



CENTRALBIDDING
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Boyet Junior High School Gym and Library Roofing Repairs
St. Tammany Parish School Board

Project documents obtained from www.CentralBidding.com

13-Feb-2017 07:11:13 PM

BOYET JUNIOR HIGH SCHOOL GYMNASIUM & LIBRARY ROOF REPAIRS

59295 REBEL DRIVE, SLIDELL, LOUISIANA

St. Tammany Parish School Board Administration

W.L. "Trey" Folse III Superintendent
 Peter J. Jabbia Assistant Superintendent
 Michael J. Cossé Assistant Superintendent

St. Tammany Parish School Board Members

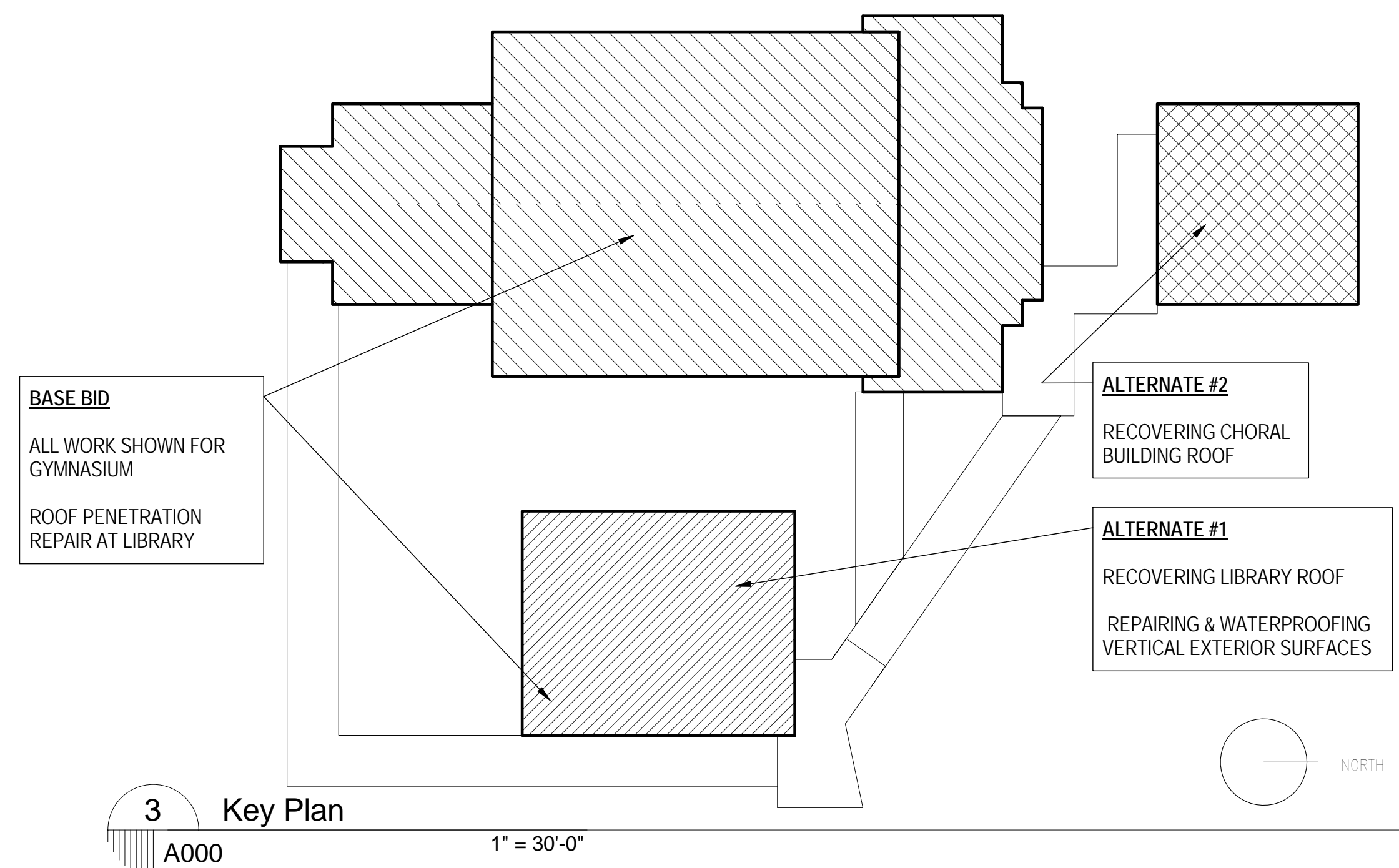
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St. Tammany Parish School Board Lead Construction Supervisor

Cameron P. Tipton

Project Design Team

Architect
 MSH Architects, LLC
 229 East Kirkland Street
 Covington, LA 70433



GENERAL NOTES

SPECIAL CONDITIONS
 THE CONTRACTOR SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS AND PROJECT SITE & SECURE FROM THE ARCHITECT ADDITIONAL INFORMATION, IF NECESSARY, THAT MAY BE REQUISITE TO A CLEAR AND FULL UNDERSTANDING OF THE WORK.

ANY WORK OR MATERIAL WHICH IS NOT DIRECTLY OR INDIRECTLY NOTED IN THE SPECIFICATIONS AND DRAWINGS, BUT IS NECESSARY FOR THE PROPER CARRYING OUT OF THE OBVIOUS INTENTION IS TO BE UNDERSTOOD AS "IMPLIED" AND IS TO BE PROVIDED BY THE CONTRACTOR IN HIS PROPOSAL AS FULLY AS IF SPECIFICALLY DESCRIBED OR DELINEATED. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS MUST BE REPORTED TO THE ARCHITECT FOR CORRECTION AND INTERPRETATION BEFORE THE WORK IS EXECUTED.

DURING THE BIDDING PERIOD, ANY DISCREPANCIES, CONFLICTS, AND/OR QUESTIONS OF INTERPRETATION IN THE DOCUMENTS SHALL BE SUBMITTED TO THE ARCHITECT PROMPTLY FOR CLARIFICATION. THE ARCHITECT SHALL ISSUE WRITTEN ADDENDA TO BIDDERS CLARIFYING SUCH MATTERS. THE ARCHITECT WILL NOT BE RESPONSIBLE FOR ORAL INSTRUCTIONS. IT SHALL BE HELD THAT ALL BIDDERS HAVE EXAMINED ALL DOCUMENTS FOR PROPER COMPREHENSION IN THE DIVISION OF THE WORK, AND THEIR RELATIONSHIP TO OTHER CONTRACTORS OR SECTIONS OF THE WORK. NO ALLOWANCE SHALL BE MADE, AFTER THE BID OPENING, FOR MISUNDERSTANDING ON THE PART OF THE CONTRACTOR.

BEFORE ORDERING ANY MATERIAL OR DOING ANY WORK, EACH CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AT THE BUILDING AND SHALL BE RESPONSIBLE FOR THE CORRECTION OF SAME. NO EXTRA CHARGE OR COMPENSATION WILL BE ALLOWED ON ACCOUNT OF DIFFERENCE BETWEEN ACTUAL DIMENSIONS AND THE MEASUREMENTS INDICATED ON THE DRAWINGS. ANY DIFFERENCE WHICH MAY BE FOUND SHALL BE SUBMITTED TO THE ARCHITECT FOR CONSIDERATION BEFORE PROCEEDING WITH THE WORK.

PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS & APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS & OTHER DOCUMENTS APPROVED BY ALL OF THE PERMITTING AUTHORITIES.

ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL, STATE AND FEDERAL GOVERNING AUTHORITIES.

SITE CONDITION
 THE CONTRACTOR SHALL KEEP PREMISES CLEAN DURING CONSTRUCTION. TRASH SHALL NOT BE ALLOWED TO ACCUMULATE ON SITE DURING CONSTRUCTION. FINAL CLEAN UP AND REPAIR IS PART OF THIS WORK.

SITE SAFETY
 ARCHITECT'S SITE RESPONSIBILITIES ARE LIMITED SOLELY TO THE ACTIVITIES OF THE CONSULTANT AND THE CONSULTANT'S EMPLOYEE ON SITE. THESE RESPONSIBILITIES SHALL NOT BE INFERRED BY ANY PARTY TO MEAN THAT THE ARCHITECT HAS RESPONSIBILITY FOR SITE SAFETY. SAFETY IN OR ABOUT THE SITE IS THE SOLE AND EXCLUSIVE RESPONSIBILITY OF THE CONTRACTOR ALONE. THE CONTRACTOR'S METHODS OF WORK PERFORMANCE, SUPERINTENDENCE OF THE CONTRACTOR'S EMPLOYEES, AND SEQUENCING OF CONSTRUCTION ARE ALSO THE SOLE AND EXCLUSIVE RESPONSIBILITIES OF THE CONTRACTOR ALONE.

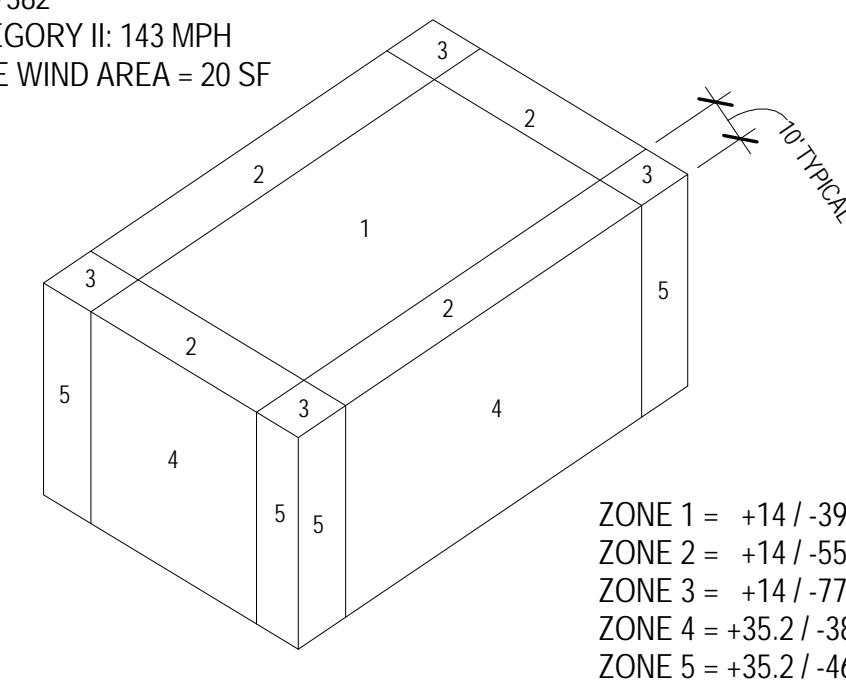
CODE INFORMATION

CODES
 NFPA 101:2012
 CONSTRUCTION TYPE: II (000)
 OCCUPANCY: EDUCATIONAL

IEBC 2012
 LEVEL 1 ALTERATION AS DEFINED IN SECTION 503
 CONSTRUCTION TYPE: IB
 OCCUPANCY: EDUCATIONAL

ACCESSIBILITY - ALL CONSTRUCTION SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES, AND WITH ICC/ANSI A117.1 AS INCORPORATED INTO THE INTERNATIONAL EXISTING BUILDING CODE 2012 (IEBC 2012).

COMPONENTS AND CLADDING
 PRESSURE RATING REQUIREMENTS (PSF)
 IN ACCORDANCE WITH ASCE 7-10
 59295 REBEL DRIVE, SLIDELL, LA
 LAT:30.2919
 LONG:-89.7382
 RISK CATEGORY II: 143 MPH
 EFFECTIVE WIND AREA = 20 SF



VICINITY MAP



INDEX OF DRAWINGS

A000	cover sheet
A090	gymnasium roof demolition plan
A100	gymnasium roof plan
A150	gymnasium elevations
A160	library and choral buildings
A250	roof details
A260	penetration & roof details
A270	penetration & roof details

EXTERIOR WALL WATERPROOFING SCOPE

WHILE THE DRAWINGS ATTEMPT TO ADDRESS ALL CONDITIONS ASSOCIATED WITH THE WATERPROOFING AND SEALING OF THE EXTERIOR OF THE BUILDING, IT IS POSSIBLE SMALL DETAILS WERE OVERLOOKED. IT IS THE INTENTION OF THE PROJECT AND THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE A COMPLETE WATER-TIGHT ENCLOSURE.

