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ARCHITECTURE
ENGINEERING
STUDIES
PLANNING
INVESTIGATION
EXPERT WITNESSES

NEW OFFICE
COMPLEX

CHILD DEVELOPMENT
COUNCIL OF
ACADIANA, INC.
OPELOUSAS, LA

DRAINAGE
PLAN

REV:

SCALE: AS NOTED

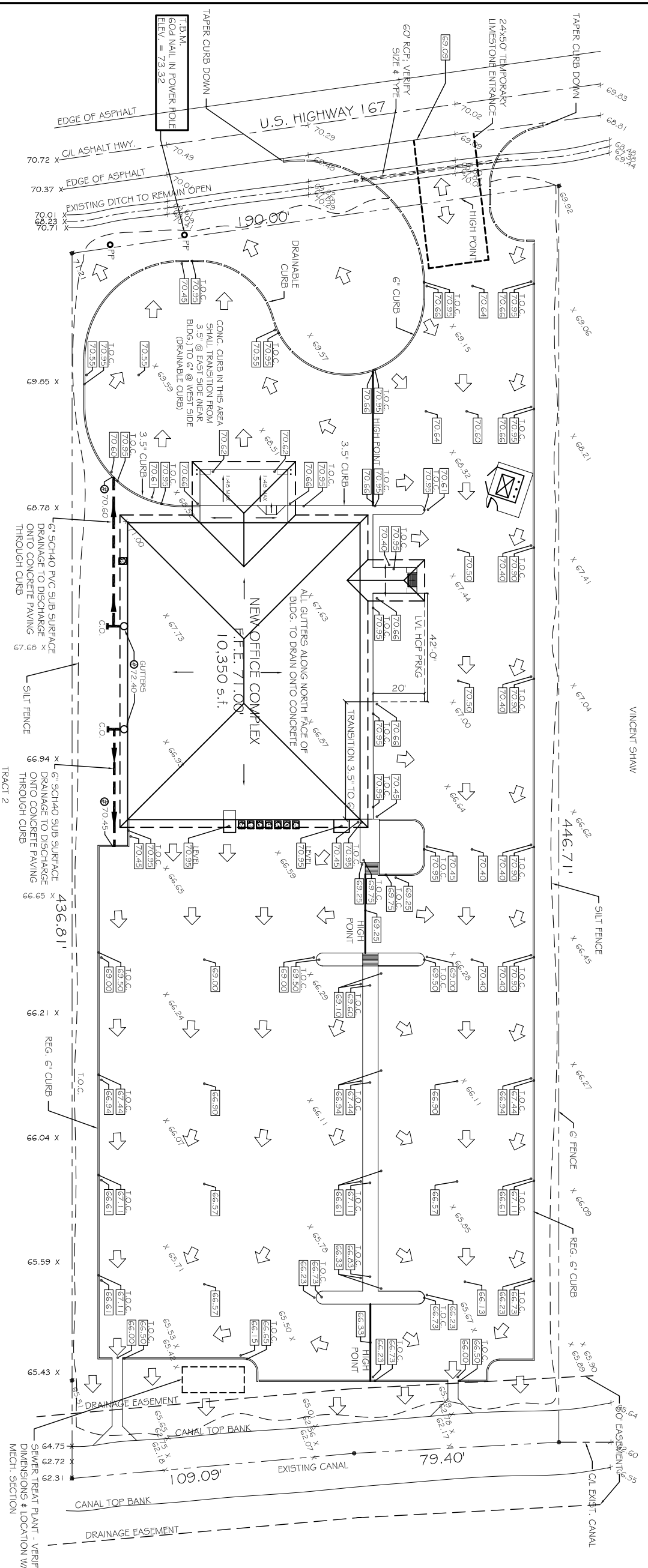
JOB#: 2030

DATE: 7-2-09

SHEET

C-3

OF



DRAINAGE PLAN
SCALE: 1"=20'-0"

- LEGEND**
- - - - - PROPERTY LINE
 - x 70.96 - EXISTING GRADE ELEVATIONS
 - [72.50] - NEW ELEVATIONS
 - T.O.C. - NEW ELEVATION, TOP OF CURB
 - [73.00] - INVERT ELEVATION
 - ② - GRADE SLOPE
 - ② - INVERT ELEVATION
 - - - - - NEW DRAIN LINE
 - - - - - TEMPORARY SILT FENCING
 - ➔ - DIRECTION OF DRAINAGE FLOW

- NOTES:**
- 1) DRAIN PIPE & FITTINGS WITHIN PROPERTY LINE SHALL BE POLYVINYL CHLORIDE PLASTIC PIPE, MEETING CLASS 1000 C-900 PVC.
 - 2) ELEVATIONS SHOWN ARE M.S.L.
 - 3) FIELD VERIFY ALL ELEVATIONS AND DRAINAGE SYSTEM
 - 4) MUCK OUT 24" DEEP FOR FOUNDATION PAD MINIMUM, OR TO UNDISTURBED SOIL CAPABLE OF 1500 TYP BEARING.
 - 5) DOWN SPOUTS SHALL FLOW INTO SUB-SURFACE DRAINAGE.
 - 6) THERE IS NO EVIDENCE OF EXISTING OFF-SITE FLOW CROSSING THE PROPERTY.

GUTTERS AND DOWN SPOUTS TO BE SEAMLESS ALUMINUM 24 GAUGE. COLOR TO BE SELECTED BY OWNER. GUTTERS TO BE TOGGED IN CROSS SECTION, MINIMUM 6" WIDTH.