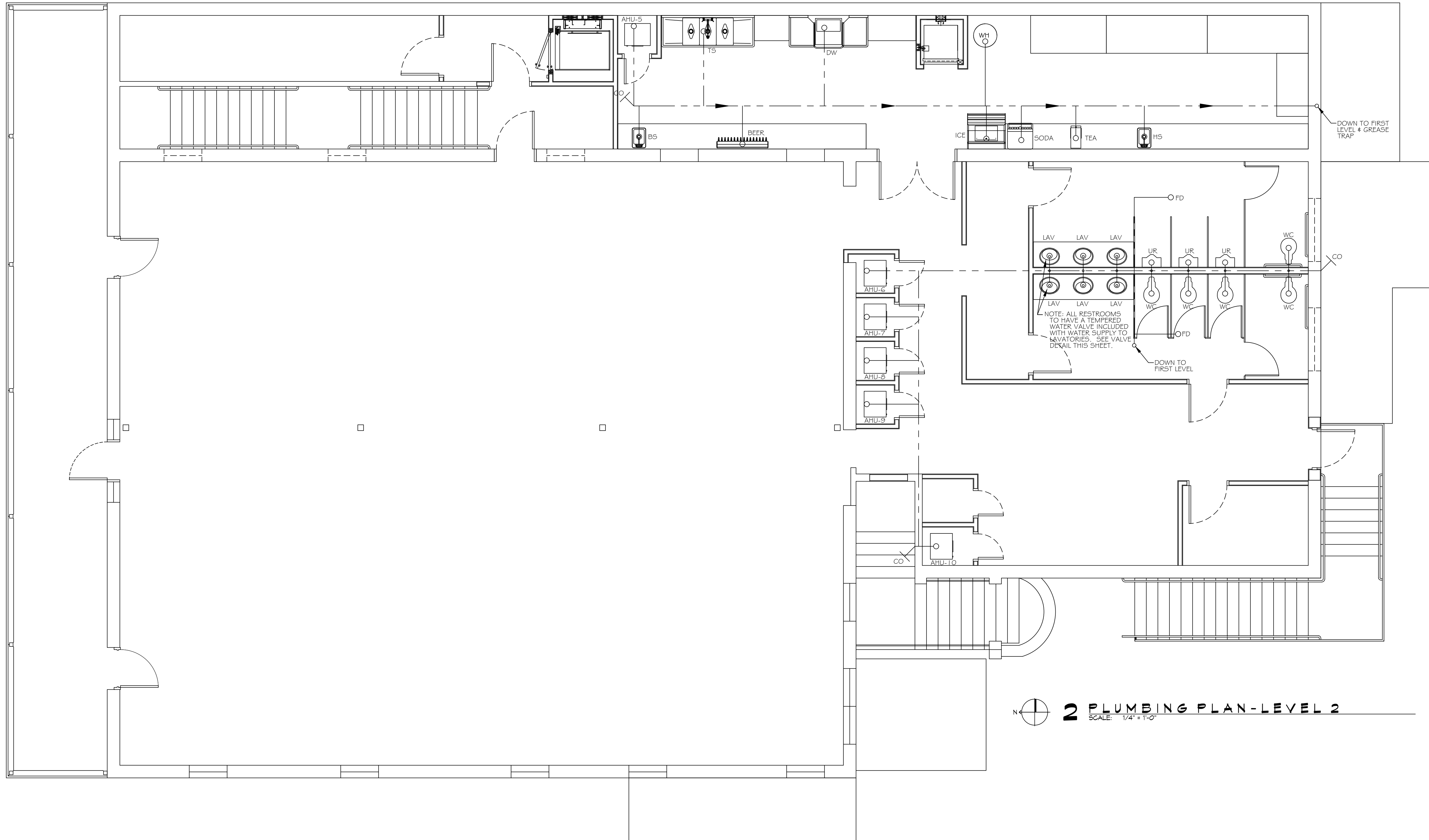
# BEV, INCORPORATED

211 COBURN STREET  
 SLIDELL, LOUISIANA 70458  
 JOB No: 2220 DATE: MARCH 13, 2015  
 DRAWN BY: KJK CHECKED BY: CASD

SHEET TITLE:  
 PLUMBING PLAN  
 LEVEL 1

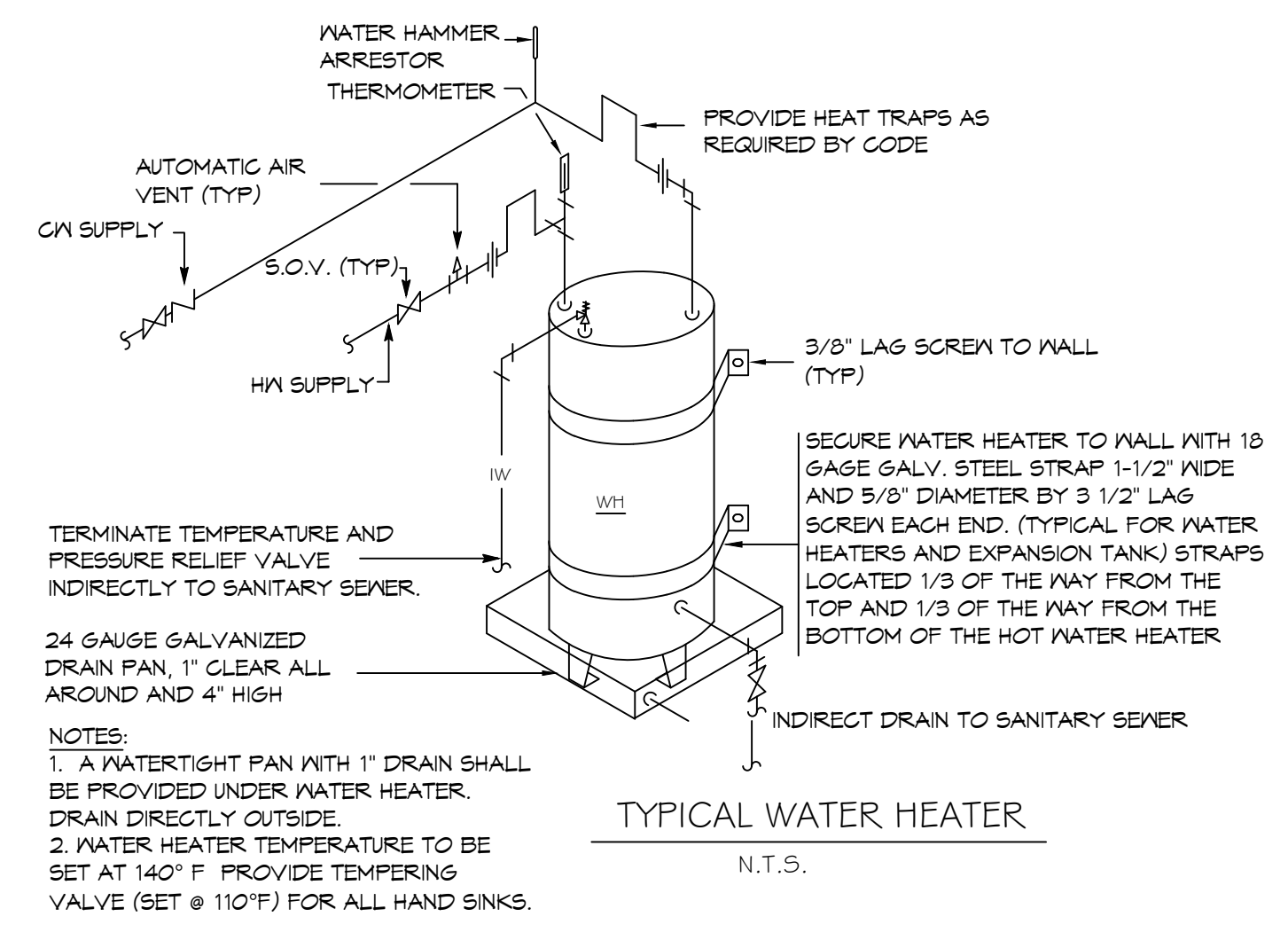
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01