ALL ITEMS THAT ARE FASTENED TO CMU AND ARE ABLE TO BE REMOVED SHALL BE REINSTALLED BY DIPPING FASTENERS IN SEALANT PRIOR TO REINSTALLING.

ALL ITEMS THAT CANNOT BE REMOVED, SUCH AS LARGE ELECTRICAL SERVICE EQUIPMENT, SHALL BE PROVIDED WITH NEW SEALANT, INSTALLED NEATLY AROUND TOP AND SIDES OF ENCLOSURE.

ALL MECHANICAL CONDENSATE LINES AND OTHER ITEMS THAT PENETRATE METAL SIDING SHALL BE DISCONNECTED, AND RECONNECTED IF REQUIRED, SO THAT SIDING CAN BE INSTALLED WITHOUT SLOTTING SIDING TO FIT AROUND PENETRATING ITEM.

ALL NEW FASTENERS IN CONCRETE MASONRY UNIT (CMU) WALLS SHALL BE PRE-DRILLED AND THE FASTENERS DIPPED IN SEALANT PRIOR TO INSTALLING.

PENETRATION HOOD DETAILS ARE TYPICAL TO ALL PENETRATIONS OF EACH TYPE AND SHALL BE PROVIDED AT ALL PENETRATIONS WHETHER SPECIFICALLY NOTED ON DRAWINGS OR NOT, UNLESS ITEM SPECIFICALLY CALLS FOR NO HOOD.

SYMBOL LEGEND

	DRAWING NUMBER DRAWING TITLE		DRAWING SCALE DRAWING TITLE
	DRAWING NUMBER SHEET NUMBER	EXTERIOR ELEVATION REFERENCE MARK	
	DRAWING NUMBER SHEET NUMBER	ELEVATION REFERENCE MARK	
	DRAWING NUMBER SHEET NUMBER	DETAIL REFERENCE MARK	
	DRAWING NUMBER SHEET NUMBER	SECTION REFERENCE MARK	
	DRAWING NUMBER SHEET NUMBER	DETAIL SECTION REFERENCE MARK	
	ROOM NAME CEILING HEIGHT FINISH KEY ROOM NUMBER		ROOM NAME CEILING HEIGHT ROOM NUMBER ROOM INFORMATION
	DOOR NUMBER	DOOR INFORMATION	
	WINDOW MARK	WINDOW INFORMATION	
	PARTITION MARK	PARTITION TYPE REFERENCE MARK	

Boyet Junior High School Gymnasium & Library Roof Repairs
 59295 Rebel Drive, Slidell, Louisiana

01.19.2017
 REVIEW SET ONLY

issue date
 for revisions

issue date
 for permitting

02.02.2017

issue date
 for bid

02.02.2017

issue date
 for construction

02.02.2017

job no.

1701

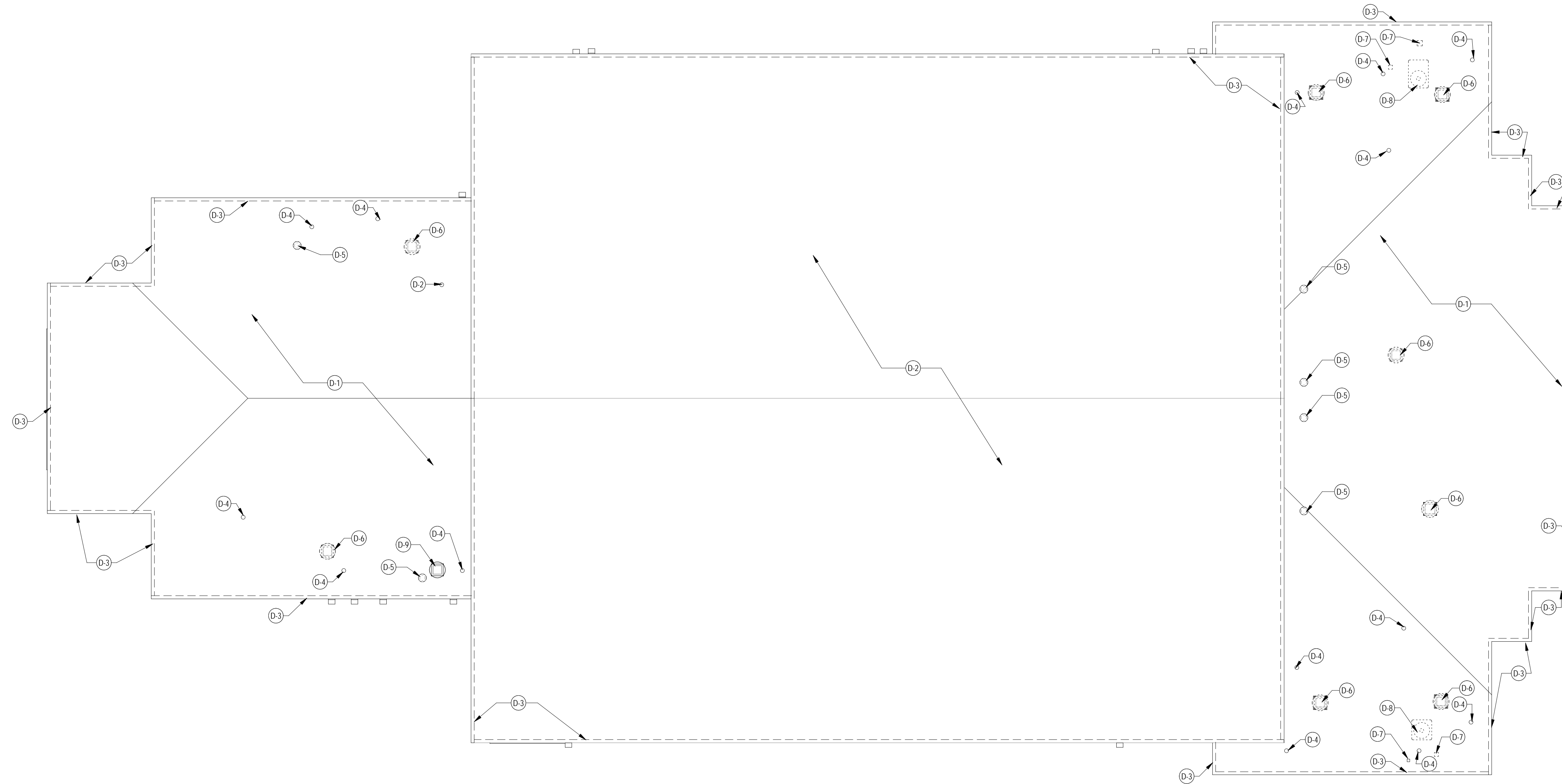
sheet title
 cover sheet

sheet no.

A000

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GYMNASIUM ROOF DEMOLITION NOTES

Keynote Number	Description
D-1	REMOVE EXISTING ROOF MEMBRANE SYSTEM DOWN TO EXISTING CONCRETE DECK.
D-2	REMOVE EXISTING ROOF MEMBRANE SYSTEM DOWN TO EXISTING TECTUM PANEL DECK.
D-3	DEMOLISH EXISTING ROOF EDGE GRAVEL GUARD FLASHING, WOOD PERIMETER BLOCKING METAL FASCIA AND WOOD STUD WALL BELOW. TYP. UNDERLYING STEEL STRUCTURE SHALL NOT BE DISTURBED.
D-4	EXISTING PLUMBING VENT STACK TO REMAIN. PROTECT DURING DEMOLITION. EXTEND VENT PIPING AS NECESSARY TO MAINTAIN MINIMUM 12' HEIGHT ABOVE NEW ROOF SURFACE. REMOVE LEAD JACKET AND PREP PIPE FOR NEW FLASHING. CLEAN STACK OF DEBRIS. VERIFY PROPER FUNCTION. TYPICAL AT ALL LOCATIONS.
D-5	DEMOLISH EXISTING ROOF JACK PATCH STEEL DECK BELOW AND INFILL CONCRETE FLUSH WITH EXISTING. COVER WITH NEW ROOFING SYSTEM.
D-6	DISCONNECT EXISTING MECHANICAL EQUIPMENT AND RETURN TO OWNER. CAP ELECTRICAL AT JUNCTION BOX BELOW ROOF DECK. DEMOLISH EXISTING CURB. ATTACH NEW STEEL DECK BELOW, AND INFILL CONCRETE FLUSH WITH EXISTING. COVER WITH NEW ROOFING SYSTEM.
D-7	DEMOLISH EXISTING PITCH POCKET. PREP PENETRATING ELEMENTS FOR NEW FLASHING.
D-8	DISCONNECT, STORE AND PROTECT EXISTING CONDENSER DURING ROOF WORK. REINSTALL ON NEW CURB WHERE SHOWN. RECHARGE SYSTEM AND RETURN TO FULL SERVICE. DISCONNECT ALL SERVICES TO UNIT BELOW ROOF DECK AND EXTEND AND REPAIR AS REQUIRED TO SERVICE REINSTALLED UNIT IN NEW LOCATION WITH NEW CURB. RE-INSULATE ALL CONDENSOR LINES BACK TO INTERIOR UNIT. ALL WORK TO COMPLY WITH APPLICABLE ELECTRICAL AND MECHANICAL CODES AND STANDARDS.
D-9	DISCONNECT EXISTING MECHANICAL EQUIPMENT OR HOOD AND REMOVE. DEMOLISH EXISTING CURB. REINSTALL EXISTING EQUIPMENT OR HOOD ON NEW CURB. PROTECT EQUIPMENT DURING THIS WORK. RECONNECT ANY ELECTRIC SERVICES.

1 Roof Plan - Demolition
A090 1/8" = 1'-0"

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for bid

02.02.2017

issue date
for construction

02.02.2017

job no.

