

TEXTRON MARINE & LAND
2585 FRONT STREET
SLIDELL, LOUISIANA



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ARCHITECTURE
ENGINEERING
STUDIES
PLANNING
INVESTIGATION
EXPERT WITNESS

TEXTRON
OFFICE PLAN
2ND FLOOR

TEXTRON MARINE
AND LAND
2585 FRONT ST.
SLIDELL, LA

JOB#: 1880A

DATE: 9-5-07

SHEET 1
OF 6

INTERNATIONAL BUILDING CODE 2006 REQUIREMENTS

OCCUPANCY CLASSIFICATION:
OFFICE- BUSINESS GROUP: B (SEC 304.1)

OCCUPANT LOAD: (TBL 1004.1.1)
BUSINESS AREAS= 100 GROSS SQ.FT / OCCUPANT
1ST FLOOR = NOT BEING RENOVATED
2ND FLOOR 865 = 8.5 PERSONS

EXIT ACCESS REQUIREMENTS: (SEC 1015)
1.EXIT REQUIRED FOR > 49 OCCUPANTS IN BUSINESS OCCUPANCY
EXIT ACCESS TRAVE DISTANCE = 200' BUSINESS (TBL 1016.1)

ALLOWABLE HEIGHT AND BLDG. AREA: (TBL 503)
OFFICE- 9,000 SQ.FT. / 2 STORY
THIS PROJECT TOTAL = 865 SQ. FT ON THE 2ND STORY

CONSTRUCTION CLASSIFICATION: (SEC 602.2)
OFFICE- TYPE V B

FIRE RESISTANCE RATING REQUIREMENTS FOR BLDG. ELEMENTS: (TBL 601)
STRUCTURAL FRAME= 0 HRS.
BEARING WALLS (INTERIOR AND EXTERIOR)= 0 HRS.
NON-BEARING WALLS= 0 HRS.
FLOOR CONSTRUCTION= 0 HRS.
ROOF CONSTRUCTION= 0 HRS.

FIRE RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS: (TBL 602)
EXTERIOR WALLS WITH ≥ 30' FIRE SEPERATION DISTANCE= 0 HRS.

MAX. AREA OF EXTERIOR WALL OPENINGS: (TBL 704.8)
BLDGs. WITH ≥ 30' FIRE SEPERATION DISTANCE ALLOWED UNLIMITED PROTECTED AND UNPROTECTED OPENINGS

CONSTRUCTION DOCUMENTS: (SEC. 1603)
THIS BLDG. SHALL BE DESIGNED IN ACCORDANCE WITH IBC SECTION 1609 AS A PARTIALLY ENCLOSED BLDG. USING THE FOLLOWING INFORMATION:
BASIC WIND SPEED (3 SECOND GUSTS) = 130 MPH (FIG 1609)
IMPORTANCE FACTOR: CATEGORY I BLDG., IE =0, IS =0, IW =1.00 (TBL 1604.5)
EXPOSURE B, DETERMINATION OF WIND LOADS SHALL BE IN ACCORDANCE WITH IBC SEC 1609.4
MINIMUM LIVE LOADS SHALL BE DETERMINED IN ACCORDANCE WITH TBL 1607.1
GROUND SNOW LOADS= 5 PSF (FIG. 1608.2)
BASED ON THE SURVEY OF THIS PROPERTY BY J.V. BURKES & ASSOCIATES, INC.
THIS PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA.
F.I.R.M. COMMUNITY PANEL NO. 220204 0010 C DATED: 4-21-99
FLOOD ZONE: "AE", BASE FLOOD ELEVATION OF +9'
ELEVATIONS REFER TO NGVD 29 DATUM.

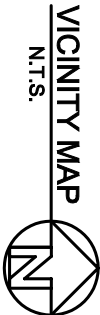
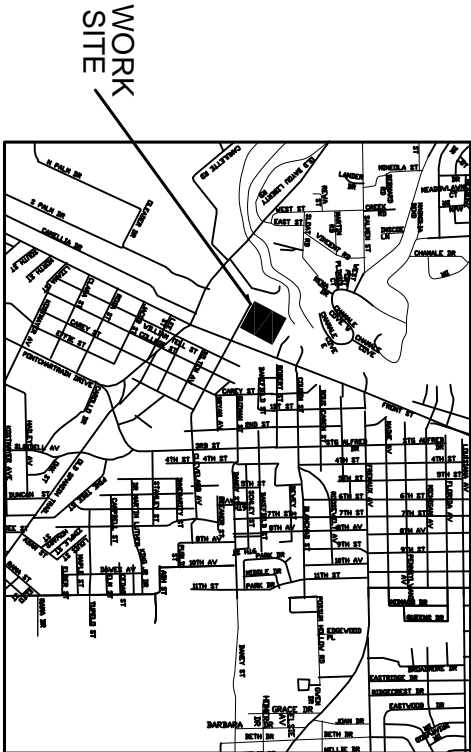
NOTE:
VERIFIED WITH THE CITY OF SLIDELL THAT THIS ADDITION WILL NOT HAVE TO MEET THE CURRENT FLOOD ELEVATION.

NEW OFFICE SQUARE FEET TOTAL

NEW 855 SQ. FT. 2ND FLOOR OFFICE ADDITION INSIDE THE
EXISTING 52,235 SQ. FT. METAL WAREHOUSE BUILDING
ABOVE THE EXISTING LUNCH ROOM.

DESIGN CRITERIA

THE CONSTRUCTION FOR SAID RESIDENCE, WHERE BASIC
WIND SPEED IS 130 MILES PER HOUR, IS DESIGNED IN
ACCORDANCE WITH: AMERICAN FOREST AND PAPER
ASSOCIATION (AF & PA) WOOD FRAME CONSTRUCTION
MANUAL FOR ONE AND TWO FAMILY DWELLINGS (WFCM)
2001 EDITION AS WELL AS THE INTERNATIONAL
RESIDENTIAL CODE (IRC) 2006 EDITION.



INDEX OF DRAWINGS	
DWG#	DRAWING NAME
C-1	SITE PLAN
A-1	DEMOLITION PLAN
A-2	FLOOR PLAN
M-1	MECHANICAL PLAN
E-1	ELECTRICAL PLAN