SHEET No: 9 of 19



PLUMBING FIXTURE SCHEDULE						
ITEM	DESCRIPTION	SOIL OR WASTE	VENT	COLD WATER	HOT WATER	NOTES
WC	WATER CLOSET	4"	4"	1"	—	1, 4, 9
LAV	LAVATORY	1-1/2"	2"	1/2"	1/2"	1, 2, 4, 9
MS	MOP SINK	3"	2"	1/2"	1/2"	
FD	FLOOR DRAIN	3"	2"	—	—	
FCO	FLOOR CLEAN OUT	—	—	—	—	
WCO	WALL CLEAN-OUT	—	—	—	—	
WH	WATER HEATER	—	—	1-1/2"	1-1/2"	

1. PROVIDE ADA FIXTURE.  
2. FIXTURE REQUIRES TEMPERATURE CONTROL DEVICE FOR SCALD PROTECTION.  
3. INSULATE PIPING FOR HANDICAP FIXTURE.



2 PLUMBING PLAN-LEVEL 2  
SCALE: 1/4" = 1'-0"

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#	DESCRIPTION	REVISIONS	DATE

RECEPTION HALL RENOVATION FOR:  
**BEV, INCORPORATED**

211 COBIN STREET  
SLIDELL, LOUISIANA 70459  
JOB No: 2220 DATE: MARCH 13, 2015  
DRAWN BY: KJK CHECKED BY: CASD

SHEET TITLE:  
PLUMBING PLAN  
LEVEL 2

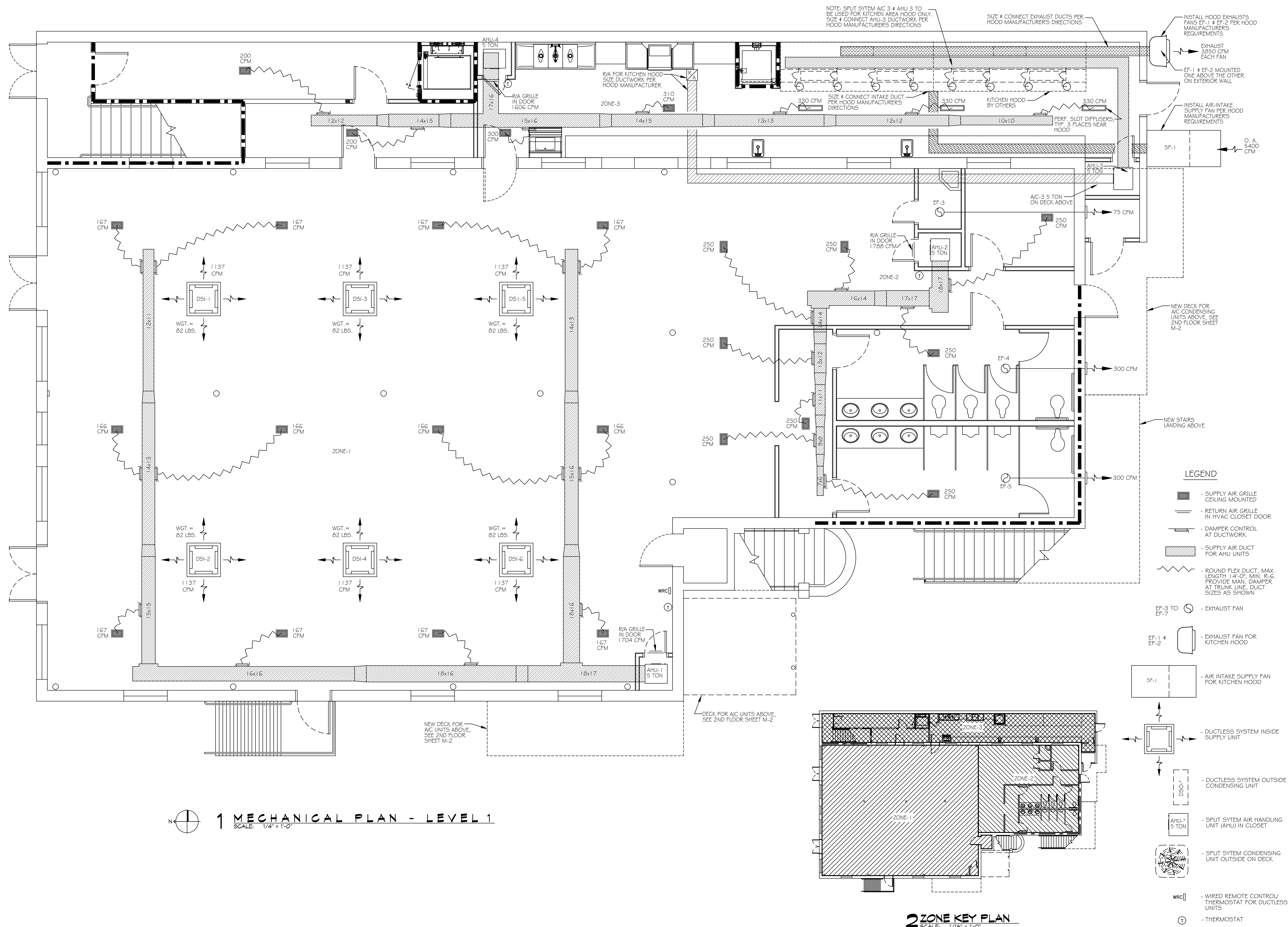
DRAWING NUMBER:  
**02**

SHEET No: 10 of 19





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 PLOT DATE: 03/13/2015 10:45:59 AM  
 PLOT BY: KJK