1701

sheet title

**gymnasium roof
demolition plan**

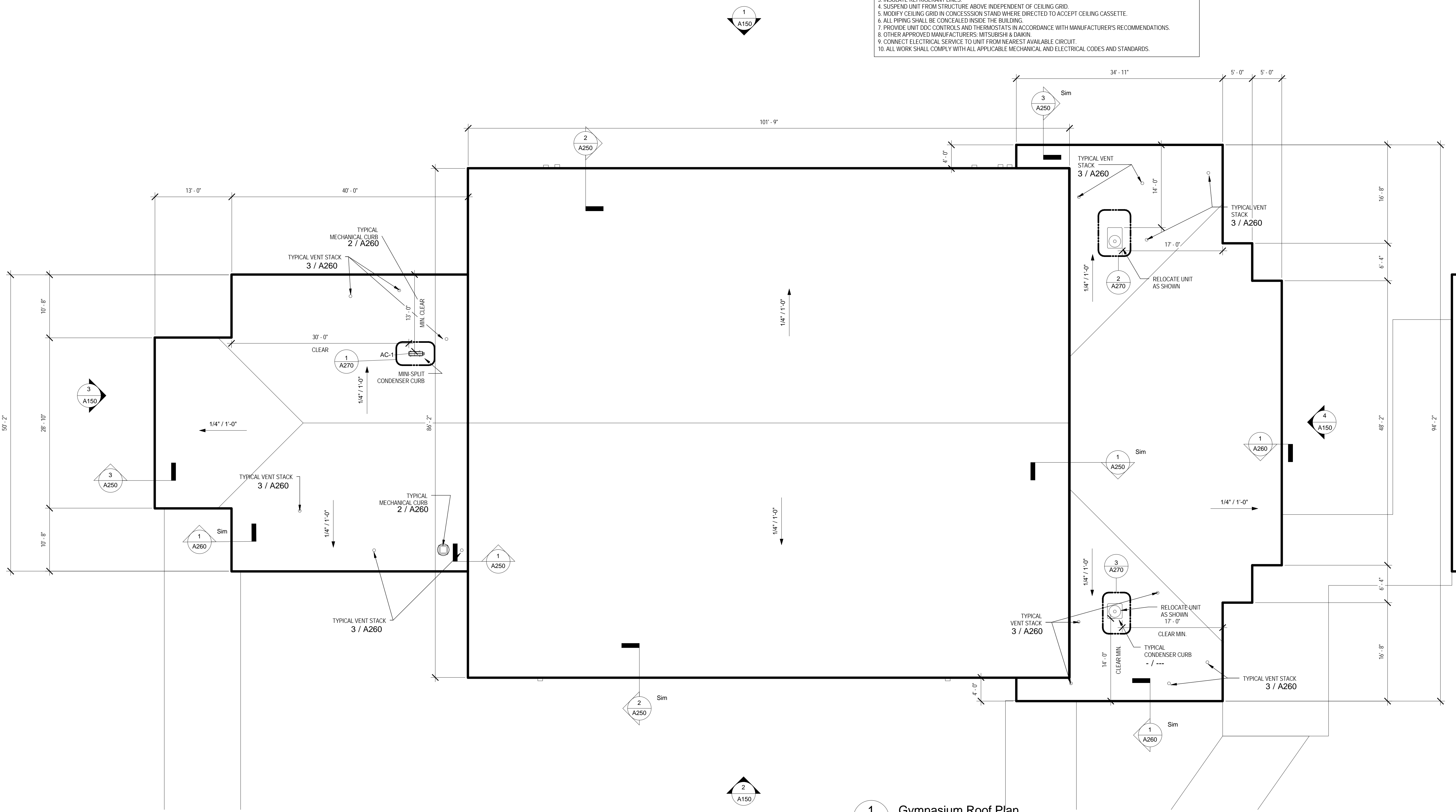
sheet no.

A090

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Ductless Split System Schedule									
Mark	Model	Manufacturer	Minimum Circuit Ampacity (A)	Maximum Overcurrent Protection (A)	Power Supply (Ph, V, Hz)	Air Flow Rate (Max) (CFM)	Cooling Capacity (Btu/h)	Heating Capacity (Btu/h)	Comments
AC-1	LUU127HV	LG Electronics	13 A	15 A	1, 208/230, 60	988	12,400	15,500	L127HV4 - Indoor Ceiling Cassette LCN127HV4

- NOTES:
1. INSTALL INDOOR CEILING CASSETTE AND OUTDOOR UNIT IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
 2. RUN REFRIGERANT LINES PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 3. INSULATE REFRIGERANT LINES.
 4. SUSPEND UNIT FROM STRUCTURE ABOVE INDEPENDENT OF CEILING GRID.
 5. MODIFY CEILING GRID IN CONCESSION STAND WHERE DIRECTED TO ACCEPT CEILING CASSETTE.
 6. ALL PIPING SHALL BE CONCEALED INSIDE THE BUILDING.
 7. PROVIDE UNIT DDC CONTROLS AND THERMOSTATS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 8. OTHER APPROVED MANUFACTURERS: MITSUBISHI & DAIKIN.
 9. CONNECT ELECTRICAL SERVICE TO UNIT FROM NEAREST AVAILABLE CIRCUIT.
 10. ALL WORK SHALL COMPLY WITH ALL APPLICABLE MECHANICAL AND ELECTRICAL CODES AND STANDARDS.



1 Gymnasium Roof Plan
A100 1/8" = 1'-0"

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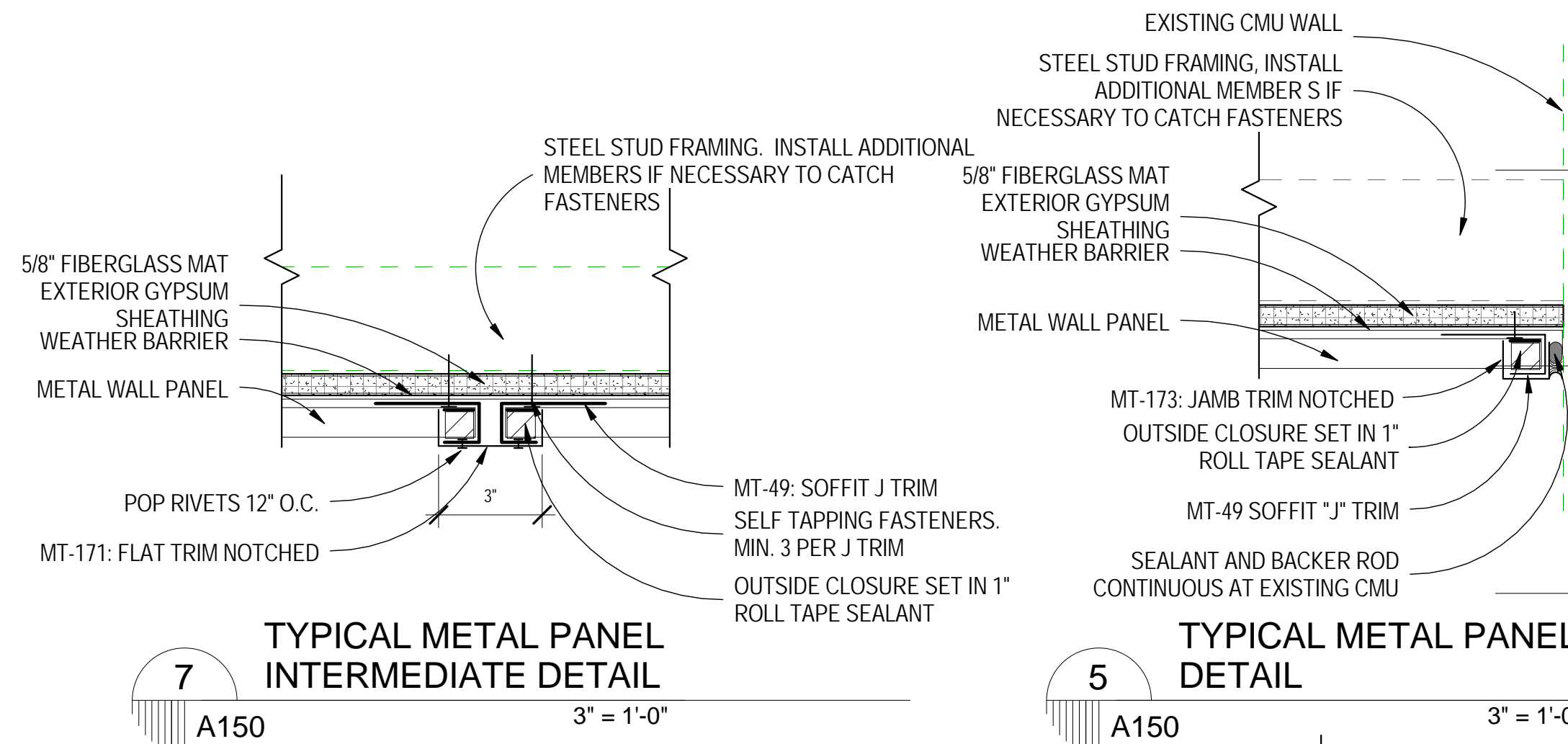
issue date for permitting
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issue date for bid
02.02.2017

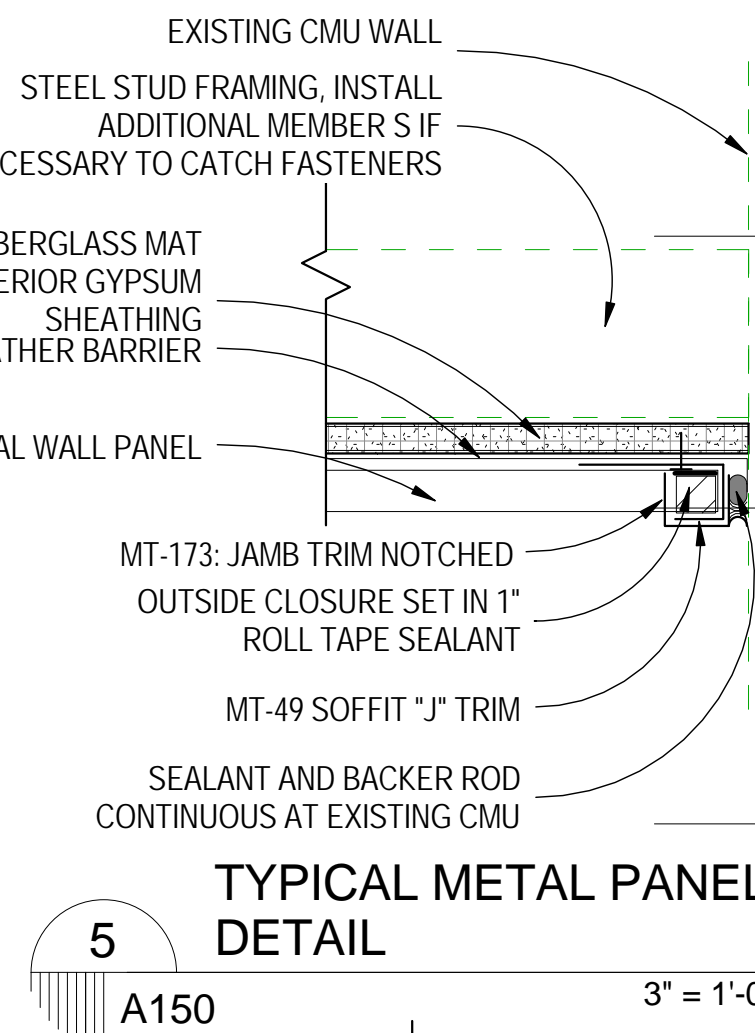
issue date for construction
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job no.
1701
sheet title
gymnasium roof plan
sheet no.