**1 MECHANICAL PLAN - LEVEL 1**  
 SCALE: 1/4" = 1'-0"

**2 ZONE KEY PLAN**  
 SCALE: 1/16" = 1'-0"

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 254 Old Spanish Trail  
 Slidell, LA 70458  
 Chief Architect: Kevin J. Kinchen, N.CARB  
 Chief Engineer: Brian Misch, PE

#	DESCRIPTION	DATE

REVISIONS:      SEAL:

**RECEPTION HALL RENOVATION FOR:**  
**BEV, INCORPORATED**

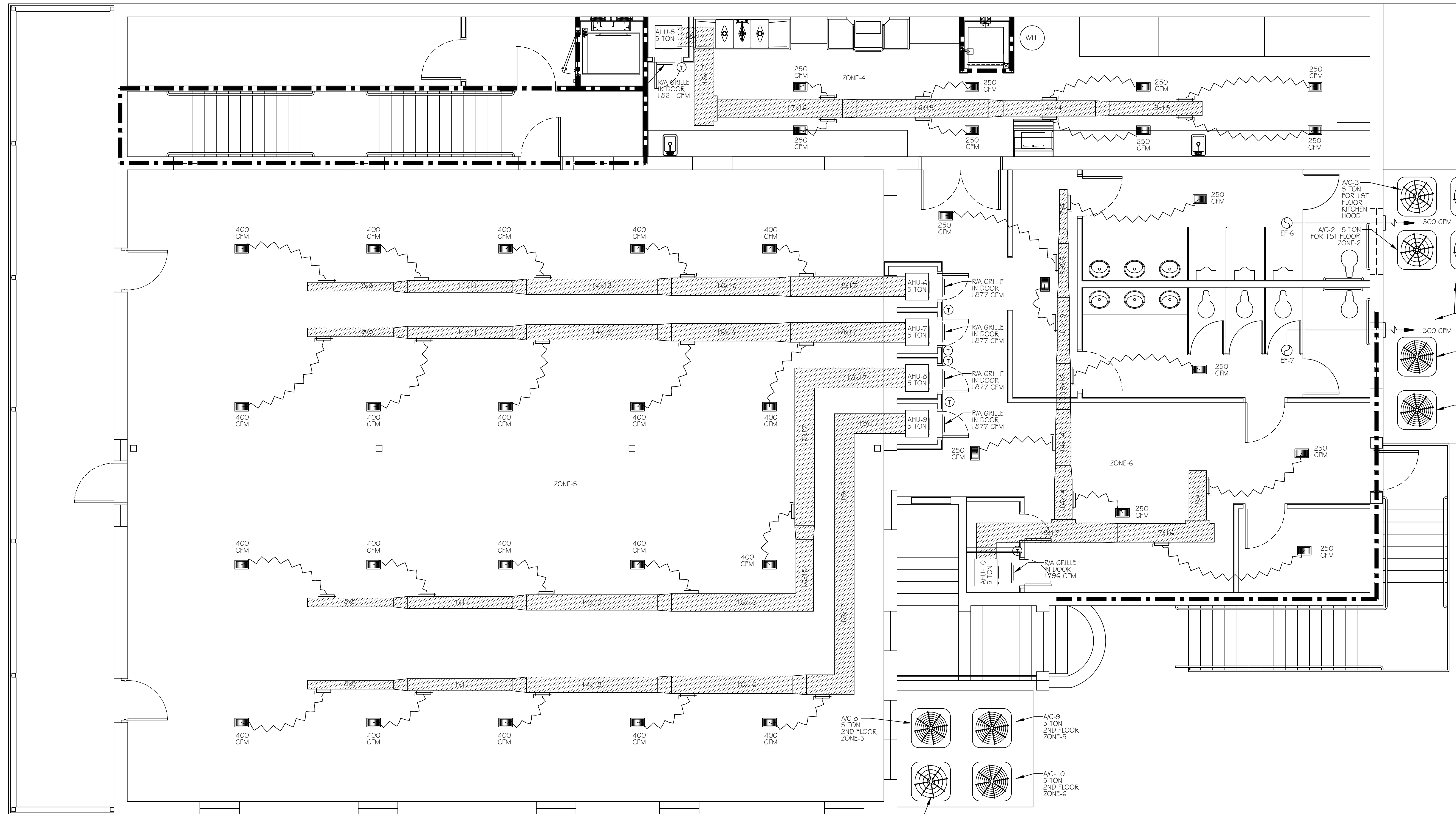
211 COBIN STREET  
 SLIDELL, LOUISIANA 70458  
 JOB No: 2220    DATE: MARCH 13, 2015  
 DRAWN BY: KJK    CHECKED BY: CSD

SHEET TITLE:  
**MECHANICAL PLAN LEVEL 1**

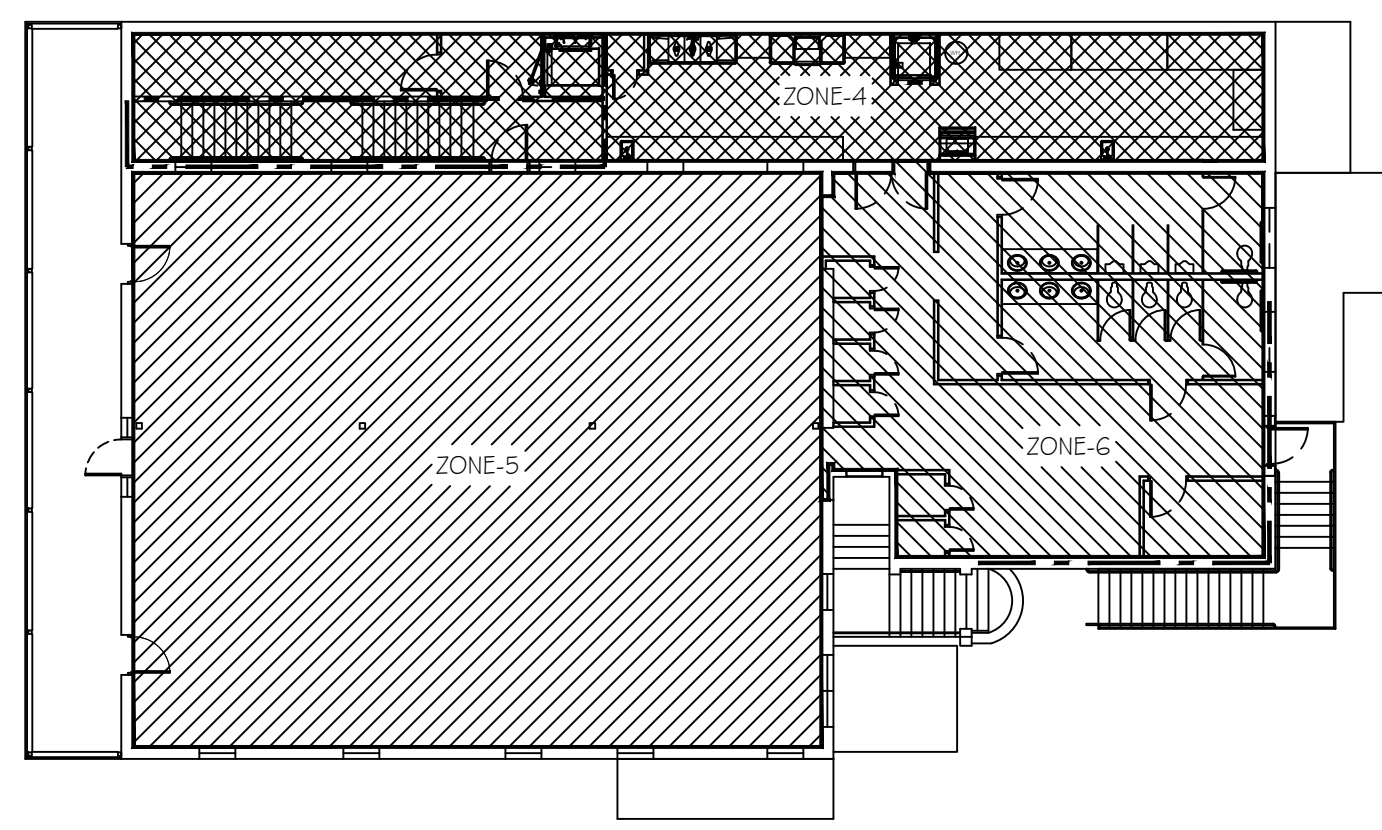
DRAWING NUMBER:

M1

SHEET No:      12 of 19



- LEGEND**
- SUPPLY AIR GRILLE CEILING MOUNTED
  - RETURN AIR GRILLE IN HVAC CLOSET DOOR
  - DAMPER CONTROL AT DUCTWORK
  - SUPPLY AIR DUCT FOR AHU UNITS
  - ROUND FLEX DUCT, MAX. LENGTH 14'-0", MIN. R.G. PROVIDE MAN. DAMPER AT TRUNK LINE. DUCT SIZES AS SHOWN
  - EXHAUST FAN
  - DUCTLESS SYSTEM OUTSIDE CONDENSING UNIT (FOR 1ST FLOOR)
  - SPLIT SYSTEM AIR HANDLING UNIT (AHU) IN CLOSET
  - SPLIT SYSTEM CONDENSING UNIT OUTSIDE ON DECK (FOR 1ST FLOOR)
  - SPLIT SYSTEM CONDENSING UNIT OUTSIDE ON DECK (FOR 2ND FLOOR)
  - THERMOSTAT



**2 ZONE KEY PLAN**  
SCALE: 1/16" = 1'-0"

**1 MECHANICAL PLAN - LEVEL 2**  
SCALE: 1/4" = 1'-0"

#	DESCRIPTION	DATE

RECEPTION HALL RENOVATION FOR:  
**BEV, INCORPORATED**

211 COBIN STREET  
SLIDELL, LOUISIANA 70459  
JOB No: 2220 DATE: MARCH 08-2013  
DRAWN BY: KJK CHECKED BY: CASD

SHEET TITLE:  
MECHANICAL PLAN  
LEVEL 2

DRAWING NUMBER:  
**M2**

SHEET No: 13 of 19

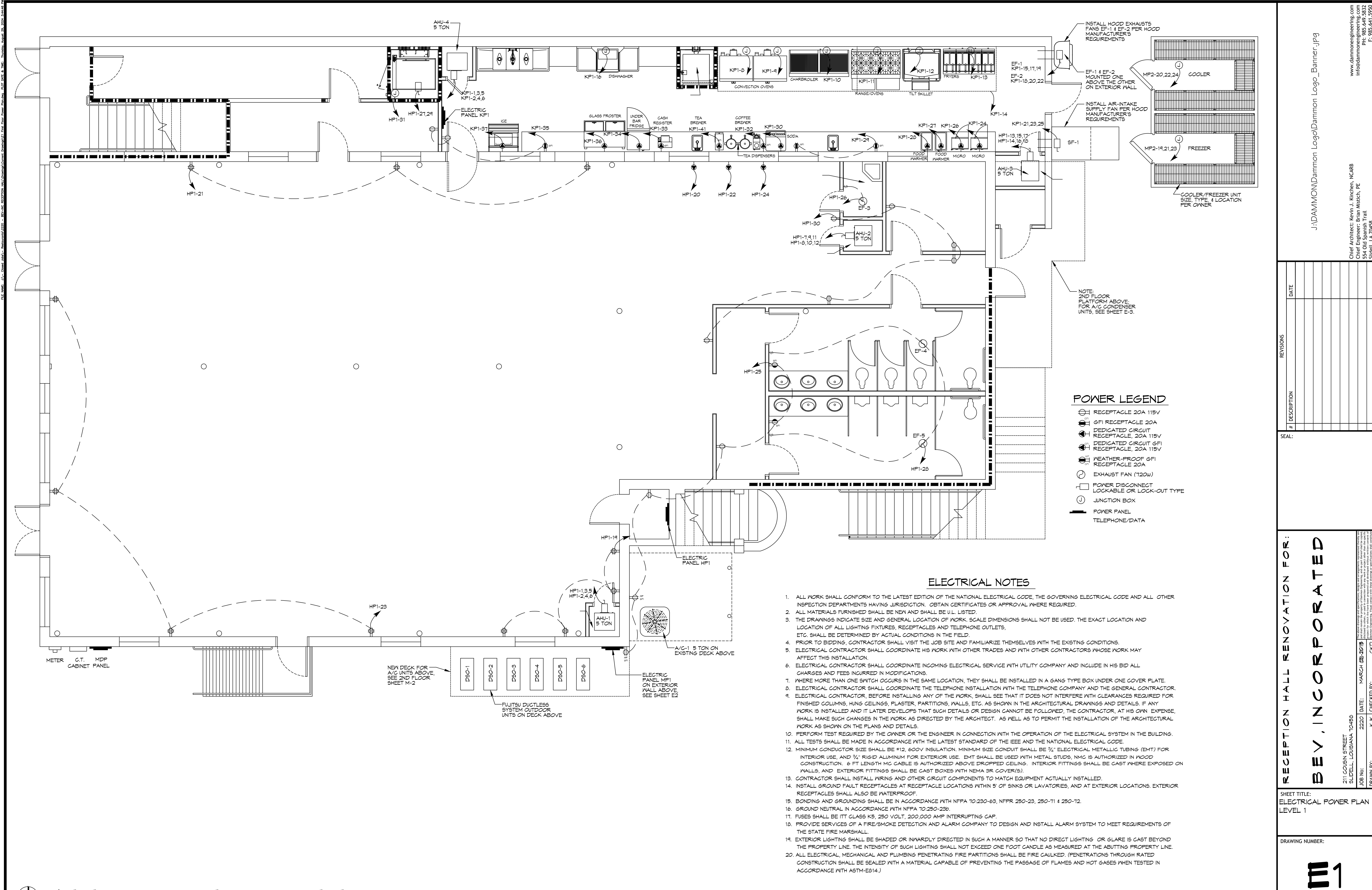
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Chief Architect: Kevin J. Kinchen, N.CARB  
Chief Engineer: Brian Mistich, PE