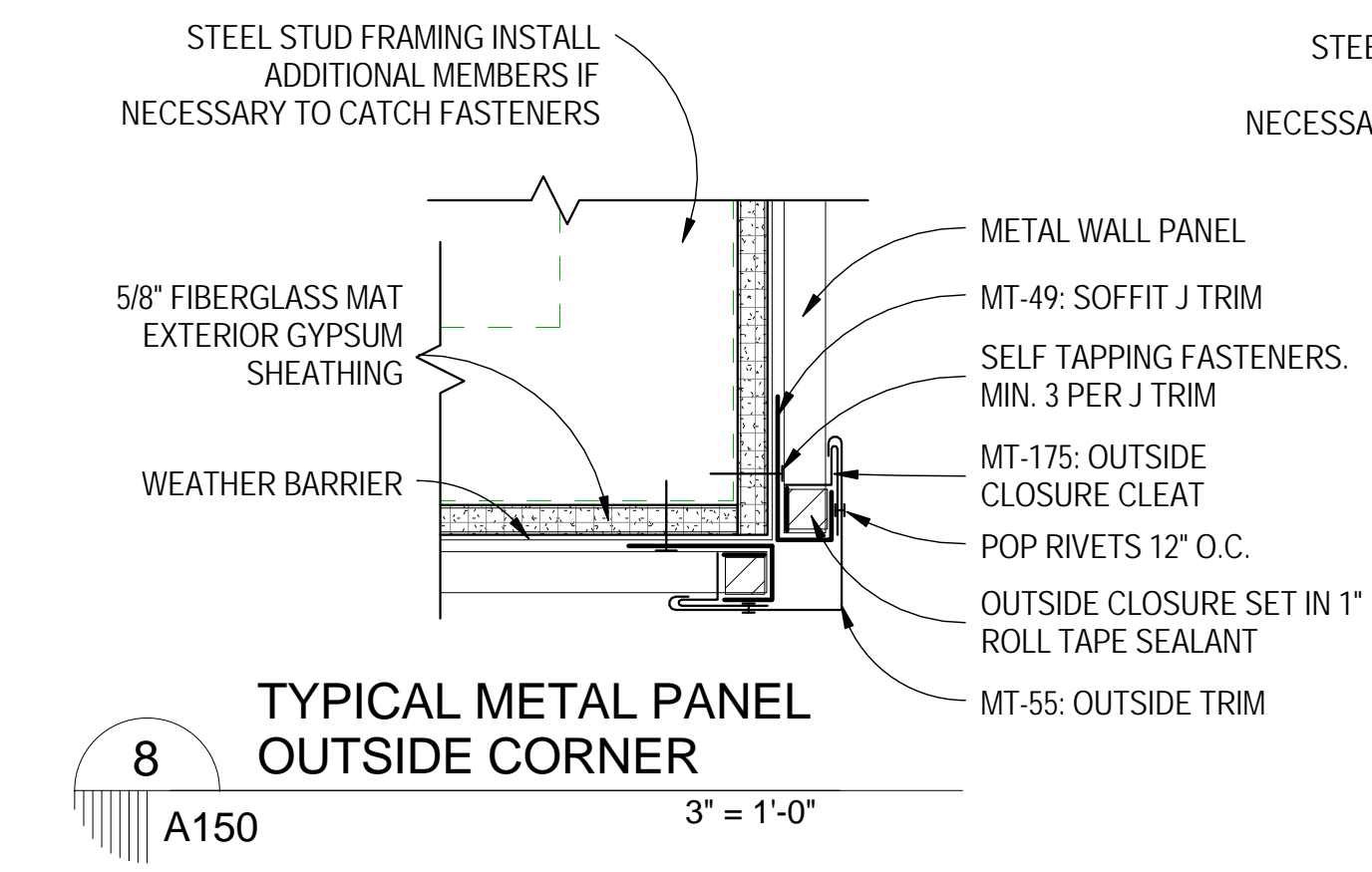
A100
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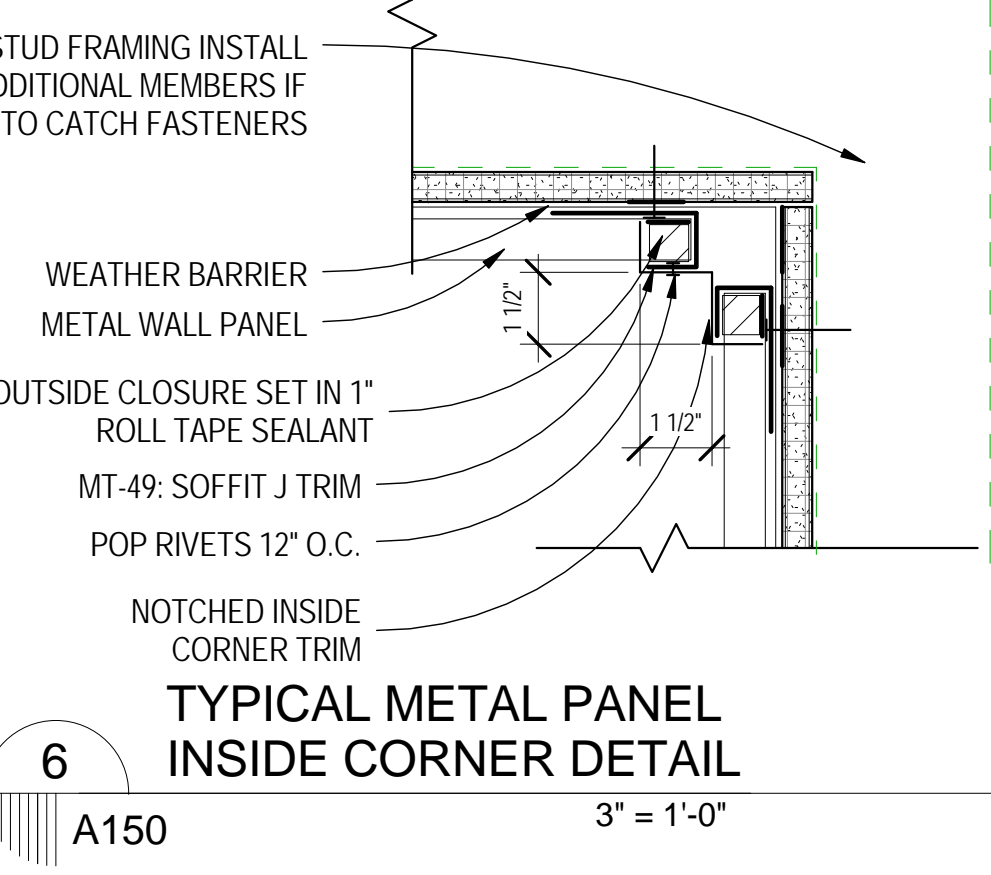
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A150
3" = 1'-0"



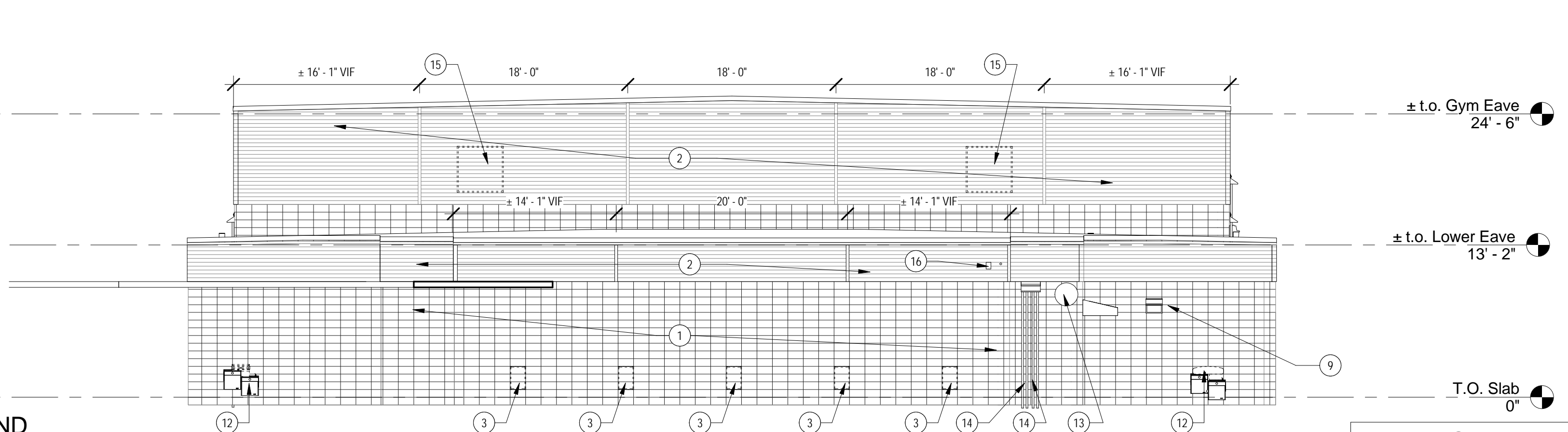
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3" = 1'-0"



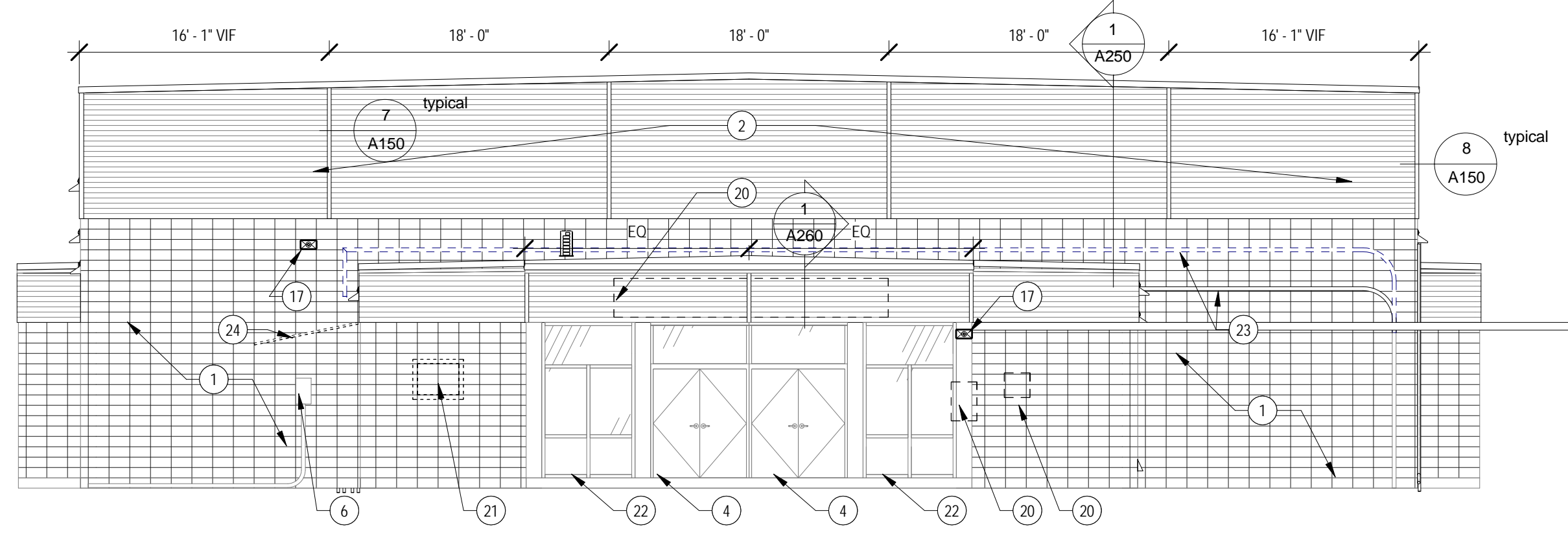
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3" = 1'-0"



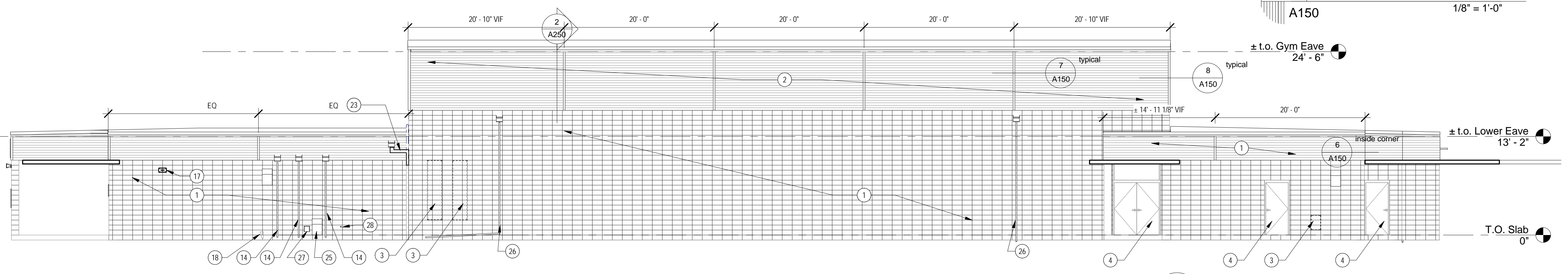
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3" = 1'-0"