**1 ELECTRICAL POWER PLAN - LEVEL 1**  
SCALE: 1/4" = 1'-0"

**POWER LEGEND**

- RECEPTACLE 20A 115V
- GFI RECEPTACLE 20A
- DEDICATED CIRCUIT RECEPTACLE, 20A 115V
- DEDICATED CIRCUIT GFI RECEPTACLE, 20A 115V
- WEATHER-PROOF GFI RECEPTACLE 20A
- EXHAUST FAN (T20W)
- POWER DISCONNECT LOCKABLE OR LOCK-OUT TYPE
- JUNCTION BOX
- POWER PANEL TELEPHONE/DATA

**ELECTRICAL NOTES**

1. ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE, THE GOVERNING ELECTRICAL CODE AND ALL OTHER INSPECTION DEPARTMENTS HAVING JURISDICTION. OBTAIN CERTIFICATES OR APPROVAL WHERE REQUIRED.
2. ALL MATERIALS FURNISHED SHALL BE NEW AND SHALL BE U.L. LISTED.
3. THE DRAWINGS INDICATE SIZE AND GENERAL LOCATION OF WORK. SCALE DIMENSIONS SHALL NOT BE USED. THE EXACT LOCATION AND LOCATION OF ALL LIGHTING FIXTURES, RECEPTACLES AND TELEPHONE OUTLETS, ETC. SHALL BE DETERMINED BY ACTUAL CONDITIONS IN THE FIELD.
4. PRIOR TO BIDDING, CONTRACTOR SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS.
5. ELECTRICAL CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES AND WITH OTHER CONTRACTORS WHOSE WORK MAY AFFECT THIS INSTALLATION.
6. ELECTRICAL CONTRACTOR SHALL COORDINATE INCOMING ELECTRICAL SERVICE WITH UTILITY COMPANY AND INCLUDE IN HIS BID ALL CHARGES AND FEES INCURRED IN MODIFICATIONS.
7. WHERE MORE THAN ONE SWITCH OCCURS IN THE SAME LOCATION, THEY SHALL BE INSTALLED IN A GANG TYPE BOX UNDER ONE COVER PLATE.
8. ELECTRICAL CONTRACTOR SHALL COORDINATE THE TELEPHONE INSTALLATION WITH THE TELEPHONE COMPANY AND THE GENERAL CONTRACTOR.
9. ELECTRICAL CONTRACTOR, BEFORE INSTALLING ANY OF THE WORK, SHALL SEE THAT IT DOES NOT INTERFERE WITH CLEARANCES REQUIRED FOR FINISHED COLUMNS, HUNG CEILINGS, PLASTER, PARTITIONS, WALLS, ETC. AS SHOWN IN THE ARCHITECTURAL DRAWINGS AND DETAILS. IF ANY WORK IS INSTALLED AND IT LATER DEVELOPS THAT SUCH DETAILS OR DESIGN CANNOT BE FOLLOWED, THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL MAKE SUCH CHANGES IN THE WORK AS DIRECTED BY THE ARCHITECT. AS WELL AS TO PERMIT THE INSTALLATION OF THE ARCHITECTURAL WORK AS SHOWN ON THE PLANS AND DETAILS.
10. PERFORM TEST REQUIRED BY THE OWNER OR THE ENGINEER IN CONNECTION WITH THE OPERATION OF THE ELECTRICAL SYSTEM IN THE BUILDING.
11. ALL TESTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST STANDARD OF THE IEEE AND THE NATIONAL ELECTRICAL CODE.
12. MINIMUM CONDUCTOR SIZE SHALL BE #12, 600V INSULATION. MINIMUM SIZE CONDUIT SHALL BE 3/4" ELECTRICAL METALLIC TUBING (EMT) FOR INTERIOR USE, AND 3/4" RIGID ALUMINUM FOR EXTERIOR USE. EMT SHALL BE USED WITH METAL STUDS, NMC IS AUTHORIZED IN HOOD CONSTRUCTION. 6 FT LENGTH MC CABLE IS AUTHORIZED ABOVE DROPPED CEILING. INTERIOR FITTINGS SHALL BE CAST WHERE EXPOSED ON WALLS, AND EXTERIOR FITTINGS SHALL BE CAST BOXES WITH NEMA 3R COVER(S).
13. CONTRACTOR SHALL INSTALL WIRING AND OTHER CIRCUIT COMPONENTS TO MATCH EQUIPMENT ACTUALLY INSTALLED.
14. INSTALL GROUND FAULT RECEPTACLES AT RECEPTACLE LOCATIONS WITHIN 5' OF SINKS OR LAVATORIES, AND AT EXTERIOR LOCATIONS. EXTERIOR RECEPTACLES SHALL ALSO BE WATERPROOF.
15. BONDING AND GROUNDING SHALL BE IN ACCORDANCE WITH NFPA 70:230-63, NFPA 250-23, 250-11 & 250-12.
16. GROUND NEUTRAL IN ACCORDANCE WITH NFPA 70:250-33b.
17. FUSES SHALL BE ITT CLASS KS, 250 VOLT, 200,000 AMP INTERRUPTING CAP.
18. PROVIDE SERVICES OF A FIRE/SMOKE DETECTION AND ALARM COMPANY TO DESIGN AND INSTALL ALARM SYSTEM TO MEET REQUIREMENTS OF THE STATE FIRE MARSHALL.
19. EXTERIOR LIGHTING SHALL BE SHADED OR INWARDLY DIRECTED IN SUCH A MANNER SO THAT NO DIRECT LIGHTING OR GLARE IS CAST BEYOND THE PROPERTY LINE. THE INTENSITY OF SUCH LIGHTING SHALL NOT EXCEED ONE FOOT CANDLE AS MEASURED AT THE ABUTTING PROPERTY LINE.
20. ALL ELECTRICAL, MECHANICAL AND PLUMBING PENETRATING FIRE PARTITIONS SHALL BE FIRE CAULKED. (PENETRATIONS THROUGH RATED CONSTRUCTION SHALL BE SEALED WITH A MATERIAL CAPABLE OF PREVENTING THE PASSAGE OF FLAMES AND HOT GASES WHEN TESTED IN ACCORDANCE WITH ASTM-E814.)