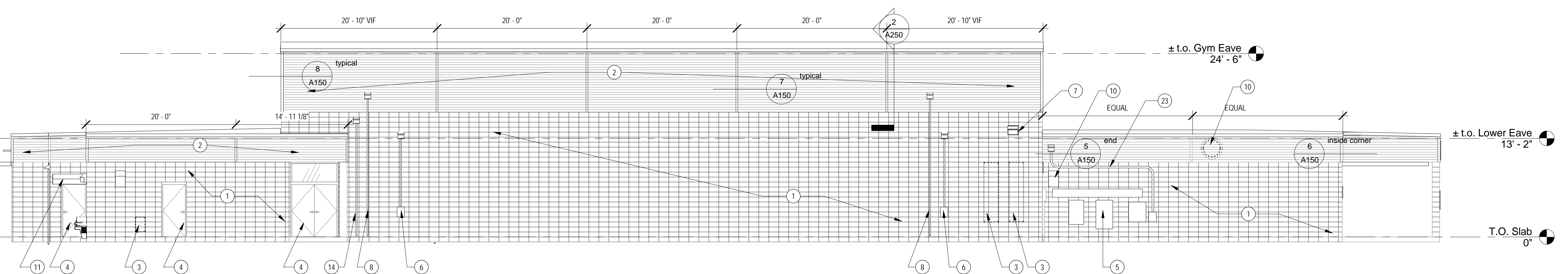
4
A150
1/8" = 1'-0"



3
A150
1/8" = 1'-0"



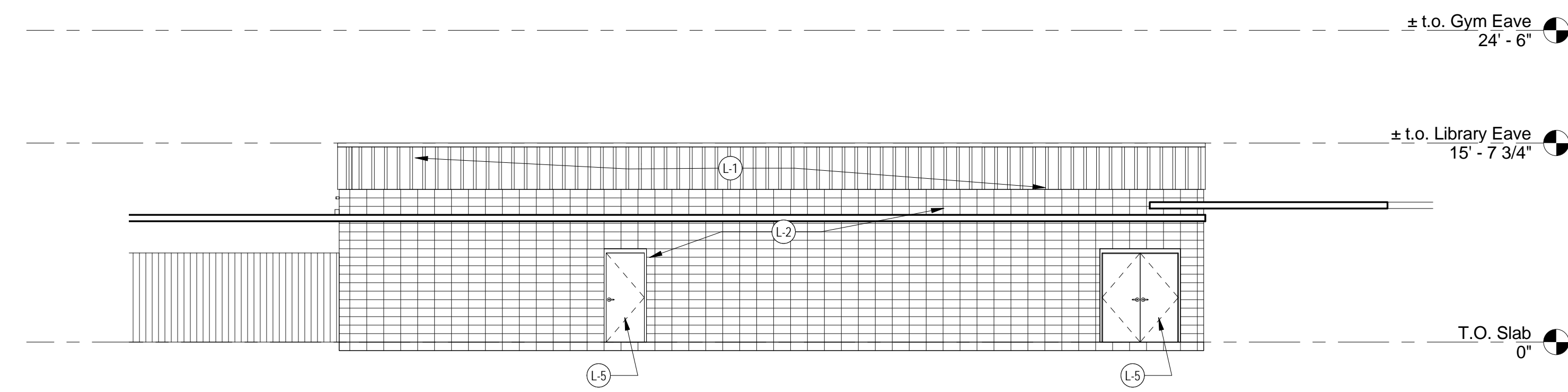
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1/8" = 1'-0"



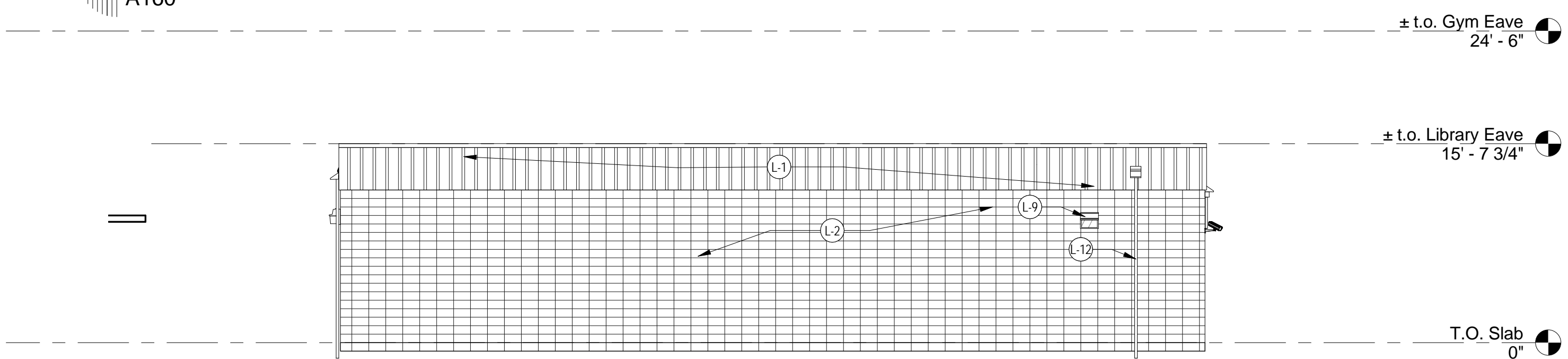
1
A150
1/8" = 1'-0"

GYM ELEVATION NOTES

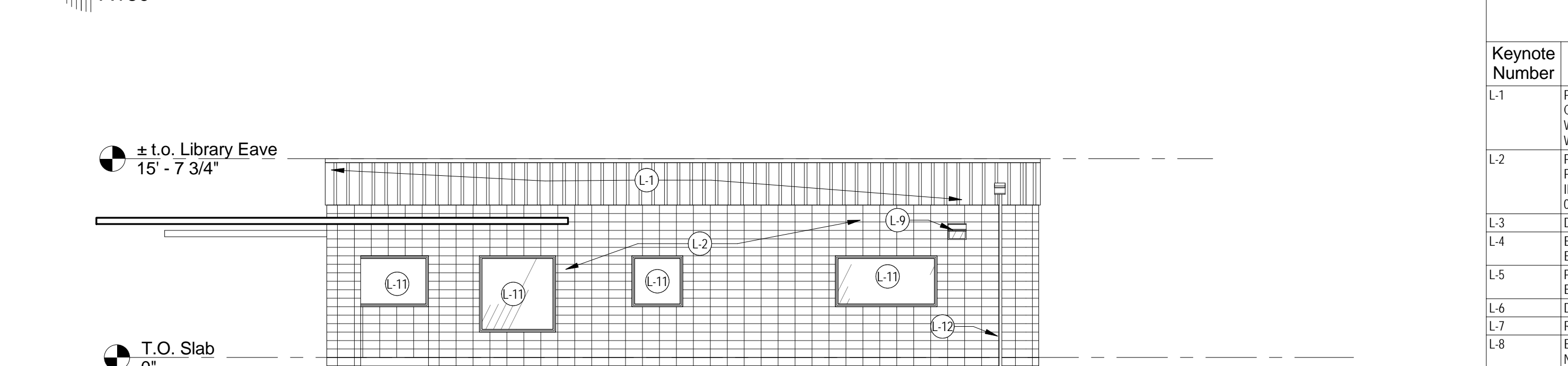
Mark	Description
1	PREPARE EXISTING CMU SURFACES FOR NEW HIGH PERFORMANCE COATING. PATCH ALL HOLES AND SEAL ALL PENETRATIONS. REMOVE ALL EXISTING SEALANTS AT DOORS AND OTHER OPENINGS. PREP JOINTS AND INSTALL NEW SEALANT. COAT WITH HIGH PERFORMANCE COATING ON EXTERIOR PER SPECIFICATION SECTION 09 9600. TYPICAL ALL CMU.
2	DEMOLISH EXISTING WOOD STUD WALL AND EXTERIOR METAL PANELS AND INTERIOR FINISH. PROVIDE NEW WALL ASSEMBLY. SEE ROOF PLAN FOR SECTION DETAIL. CALLOUTS: TEMPORARILY DETACH ANY CONDUIT, FIXTURES, OR OTHER ITEMS ATTACHED TO INTERIOR FACE OF WALL AND SUPPORT UNTIL NEW FINISH IS INSTALLED. RE-ATTACH ALL ITEMS SECURELY. MAINTAIN WEATHER-TIGHT ENCLOSURE ON DAILY BASIS. DISCONNECT AND RE-CONNECT ANY SERVICES THAT PENETRATE THIS SECTION OF WALL.
3	DEMOLISH EXISTING LOUVERS AND INFILL WITH 12" CMU. PAINT TO MATCH AT INTERIOR. SPECIFICATIONS CALL FOR HORIZONTAL REINFORCING WITHIN CMU COURSES. INSTALL DRILLED 1/4" GALVANIZED THREADED ANCHOR MIN. 4" INTO EXISTING SIDES OF OPENING SET IN EPOXY AND PROTRUDING 4" INTO NEW CMU AT EVERY OTHER COURSE. WIRE TIED TO HORIZ. REINFORCING.
4	PREPARE DOOR AND FRAME FOR NEW FINISH. RESEAL PERIMETER. PAINT DOOR AND FRAME ON INTERIOR AND EXTERIOR.
5	ELECTRICAL EQUIPMENT BANK AND CONDUIT. SEAL ALL AROUND TOP AND SIDES OF ALL WALL MOUNTED EQUIPMENT INTEGRAL WITH NEW WATERPROOFING TO MAINTAIN WATER TIGHT BUILDING ENVELOPE.
6	ELECTRICAL SHUT-OFF AND CONDUIT. REMOVE AND REPLACE TO ALLOW SEALING OF ALL PENETRATIONS, AND APPLICATION OF HIGH PERFORMANCE COATING ON CMU BEHIND. RE-ATTACH TO WALL THROUGH SEALED PENETRATIONS, AND PROVIDE NEW HOOD PER DETAIL 4/A260 TYPICAL.
7	DEMOLISH EXISTING WALL PACK AND PREPARE WIRING FOR INSTALLATION OF NEW WALL PACK EQUIVALENT TO XTRALIGHT LSWL-5500L-30K-DIM. SEAL ALL PENETRATIONS AND AROUND FIXTURE MOUNTING PLATE TO MAINTAIN WATER-TIGHT CONDITION.
8	REFRIGERANT LINE. PROVIDE NEW HOOD AND PENETRATION SEALING AND FLASHING PER DETAIL 5/A260. PROVIDE CONTINUOUS METAL PROTECTION SHROUD TO MATCH WALL PANELS. DISCONNECT AND RE-CONNECT LINE AS REQUIRED TO PROPERLY PENETRATE NEW EXTERIOR MATERIALS. RE-INSULATE LINE COMPLETELY PRIOR TO INSTALLING SHROUD.
9	DEMOLISH EXISTING WALL PACK AND PREPARE WIRING FOR INSTALLATION OF NEW WALL PACK EQUIVALENT TO XTRALIGHT LSWL-2500L-30K-DIM. SEAL ALL PENETRATIONS AND AROUND FIXTURE MOUNTING PLATE TO MAINTAIN WATER-TIGHT CONDITION.
10	EXHAUST HOOD. DISCONNECT AND CAP ELECTRICAL, REMOVE HOOD AND INTERIOR DUCT AND RETURN TO OWNER.
11	DEMOLISH EXISTING AWNING. PATCH HOLES. SEAL PENETRATIONS. INSTALL NEW AWNING.
12	DEMOLISH EXISTING WATER FOUNTAIN. PREPARE FOR NEW WATER FOUNTAIN. SEAL ALL PENETRATIONS. INSTALL NEW ADA COMPLIANT FOUNTAIN EQUIVALENT TO ELKAY VRCFLFRDDSC INTO FULL SERVICE.
13	REMOVE EXISTING BELL. STORE AND PROTECT. PATCH HOLES AND SEAL PENETRATIONS. REINSTALL BELL INTO FULL SERVICE.
14	EXISTING CONDUIT TO BE TEMPORARILY LOOSENED FROM WALL TO ALLOW PREPARATION AND INSTALL OF NEW HIGH PERFORMANCE COATING. SEAL ALL FASTENERS WHEN RE-ATTACHING, AND PROVIDE HOOD PER DETAIL 4/A260. PAINT TO MATCH NEW WALL COLOR.
15	DISCONNECT FAN. DEMOLISH EXISTING LOUVER, FAN, AND SURROUNDING WOOD STUD FRAMING.
16	REMOVE JUNCTION BOX AND DISCONNECT WIRE AND CABLE SUPPORT. PROVIDE NEW CABLE SUPPORT PER DETAIL. SEAL PENETRATIONS AND REINSTALL JUNCTION BOX. RE-ATTACH CABLE TO NEW SUPPORT CONNECTION, RECONNECT WIRE IN JB, AND PUT BACK INTO SERVICE.
17	REMOVE EXISTING LOUDSPEAKER AND RETURN TO OWNER. PROVIDE NEW WIRE IN CONDUIT INTO BUILDING TO CONNECT WITH OWNERS' EXISTING SYSTEM. REPLACE WITH NEW LOUDSPEAKER BY EXISTING SYSTEM VENDOR, AND PUT BACK INTO FULL SERVICE. EXPOSED WIRE NOT IN CONDUIT IS NOT ALLOWED AT THIS EQUIPMENT.
18	PATCH HOLE
20	EXISTING SIGN. REMOVE AND PROTECT DURING CONSTRUCTION. REINSTALL WITH SEALED PENETRATIONS.
21	DEMOLISH EXISTING THROUGH WALL HVAC UNIT REPAIR WALL & INFILL OPENING WITH CMU. PAINT CORNER TO CORNER WALL TO CEILING OF INTERIOR OF WALL TO MATCH ADJACENT WALL. SPECIFICATIONS CALL FOR HORIZONTAL REINFORCING WITHIN CMU COURSES. INSTALL DRILLED 1/4" GALVANIZED THREADED ANCHOR MIN. 4" INTO EXISTING SIDES OF OPENING SET IN EPOXY AND PROTRUDING 4" INTO NEW CMU AT EVERY OTHER COURSE. WIRE TIED TO REINFORCING.
22	PREPARE FRAME AND PANELS FOR NEW FINISH. RESEAL PERIMETER AND ALL PANEL EDGES. PAINT DOOR AND FRAME ON INTERIOR AND EXTERIOR.
23	DISCONNECT WIRE AT SERVICE LOCATION ON SIDE OF GYMNASIUM AND PULL WIRE BACK TO LOCATION WHERE CONDUIT GOES TO SUBSURFACE. REMOVE PORTION OF VERTICAL CONDUIT AND ALL HORIZONTAL CONDUIT AND LB CONDUIT BODY BACK TO POINT OF WIRE TERMINATION AT SERVICE LOCATION. INSTALL NEW LB CONDUIT BODY AT TOP OF EXISTING VERTICAL CONDUIT AND INSTALL NEW CONDUIT AND ELBOWS TO ALLOW CONDUIT TO PENETRATE NEW METAL SIDING AND RUN THROUGH EXISTING ROOF FRAMING/CEILING CAVITY AND EXIT BUILDING THROUGH OPPOSITE SIDE IN AND RE-TERMINATE AT EXISTING SERVICE LOCATION. RE-PULL WIRE AND RECONNECT. BRING SERVICE BACK TO ORIGINAL OPERATING CONDITION AND VERIFY WITH OWNER THAT ALL SERVICE HAS BEEN RESTORED. PATCH ALL BRACKET FASTENER HOLES AND SEAL ALL NEW CONDUIT STRAP FASTENER PENETRATIONS. ALL WORK TO COMPLY WITH APPLICABLE ELECTRICAL CODES AND STANDARDS. ALL NEW CONDUIT SHALL BE SCHEDULE 80 PVC.
24	REMOVE EXISTING FLASHING AND REPAIR WALL.
25	DEMOLISH HOOD. PATCH WALL.
26	PVC CONDENSATE LINE. REMOVE FROM WALL. SEAL PENETRATIONS. AFTER HIGH PERFORMANCE COATING APPLICATION, REINSTALL WITH SEALED PENETRATIONS AND NEW HOOD PER DETAIL 4/A260.
27	DEMOLISH DRYER VENT AND INSTALL NEW EQUIVALENT TO 4" DIAMETER LUXURY METALS GALVANIZED AIR DEFENDER VENT. COUNTERFLASH SIMILAR TO DETAIL 4/A260. PAINT TO MATCH ADJACENT FINISH.
28	EXISTING HOSE BIBB. SEAL ALL AROUND PENETRATION.



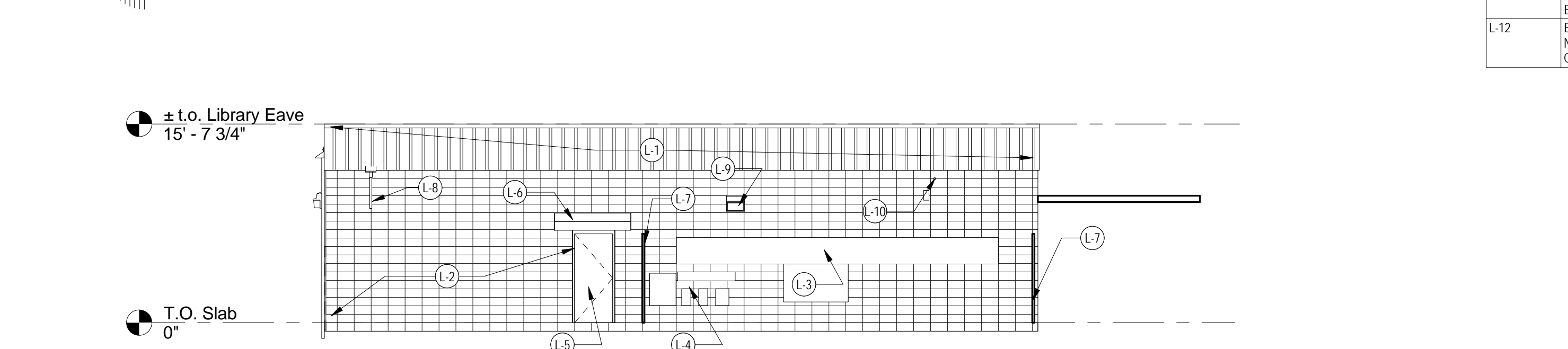
3 Library - East Elevation
A160 1/8" = 1'-0"



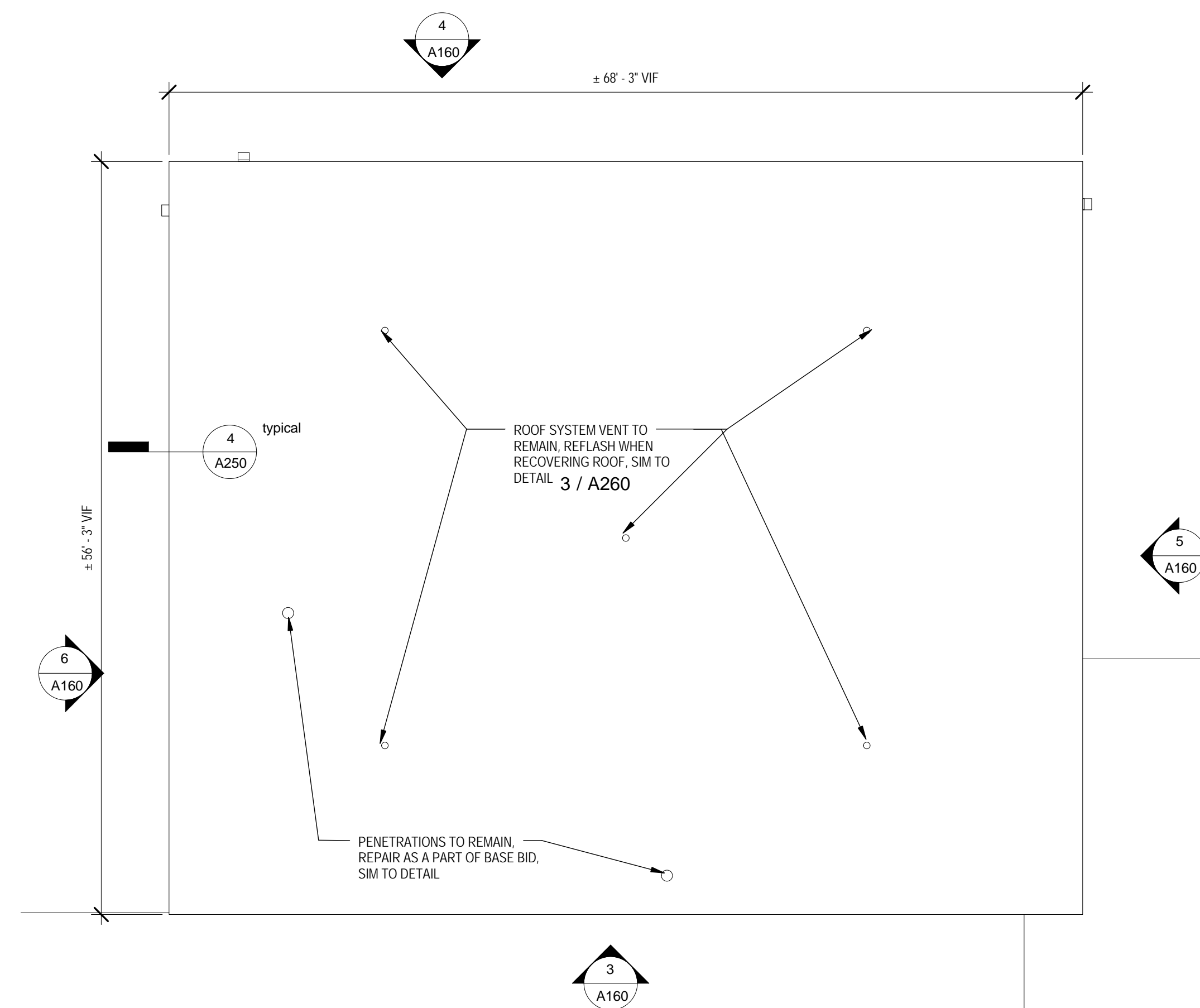
4 Library - West Elevation
A160 1/8" = 1'-0"



5 Library - North Elevation
A160 1/8" = 1'-0"

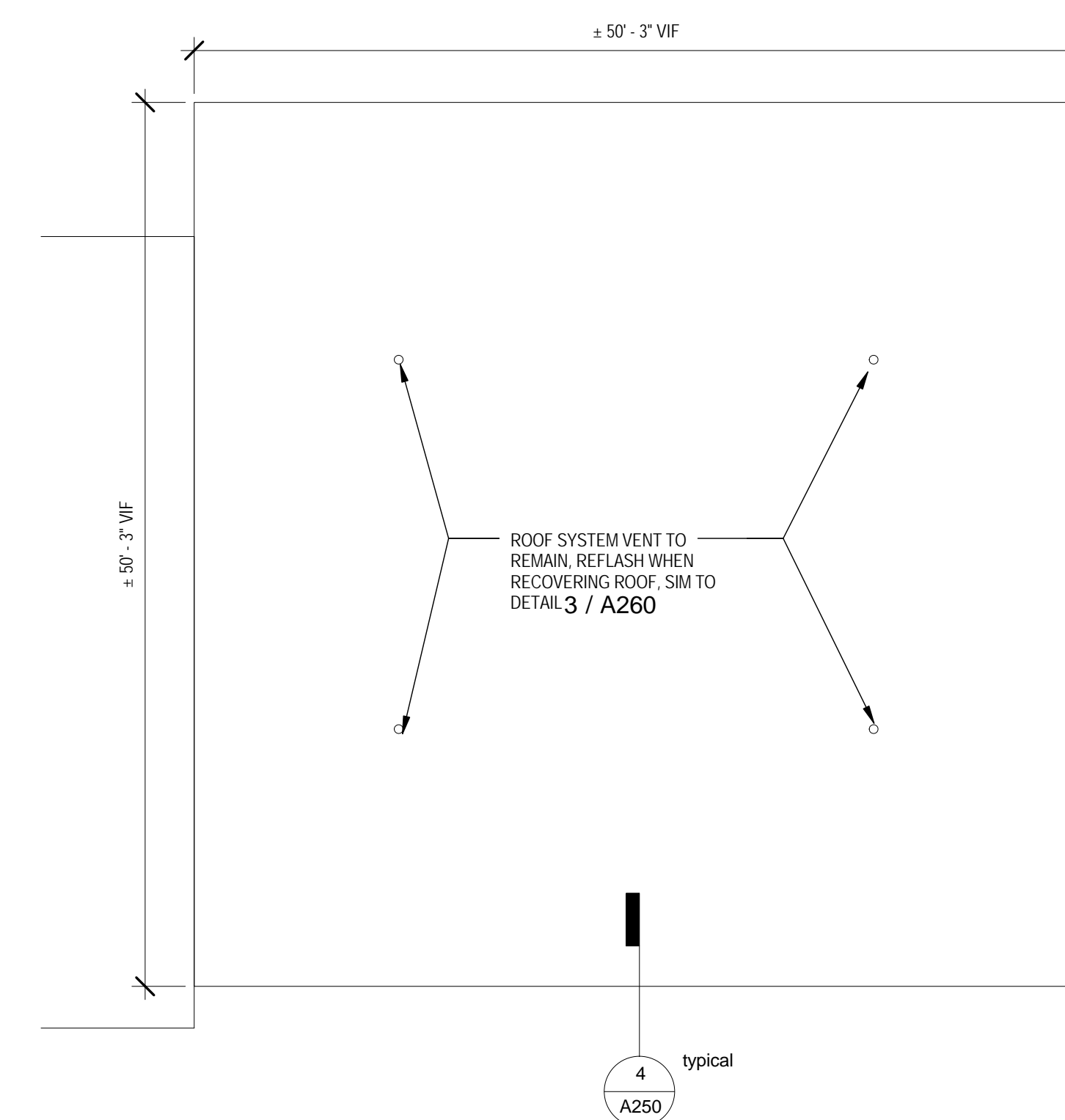


6 Library - South Elevation
A160 1/8" = 1'-0"



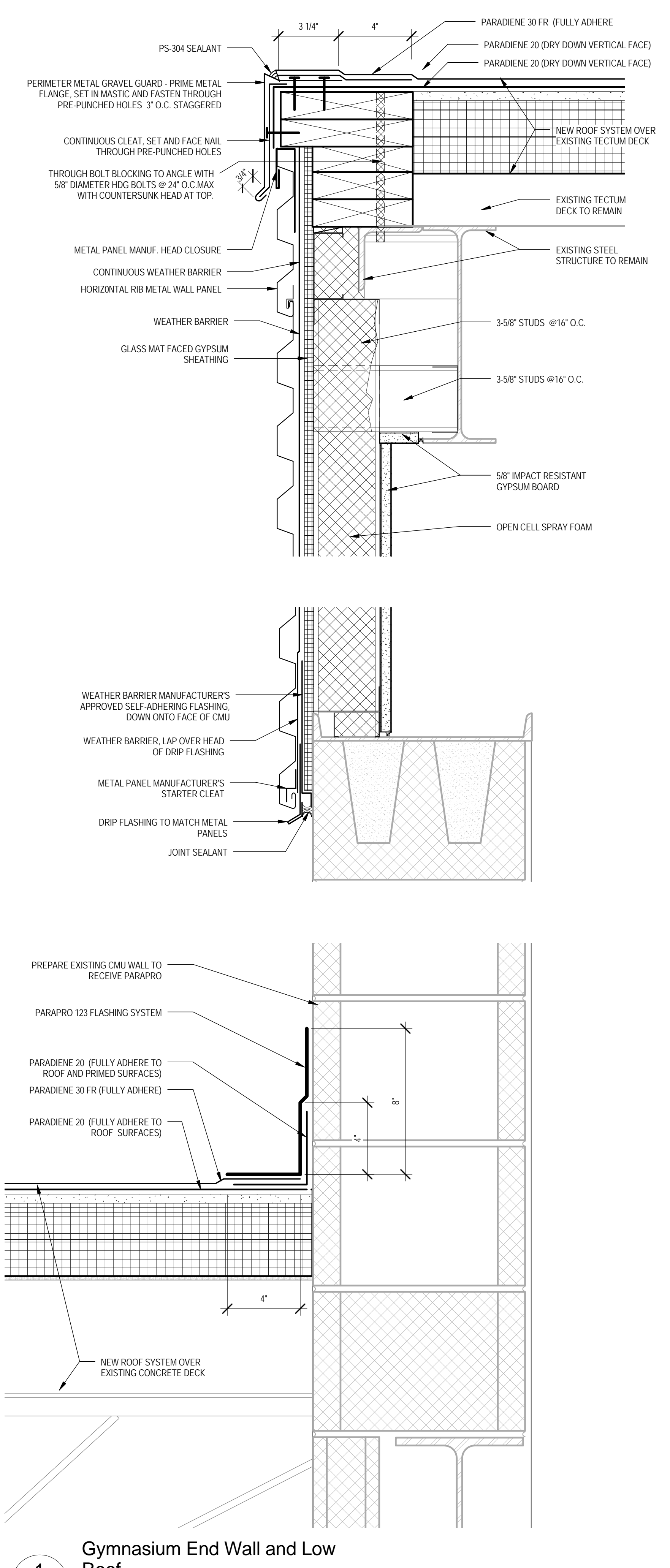
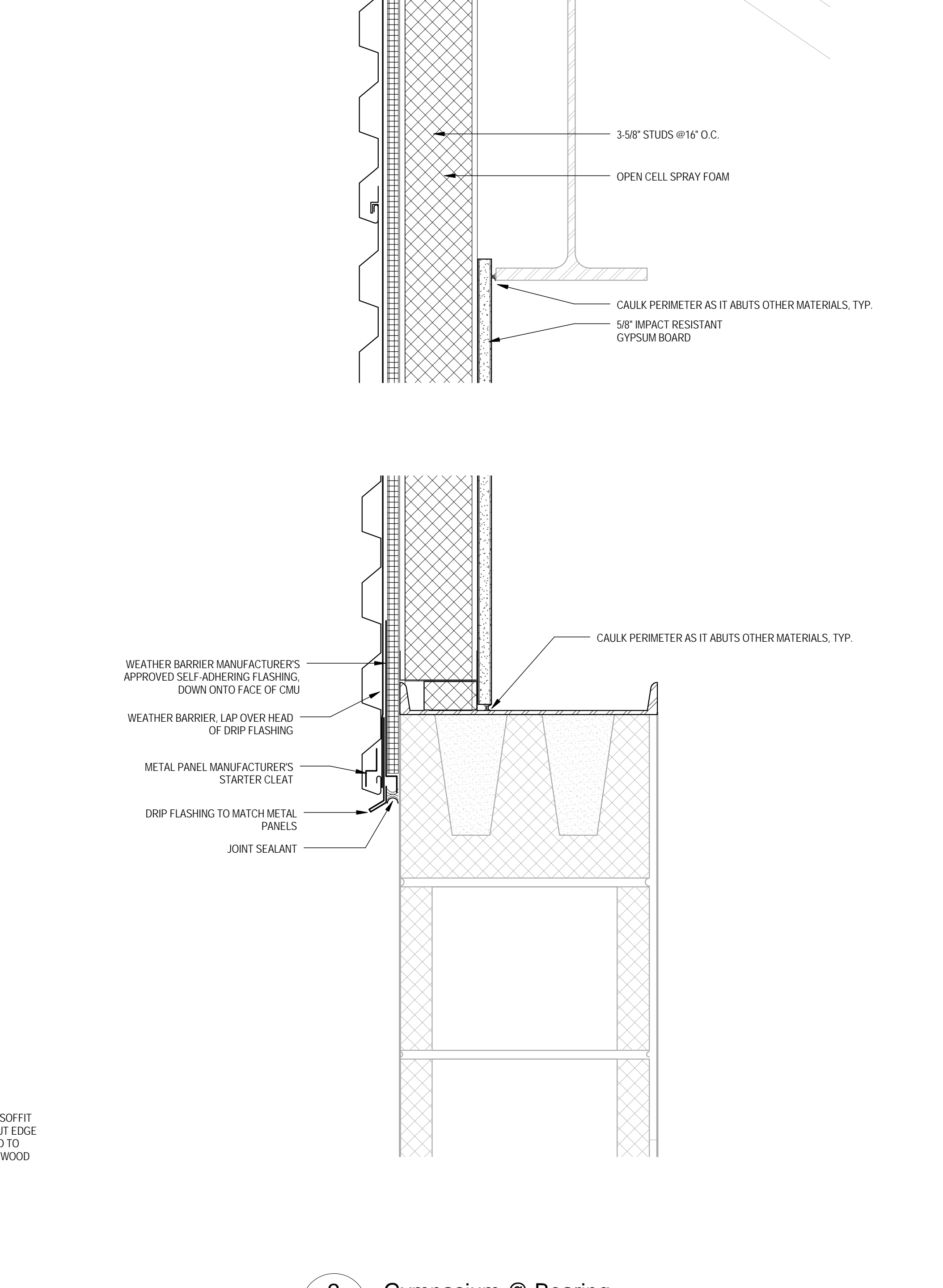
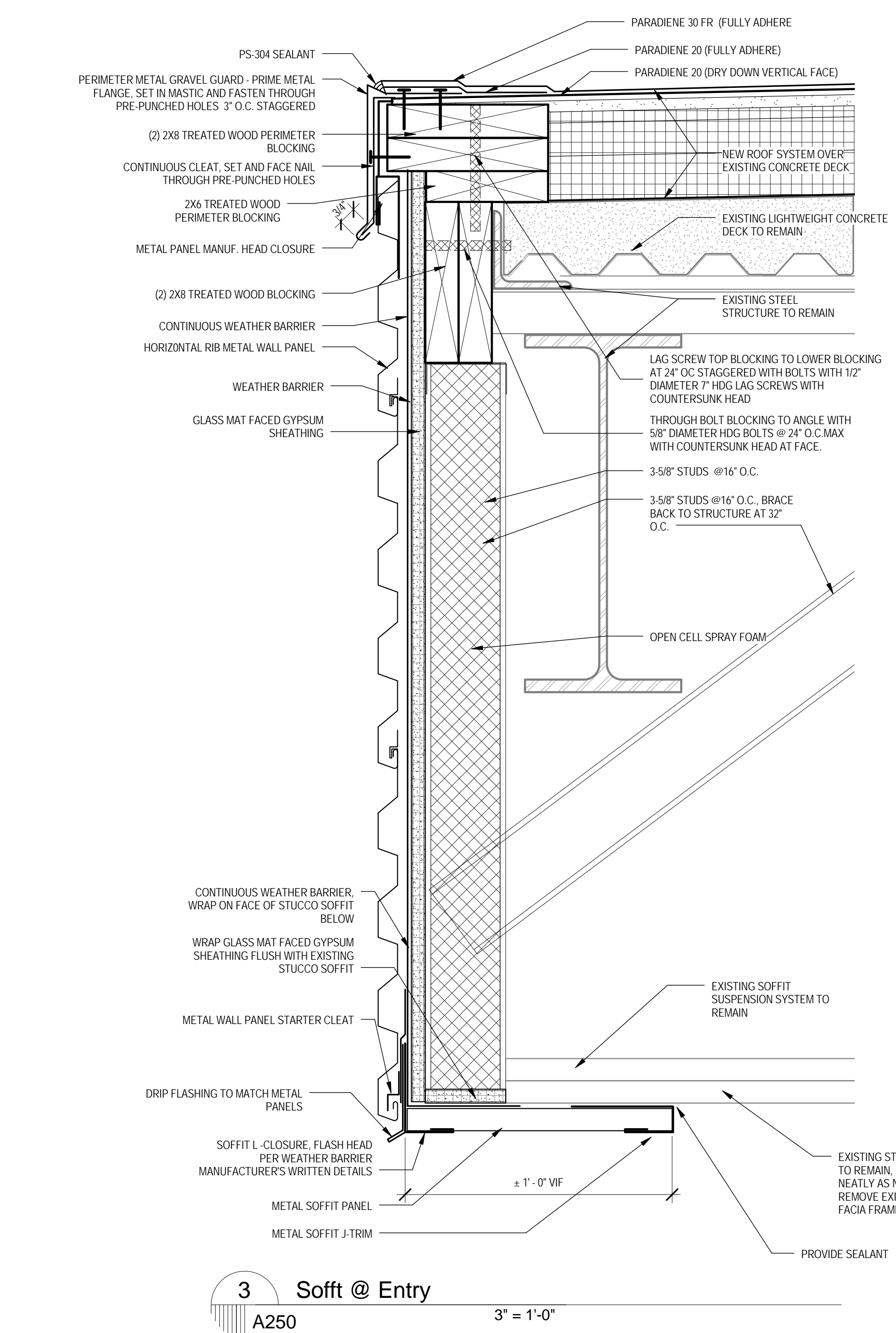
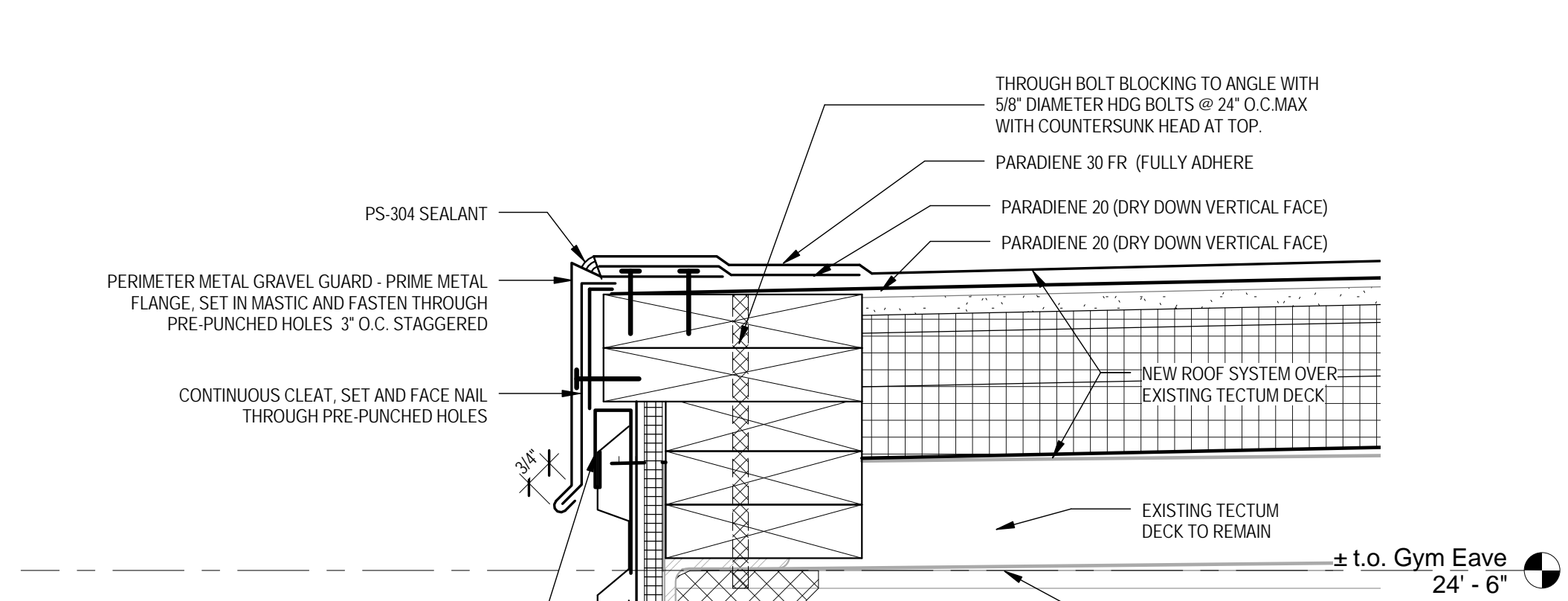
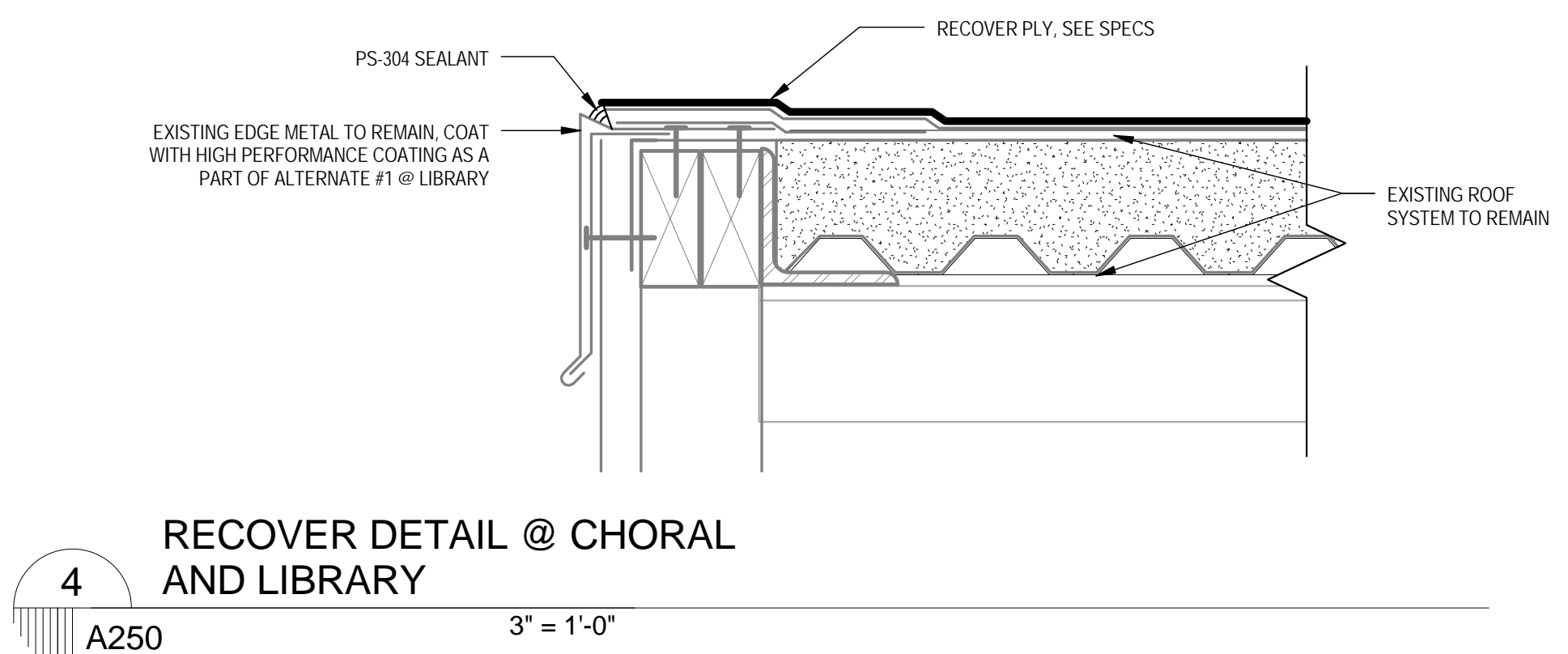
1 Library Roof Plan
A160 1/8" = 1'-0"

LIBRARY ELEVATION NOTES	
Keynote Number	Description
L-1	PREPARE EXISTING METAL WALL PANEL AND ROOF EDGE METAL SURFACES FOR NEW HIGH PERFORMANCE COATING. PATCH ALL HOLES AND SEAL ALL PENETRATIONS. PREP JOINTS AND INSTALL NEW SEALANT. COAT WITH HIGH PERFORMANCE COATING ON EXTERIOR PER SPECIFICATION SECTION 09 9600. TYPICAL ALL METAL WALL PANELS AND ROOF EDGE METAL.
L-2	PREPARE EXISTING CMU SURFACES FOR NEW HIGH PERFORMANCE COATING. PATCH ALL HOLES AND SEAL ALL PENETRATIONS. REMOVE ALL EXISTING SEALANTS AT DOORS AND OTHER OPENINGS. PREP JOINTS AND INSTALL NEW SEALANT. COAT WITH HIGH PERFORMANCE COATING ON EXTERIOR PER SPECIFICATION SECTION 09 9600. TYPICAL ALL CMU.
L-3	DUCT, COVER WITH NEW HOOD SEE DETAIL 8/A270
L-4	ELECTRICAL EQUIPMENT BANK AND CONDUIT. SEAL ALL AROUND TOP AND SIDES OF ALL WALL MOUNTED EQUIPMENT INTEGRAL WITH NEW WATERPROOFING TO MAINTAIN WATER TIGHT BUILDING ENVELOPE
L-5	PREPARE DOOR AND FRAME FOR NEW FINISH, RESEAL PERIMETER. PAINT DOOR AND FRAME ON INTERIOR AND EXTERIOR.
L-6	DEMOLISH EXISTING AWNING. PATCH HOLES, SEAL PENETRATIONS. INSTALL NEW AWNING.
L-7	REMOVE FENCE ATTACHED TO WALL. REPAIR & COAT WALL. REINSTALL FENCE. DO NOT PENETRATE WALL.
L-8	EXISTING CONDUIT TO BE TEMPORARILY LOOSENED FROM WALL TO ALLOW PREPARATION AND INSTALL OF NEW HIGH PERFORMANCE COATING. SEAL ALL FASTENERS WHEN RE-ATTACHING. PAINT TO MATCH NEW WALL COLOR.
L-9	DEMOLISH EXISTING WALL PACK AND PREPARE WIRING FOR INSTALLATION OF NEW WALL PACK EQUIVALENT TO XTRALIGHT LSWL-2500L-30K-DIM. SEAL ALL PENETRATIONS AND AROUND FIXTURE MOUNTING PLATE TO MAINTAIN WATER-TIGHT CONDITION
L-10	REMOVE SERVICE BOX AND DISCONNECT WIRE AND CABLE SUPPORT. PROVIDE NEW CABLE SUPPORT PER DETAIL. SEAL PENETRATIONS AND REINSTALL SERVICE BOX, REATTACH CABLE TO NEW SUPPORT CONNECTION. RECONNECT WIRE IN SERVICE BOX, AND PUT BACK INTO SERVICE.
L-11	PREPARE WINDOW AND FRAME FOR NEW FINISH, RESEAL PERIMETER OF FRAME AND GLASS. PAINT FRAME EXTERIOR.
L-12	EXISTING CONDUIT TO BE TEMPORARILY LOOSENED FROM WALL TO ALLOW PREPARATION AND INSTALL OF NEW HIGH PERFORMANCE COATING. SEAL ALL FASTENERS WHEN RE-ATTACHING. PAINT TO MATCH NEW WALL COLOR. SEE DETAIL 7/A270



2 Choral Building Roof Plan
A160 1/8" = 1'-0"

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01.19.2017
REVIEW SET ONLY
issue date for revisions

issue date for permitting
02.02.2017

issue date for bid
02.02.2017

issue date for construction
02.02.2017

job no.
1701

sheet title
roof details

sheet no.
A250

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