RECEPTION HALL RENOVATION FOR:  
**BEV, INCORPORATED**

SHEET TITLE:  
ELECTRICAL POWER PLAN  
LEVEL 1

DRAWING NUMBER:



SHEET No: 15 of 19

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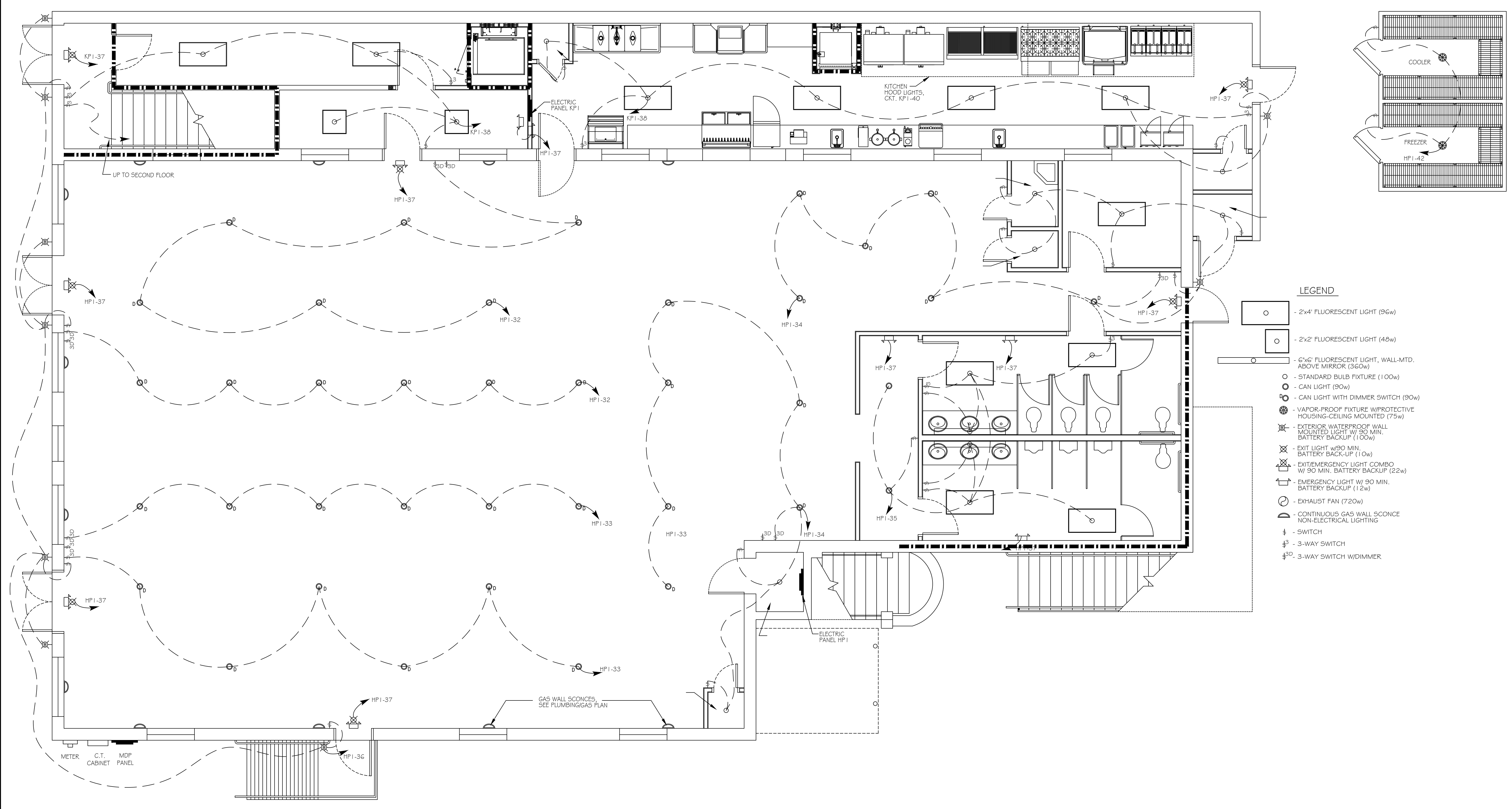
#	REVISIONS	DESCRIPTION	DATE

SEAL:

211 COBIN STREET  
SLIDELL, LOUISIANA 70459  
JOB No: 2320 DATE: MARCH 09-2015  
DRAWN BY: KJK CHECKED BY: CASD



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- LEGEND**
- - 2x4' FLUORESCENT LIGHT (96w)
  - - 2x2' FLUORESCENT LIGHT (48w)
  - - 6"x6" FLUORESCENT LIGHT, WALL-MTD. ABOVE MIRROR (360w)
  - - STANDARD BULB FIXTURE (100w)
  - - CAN LIGHT (90w)
  - - CAN LIGHT WITH DIMMER SWITCH (90w)
  - ⊙ - VAPOR-PROOF FIXTURE W/PROTECTIVE HOUSING-CEILING MOUNTED (75w)
  - ⊙ - EXTERIOR WATERPROOF WALL MOUNTED LIGHT W/ 90 MIN. BATTERY BACKUP (100w)
  - ⊙ - EXIT LIGHT w/90 MIN. BATTERY BACK-UP (10w)
  - ⊙ - EXIT/EMERGENCY LIGHT COMBO w/ 90 MIN. BATTERY BACKUP (22w)
  - ⊙ - EMERGENCY LIGHT w/ 90 MIN. BATTERY BACKUP (12w)
  - ⊙ - EXHAUST FAN (720w)
  - ⊙ - CONTINUOUS GAS WALL SCONCE NON-ELECTRICAL LIGHTING
  - ⚡ - SWITCH
  - ⚡ - 3-WAY SWITCH
  - ⚡<sup>3D</sup> - 3-WAY SWITCH W/DIMMER

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Slidell, LA 70458

REVISIONS	DATE	DESCRIPTION

RECEPTION HALL RENOVATION FOR:  
**BEV, INCORPORATED**

211 COBURN STREET  
SLIDELL, LOUISIANA 70458  
JOB No: 2320 DATE: MARCH 08-2023  
DRAWN BY: KJK CHECKED BY: CASD

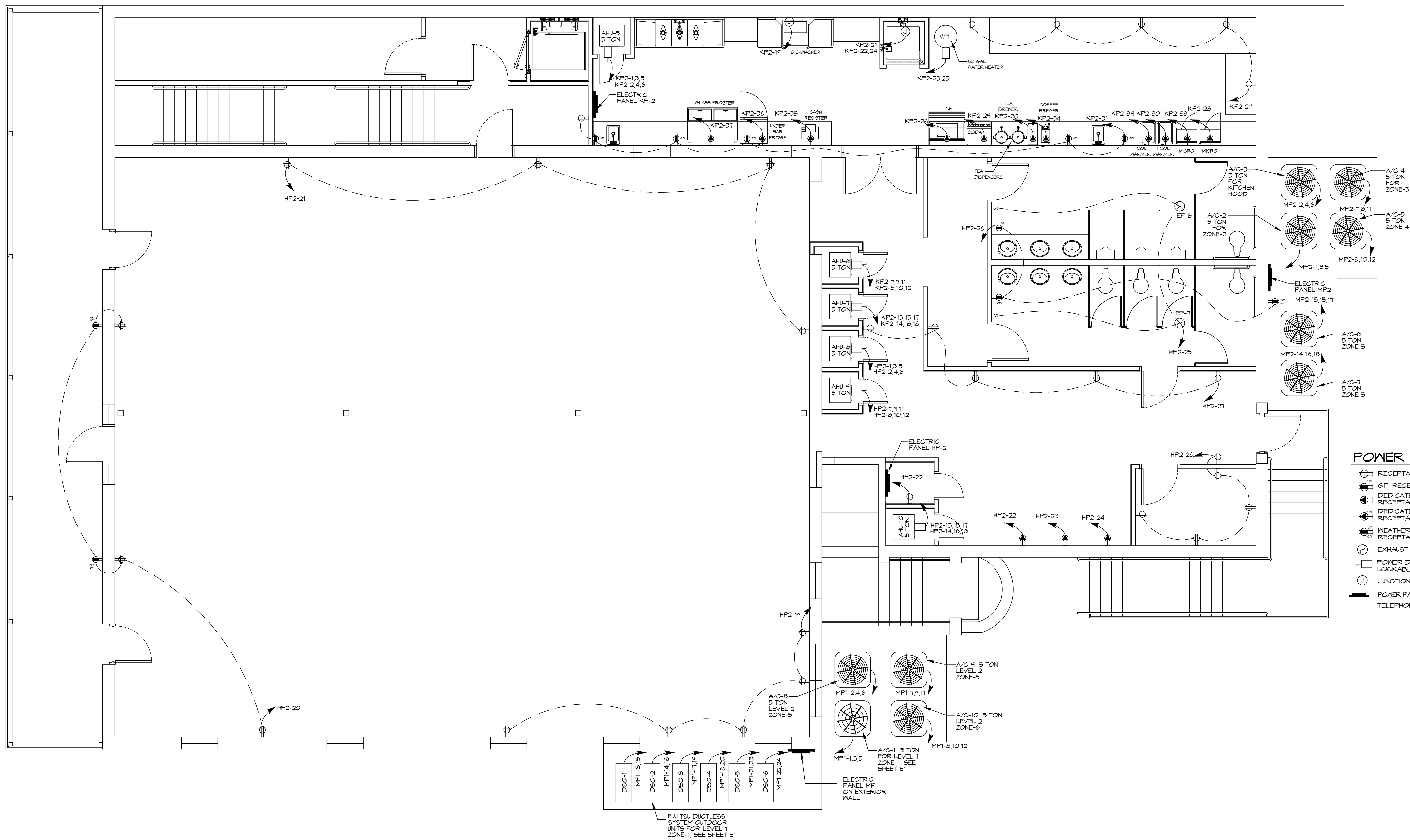
**SHEET TITLE:**  
ELECTRICAL LIGHTING  
PLAN LEVEL 1

DRAWING NUMBER:

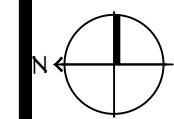
12

**1 ELECTRICAL LIGHTING PLAN - LEVEL 1**  
SCALE: 1/4" = 1'-0"

FILE NAME: J:\\_Client\14101 - Reception Hall\14101-Reception Hall\14101-Reception Hall Level 1.dwg DATE: 11/11/2010 10:52:18 AM



- POWER LEGEND**
- ⊗ RECEPTACLE 20A 115V
  - ⊙ 6FI RECEPTACLE 20A
  - ⊕ DEDICATED CIRCUIT RECEPTACLE, 20A 115V
  - ⊖ DEDICATED CIRCUIT 6FI RECEPTACLE, 20A 115V
  - ⊘ WEATHER-PROOF 6FI RECEPTACLE 20A
  - ⊙ EXHAUST FAN (120w)
  - ⊙ POWER DISCONNECT LOCKABLE OR LOCK-OUT TYPE
  - ⊙ JUNCTION BOX
  - ⊙ POWER PANEL TELEPHONE/DATA



# 1 ELECTRICAL POWER PLAN - LEVEL 1

SCALE: 1/4" = 1'-0"

#	DESCRIPTION	REVISIONS	DATE

SEAL: \_\_\_\_\_

**RECEPTION HALL RENOVATION FOR:**

**BEV, INCORPORATED**

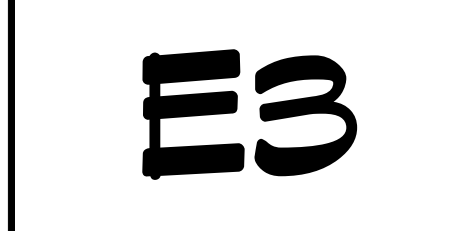
211 COBIN STREET  
SLIDELL, LOUISIANA 70469

JOB NO: 2320 DATE: MARCH 08-2015

DRAWN BY: KJK CHECKED BY: CASD

SHEET TITLE:  
**ELECTRICAL POWER PLAN LEVEL 1**

DRAWING NUMBER:



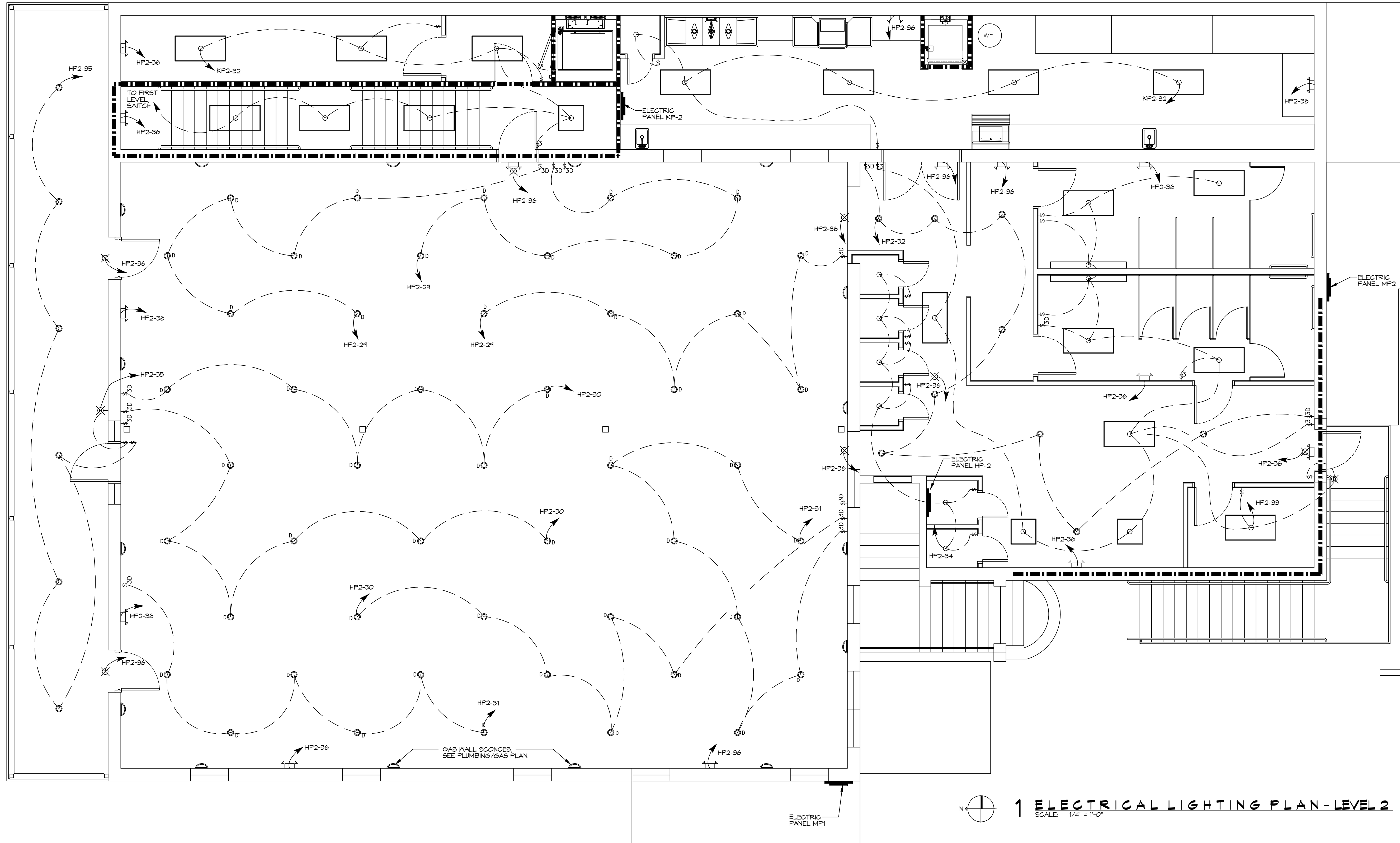
SHEET No: 17 of 19

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- LEGEND**
- 2x4 FLUORESCENT LIGHT (96w)
  - 2x2 FLUORESCENT LIGHT (48w)
  - 6x6 FLUORESCENT LIGHT, WALL-MTD. ABOVE MIRROR (360w)
  - STANDARD BULB FIXTURE (100w)
  - CAN LIGHT (90w)
  - CAN LIGHT WITH DIMMER SWITCH (90w)
  - EXTERIOR WATERPROOF WALL MOUNTED LIGHT W/ 90 MIN. BATTERY BACKUP (100w)
  - EXIT LIGHT w/90 MIN. BATTERY BACK-UP (10w)
  - EXIT/EMERGENCY LIGHT COMBO W/ 90 MIN. BATTERY BACKUP (22w)
  - EMERGENCY LIGHT W/ 90 MIN. BATTERY BACKUP (12w)
  - CONTINUOUS GAS WALL SCONCE NON-ELECTRICAL LIGHTING
  - SWITCH
  - 3-WAY SWITCH
  - 3-WAY SWITCH W/DIMMER

**1 ELECTRICAL LIGHTING PLAN-LEVEL 2**  
 SCALE: 1/4" = 1'-0"

#	DESCRIPTION	REVISIONS	DATE

SEAL:

**RECEPTION HALL RENOVATION FOR:**  
**BEV, INCORPORATED**  
 211 COBIN STREET  
 SLIDELL, LOUISIANA 70459  
 JOB No: 2320 DATE: MARCH 08-2015  
 DRAWN BY: KJK CHECKED BY: CAS

SHEET TITLE:  
**ELECTRICAL LIGHTING PLAN LEVEL 2**

DRAWING NUMBER:

