



**CENTRALBIDDING**  
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**2023-25 Hurricane Ida Damage Repairs at Grace King High School  
(Currently Haynes Academy for Advanced Studies)**  
Jefferson Parish Public School System

Project documents obtained from [www.CentralBidding.com](http://www.CentralBidding.com)  
25-Jun-2025 02:37:24 PM



# Hurricane Ida Damage Repair at Grace King High

4301 Grace King Pl.  
JPPSS Project No. 2023-25

Metairie, LA 70002  
SMA Project No. 2403



| Superintendent | Dr. James Gray                       |
|----------------|--------------------------------------|
| District 1     | Dr. Gerard LeBlanc                   |
| District 2     | Mr. Ricky Johnson, Sr.               |
| District 3     | Ms. Kiss Fairborn Fortunato          |
| District 4     | Mr. Clay Mose, II                    |
| District 5     | Mr. Derrick Shepherd, Vice President |
| District 6     | Mr. Michael Pedalino                 |
| District 7     | Mr. Ralph Brandt, President          |
| District 8     | Mr. Chad Nugent                      |
| District 9     | Mr. Steven Gutierrez                 |

## General Notes

- All work shall comply with all Laws, Rules, Regulations, Ordinances and Codes of Jefferson Parish, The State of Louisiana, and the Federal Government.
- The Contractor is responsible for verifying the extent, nature, and scope of work described in these documents and shall coordinate with the Architect work shown and described in these documents. The Contractor shall provide all labor, materials, equipment, transportation, delivery, handling, services, supervision and quality control necessary to execute all work as shown on these drawings except where specifically noted as not in contract (NIC). He shall be responsible for coordinating his work with that of all trades including those operating under separate contracts with the Owner (if any). All work shall be performed by skilled and qualified workmen in accordance with the best practices of the trades involved.
- All permits, licenses, approvals, reviews, and inspections necessary for the proper and legal execution and completion of the work shall be secured by and paid for by the Contractor. Contractor shall give all notices to all authorities and agencies having jurisdiction over the work. Contractor shall make certain that all required permits and approvals have been obtained prior to the start of any work. No construction or fabrication shall begin until the contractor has received and thoroughly reviewed all drawings and other documents as approved by all permitting authorities.
- Contractor shall pay all applicable sales taxes and all other applicable taxes as required to comply with all applicable laws.
- All dimensions, angles, elevations, conditions, and physical configurations relative to existing conditions at the site shall be verified in field by the contractor prior to commencing construction. Before ordering any material or doing any work, the Contractor shall verify all measurements at the site and shall be responsible for the correctness of same.
- All HVAC work shall conform to the current applicable edition of the International Mechanical Code and NFPA 90A and applicable ASHRAE Standards.
- All Plumbing work shall conform to the current applicable edition of the International Plumbing Code, with State of Louisiana amendments, and the State Sanitary Code. All plumbing work shall be performed by a licensed plumber with a license to do commercial plumbing work in Jefferson Parish.
- All Electrical work shall conform to the current applicable edition of the ICC Electric Code, NFPA 70 and shall be done to the highest commercial standards. All electrical work shall conform to requirements of Jefferson Parish. All electrical work shall be performed by licensed electricians, properly licensed to do commercial work in Jefferson Parish. All electrical materials and equipment shall be UL approved and labeled for the intended use. Exit signs and emergency lights are provided as part of this Project in accordance with NFPA 101.
- No natural gas work is part of this project.
- Contractor shall visit site and examine all existing conditions prior to submitting proposal. He shall familiarize himself completely with the difficulties and restrictions affecting the execution of the contract.
- Portable hand held fire extinguishers are included as part of the project per NFPA 101 and as per NFPA 10. All fire extinguishers shall be UL listed/labeled and FM approved. A State of Louisiana Registered/Certified Fire Extinguisher Agent shall perform all fire extinguisher installation and testing.
- All products, materials and equipment shall be installed in strict accordance with the manufacturers printed instructions and specifications, in compliance with all applicable codes, and within the highest accepted commercial trade standards by skilled, experienced, trained and competent craftsmen. Use only new materials.
- All aspects of job site safety are completely the responsibility of the Contractor. The Architect will not have control or charge of and will not be responsible for construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the work. Contractor shall perform all work in a safe and orderly manner avoiding hazardous conditions. Provide all necessary temporary shoring, bracing, barricades and protective barriers as required to insure safe execution of construction.
- Work areas shall be kept neat, clean, and safe at all times by Contractor. Trash or debris shall not be allowed to accumulate on the site. Premises shall be kept neat, clean, orderly and safe at all times. Contractor shall be responsible for providing suitable trash containers and trash removal from the property. All waste shall be properly and legally disposed of.
- Do not scale any drawings without specific permission of the Architect. Written dimensions shall govern. Consult Architect for dimensions not shown.
- The Drawings are intended to define the general design and scope of the work required to complete the Project. It is the intent of these documents to provide for complete and finished work and complete operating systems. Any omissions in these notes or in the Drawings shall not be construed as relieving the contractor of such responsibilities implied by the scope of work except for items specifically noted as not in contract. The contractor shall carefully examine the construction documents and secure from the Architect additional information, if necessary, that may be required to a clear and full understanding of the work. All miscellaneous components, parts, anchors, accessories, means of installation, and other incidental items required for complete assembly/installation of an item or system shall be provided, whether or not specifically noted or specified. The contractor shall include all components which are normally incidental to the work, those components which are required as an essential aesthetic, functional, or code required element of the work, are to be included. Any work or material that is not directly or indirectly noted on the Drawings but is necessary for the proper carrying out of the obvious intention is to be understood as "implied" and is to be provided by the contractor as fully as if specifically described or delineated herein. Any discrepancies in the drawings shall be reported to the architect for interpretation or correction before work is executed.
- Fire Alarm/Detection System work shall be in accordance with the current applicable edition of NFPA 72. All alarm system work shall be performed by a state certified alarm system agent using only state licensed and NICET certified technicians. Alarm system shall comply with ADA ABA AG.
- All work will be subject to the review, inspection, and acceptance of the Owner (and the Architect at the discretion of the Owner). Upon completion of the work, the Contractor shall notify the Owner and the Contractor shall prepare and submit a list of deficiencies ("Punch List") of all needed corrections, unsatisfactory work and incomplete work.
- During the construction period, any discrepancies, conflicts, and/or questions of interpretations in the drawings or specifications shall be submitted to the Architect promptly for clarification. The Architect will issue written instructions to the contractor clarifying such matters. The Architect will not be responsible for verbal instructions. No allowance shall be made after the start of construction for misunderstandings on the part of the contractor. It shall be held that the contractor and his subcontractors/material suppliers have examined all drawings/documents and the site for proper comprehension of the work.
- When any part of the building is open to the exterior, protect interior from wind, rain, storm, vandalism and unauthorized entry. Prevent any possibility of mold growth.
- Hardware on all doors in the path(s) of egress shall require no key, tool, special knowledge or effort to operate in the direction of egress and shall never be locked in the direction of egress.
- The following systems, if included, shall be demonstrated by the installing Contractor in the presence of The State Fire Marshal Inspector and the Contractor's Superintendent.
  - Lighted Exit Signs
  - Egress Path Lighting
  - Emergency Lighting
  - Fire Alarm and Detection Systems (Must provide materials & test certificate)
  - Elevator System (Must Provide Materials & Test Certificate)

- Dimensions for stud walls shown on drawings are to the face of stud framing unless specifically otherwise noted. Where a dimension is labeled as "clear" it is from the face of the finished wall or surface.
- Where doors are located near wall corner, door jambs shall be offset 6 inches from the intersecting wall stud line unless specifically noted otherwise.
- All stud spacing shall be 16 inches on center maximum spacing for all stud walls. Note that 16 inches is the maximum spacing. In some cases at exterior walls, the stud spacing may be 12 inches on center, reference wall sections.
- Provide blocking and solid grounds for all equipment, accessories, etc. Such as but not limited to electrical fixtures, toilet partitions, toilet room accessories, wall mounted door stops, grab bars, hardware, shelving, cabinets and casework, fire extinguisher cabinets, misc architectural features, wall mounted plumbing fixtures, appliances, and similar items. All wood blocking in metal stud walls shall be preservative pressure treated.
- Coordinate specialty items and structural, mechanical and electrical rough-in requirements with stud framing. Provide stud spacing, extra studs, blocking, bracing, etc. to suit various equipment such as recessed fire extinguisher cabinets, access panels, registers, grilles, electrical panels, electrical boxes and similar items to be built-in. Verify heights and locations of all built in items with the architect prior to preparing for their installation.
- All surfaces noted to be finished shall be properly prepared such as cleaning, sanding, patching, filling, priming and sealing and then finished per the Finish Schedule and/or Specifications or as required by conditions.
- Contractor shall comply with NFPA 1014.322. In buildings under construction, adequate escape facilities shall be maintained at all times for use of construction workers. escape facilities shall consist of doors, walkways, stairs, ramps, fire escapes, ladders, or other approved means or devices arranged in accordance with the general principles of NFPA 101 insofar as they can reasonably be applied to buildings under construction as interpreted by The State Fire Marshal. Also conform to NFPA 241 - Standard for Safeguarding Construction, Alteration and Demolition Operations. Provide sealant/caulking at all seams, joints and material intersections for a neat appearance.
- Provide UL Listed freestanding systems at walls, partitions, ceilings and floors as required by IBC, NFPA 101 and as indicated in the Contract Documents.
- All wood in contact with masonry, concrete or steel shall be ACQ Preservative Pressure Treated (PT).
- All new surfaces (other than factory finished surfaces) shall be prepared, primed, stained or painted or varnished per the Finish Schedule and/or Specifications.
- Provide rollers, blocking, furring hat channel, expansion joints and other accessories as needed to properly and rigidly secure gypsum board and other finishes to the supporting construction and to allow for expansion and contraction. Provide expansion joints in all gypsum board installations per Industry Standards, per Manufacturer's Recommendations and per Specifications. Discuss with Architect and confirm suitable locations for joints, as recommended by the Contractor prior to installation. All gypsum board ceilings, provide joints to limit areas to 400 sq ft maximum.
- Shop Drawings shall contain correct and accurate dimensions and conditions obtained in the field. If conditions vary significantly from those shown in the Construction Documents the Contractor shall notify the Architect before proceeding with work and before preparing Shop Drawings.
- Provide fully tempered or laminated safety glass in all locations required by IBC Code requirements and where shown on the Drawings in interior windows and doors.

## Vicinity Plan - NTS



## Project Team

|              |  |                    |   |                  |  |
|--------------|--|--------------------|---|------------------|--|
| <b>Owner</b> | <b>Jefferson Parish Public School System</b><br>4600 River Road, 1st Floor<br>Marrero, LA 70072<br>504.349.8995 Office | <b>Owner's Rep</b> | <b>CSRS, Owner's Representative/Project Management</b><br>8555 United Plaza Blvd.<br>Baton Rouge, LA 70809<br>1.833.523.2526 ext. 1230 Office<br>504.343.1955 Cell<br>Contact: Randy Hutchinson, Architectural Project Manager<br>randyhutchinson@csrsinc.com | <b>Architect</b> | <b>Scairono Martinez Architects</b><br>6525 Memphis Street<br>New Orleans, LA 70124<br>504.214.8884 Office<br>Contact: Ron Martinez, Project Arch.<br>ron@scaironomartinez.com |
|--------------|--|--------------------|---|------------------|--|

## Project Description

Project scope consists of Hurricane Ida repairs includes replacing membrane roof systems, metal roof system, ceiling systems, flooring, and wall repairs.


## Applicable Building Codes

IBC 2021, IEBC 2021, IPC 2021, IMC 2021, ASCE 7-16, and NFPA 101 2015  
  
ASCE 7-16 for the Project Location:  
Basic Wind Speed: 150 mph  
Exposure Category: B  
Risk Category: II  
Building Configuration: Enclosed

## List of Drawings

| Sheet Number         | Sheet Title                                      |
|----------------------|--|
| <b>Architectural</b> |  |
| A 01                 | Cover Sheet, General Notes, and List of Drawings |
| A 11                 | Site Plan  |
| A 21                 | Floor Plans                                      |
| A 22                 | Enlarged Floor Plans, Repair Schedule            |
| A 23                 | Enlarged Floor Plans, Repair Schedule            |
| A 24                 | Enlarged Floor Plans, Repair Schedule            |
| A 31                 | Elevations                                       |
| A 101                | Roof Plans                                       |
| A 102                | Roof Details                                     |
| A 103                | Roof Details                                     |
| A 104                | Roof Details                                     |
| A 105                | Roof Details                                     |
| A 106                | Roof Details                                     |
| A 107                | Roof Details                                     |
| A 108                | Roof Details                                     |
| A 109                | Roof Details                                     |
| A 1010               | Tapered Insulation Plan                          |

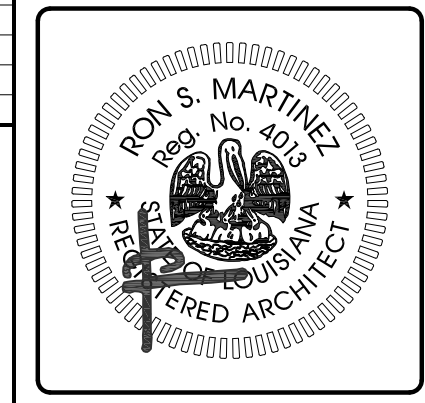
THESE DRAWINGS HAVE BEEN PREPARED BY ME OR UNDER MY RESPONSIBLE SUPERVISION, AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THEY COMPLY WITH ALL JEFFERSON PARISH AND STATE OF LOUISIANA REQUIREMENTS. I WILL PERIODICALLY OBSERVE THE CONSTRUCTION WORK.

SIGNED:  DATE: June 4, 2025  
RON MARTINEZ, LICENSED ARCHITECT  
LICENSE NO. LA 4013



Louisiana State Law LRS. 40:1749:13 states that no person shall excavate or demolish without first ascertaining the location of underground utilities by serving telephone notice to a regional notification program. In Louisiana, the regional notification program is Louisiana One Call. In order to serve notice of excavation or demolition, this program can be reached by calling 1-800-272-3020.

Hurricane Ida Damage Repair at Grace King High  
4301 Grace King Pl.  
Metairie, LA 70002



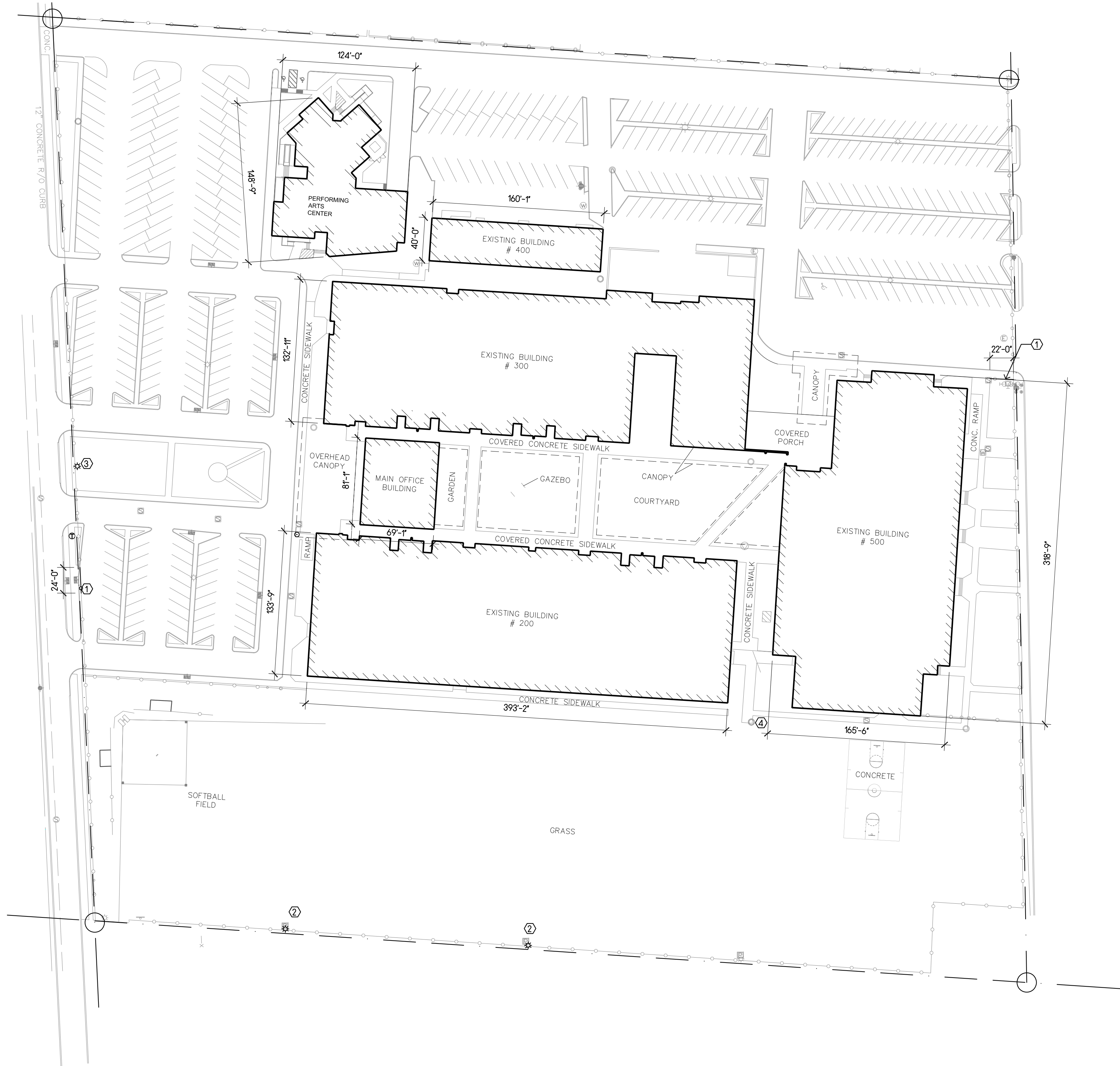
Issue: Bid Docs  
Date: 6/4/2025  
Revisions:

SMA Project No.  
**2403**  
Sheet  
**A0.1**  
Cover Sheet, Gen Notes, & List of Drawings

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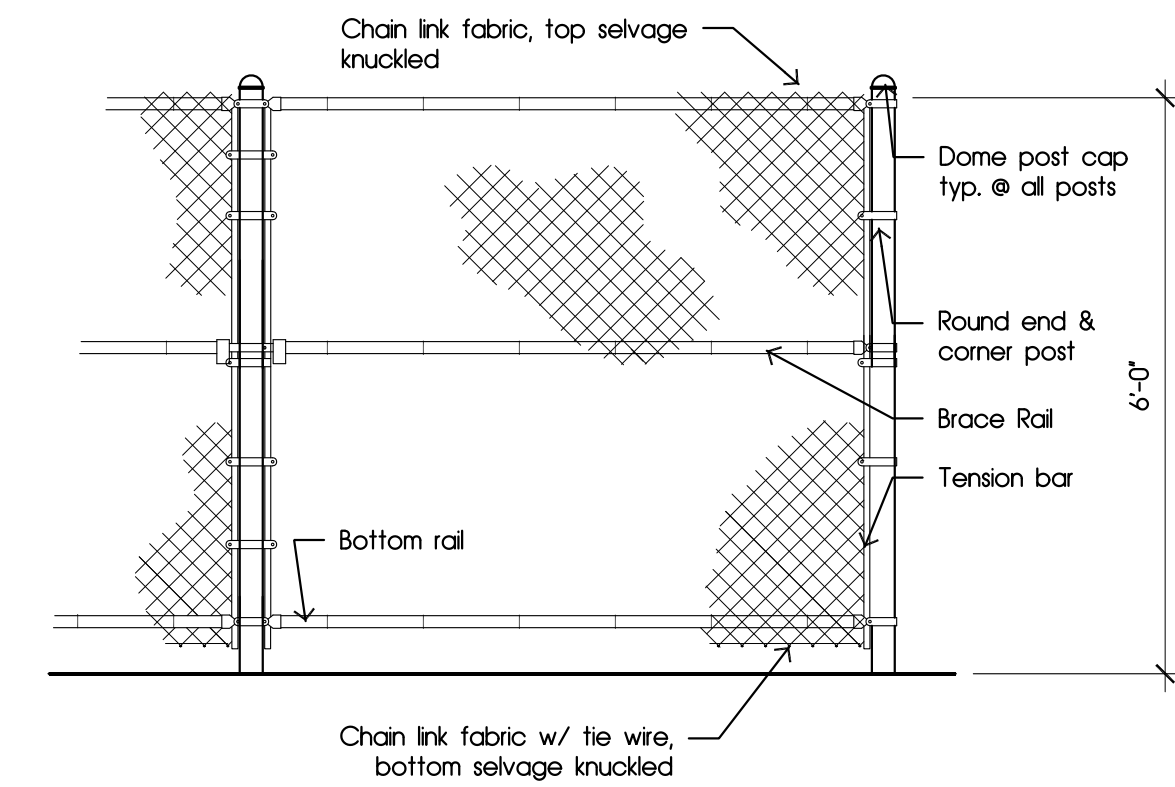
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**A** Site Plan  
SCALE: 1" = 60'-0"  
0 20 60 120'

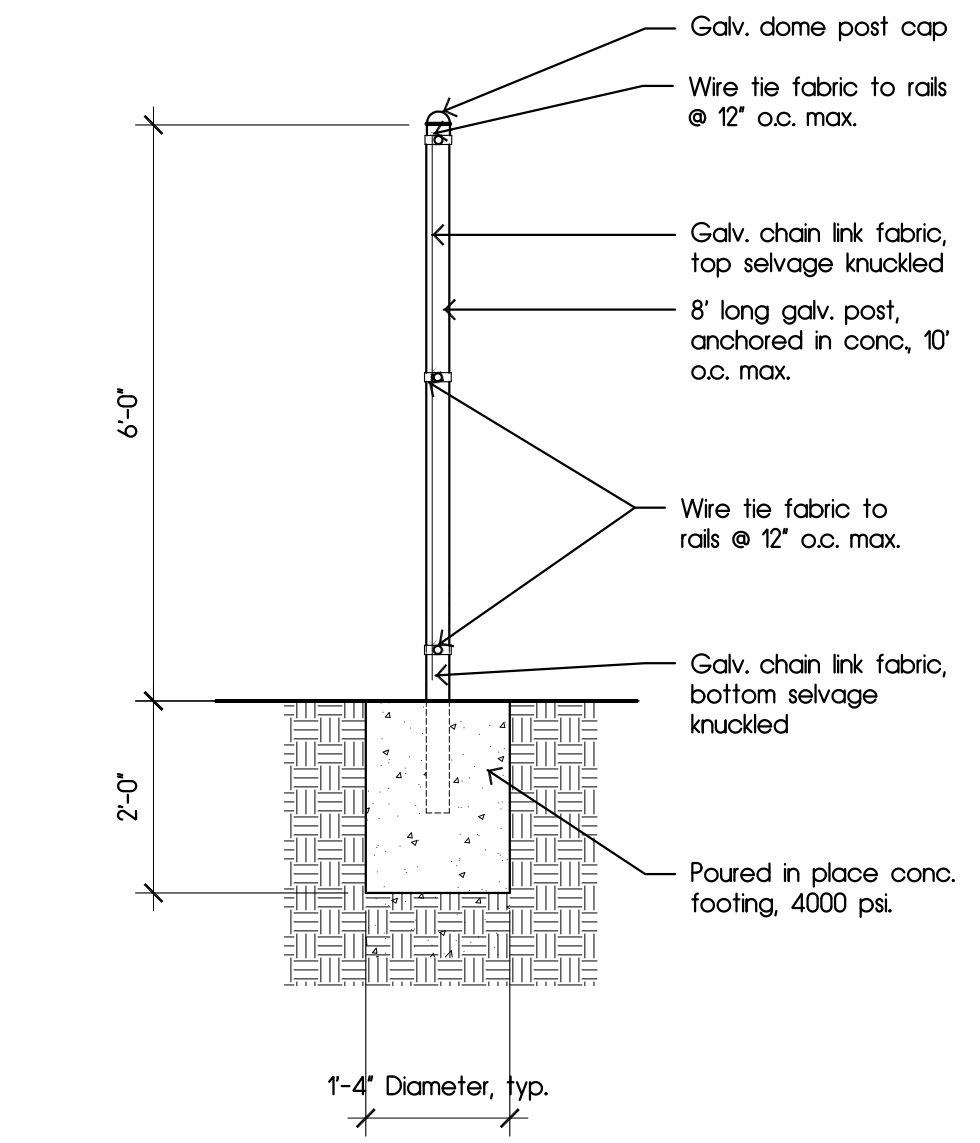


**Keynotes**

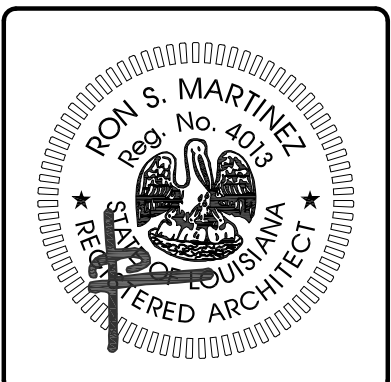
1. Remove existing chain link fence, including all posts, rails, and chain link fabric. Provide chainlink fence to match height of existing fence.
2. Remove existing light pole and reset anchor bolts to provide flush condition at base. Reset light pole.
3. Remove existing pole mounted sign and reset anchor bolts to provide flush condition at base. Reset sign.
4. Replace damaged picnic style table with integral benches with steel picnic style table with thermoplastic coating on table and bench tops



**B** Chain Link Fence - Typ. Elevation  
SCALE: 1/2" = 1'-0"  
0 1 2 4'



**C** Typ. Section @ Chain Link Fence  
SCALE: 1/2" = 1'-0"  
0 1 2 4'



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Date: 6/4/2025  
Revisions:

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A  
A24

A  
A22

Legend

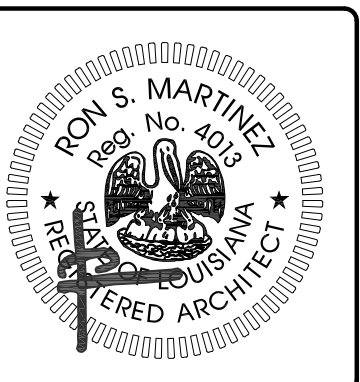
- Interior Hurricane Ida Damage Noted in This Area
- No Interior Work in This Area



**A** Floor Plan  
SCALE: 1" = 30'-0"  
0 10 30 60'

**SMA**  
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Hurricane Ida Damage Repair at  
Grace King High  
4301 Grace King Pl. Metairie, LA 70002



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SMA Project No.  
**2403**  
Sheet  
**A2.1**  
Floor Plans



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| Building 300 - Repair Schedule |       | Quantities indicated on Repair Schedule are for verification by FEMA. Contractor shall determine exact quantities in field. Refer to entirety of Construction Documents and Project Manual for complete scope of work. |  |   |
|--------------------------------|-------|--|--|---|
| Room                           | Floor | Wall   | Ceiling  | Other   |
| 303                            |       | Clean and re-prime and paint concrete/CMU block wall - 36 sq ft  |  | Replace water damaged corkboard - 40 sq ft  |
| 305                            |       |  |  | Replace 4'W x 7'H x 1/8" rear panel on water damaged wood cabinet. Prime and paint. |
| 309                            |       | Clean and re-prime and paint concrete/CMU block wall - 950 sq ft   |  |   |
| 31B                            |       | Replace water damaged 12" VCT flooring - 567 sq ft   |  |   |
| 316/30G                        |       | Clean and re-prime and paint sheetrock wall - 168 sq ft  |  | Replace damaged/missing white board - 160 sq ft                                     |
| 322                            |       | Replace damaged carpet - 225 sq ft   |  |   |
| Caf                            |       | Replace water damaged 12" VCT flooring - 6,720 sq ft   |  |   |
| Food                           |       |  | Clean and re-prime and paint sheetrock wall - 12 sq ft | Replace damaged 1x4 surface mounted light fixture.                                  |
| Exterior                       |       | Remove and Replace Aluminum Adjustable Blade Louvers   |  |   |

| Building 400 - Repair Schedule |       | Quantities indicated on Repair Schedule are for verification by FEMA. Contractor shall determine exact quantities in field. Refer to entirety of Construction Documents and Project Manual for complete scope of work. |         |  |
|--------------------------------|-------|--|---------|--|
| Room                           | Floor | Wall   | Ceiling | Other  |
| 401                            |       | Clean and re-prime and paint concrete/CMU block wall. Repair cracked CMU partitions.   |         |  |
| 402                            |       | Clean and re-prime and paint concrete/CMU block wall. Repair cracked CMU partitions.   |         |  |
| 403                            |       | Clean and re-prime and paint concrete/CMU block wall. Repair cracked CMU partitions.   |         |  |
| 404                            |       | Clean and re-prime and paint concrete/CMU block wall. Repair cracked CMU partitions.   |         |  |
| Exterior                       |       | Repoint and seal brick veneer on north side.   |         | Replace damaged/missing light sconce and bulb. |

| Building 600 - Repair Schedule |       | Quantities indicated on Repair Schedule are for verification by FEMA. Contractor shall determine exact quantities in field. Refer to entirety of Construction Documents and Project Manual for complete scope of work. |         |       |
|--------------------------------|-------|--|---------|-------|
| Room                           | Floor | Wall   | Ceiling | Other |
| 602                            |       | Replace damaged 3" wide wood plank flooring. Stain to match - 25 sq ft   |         |       |

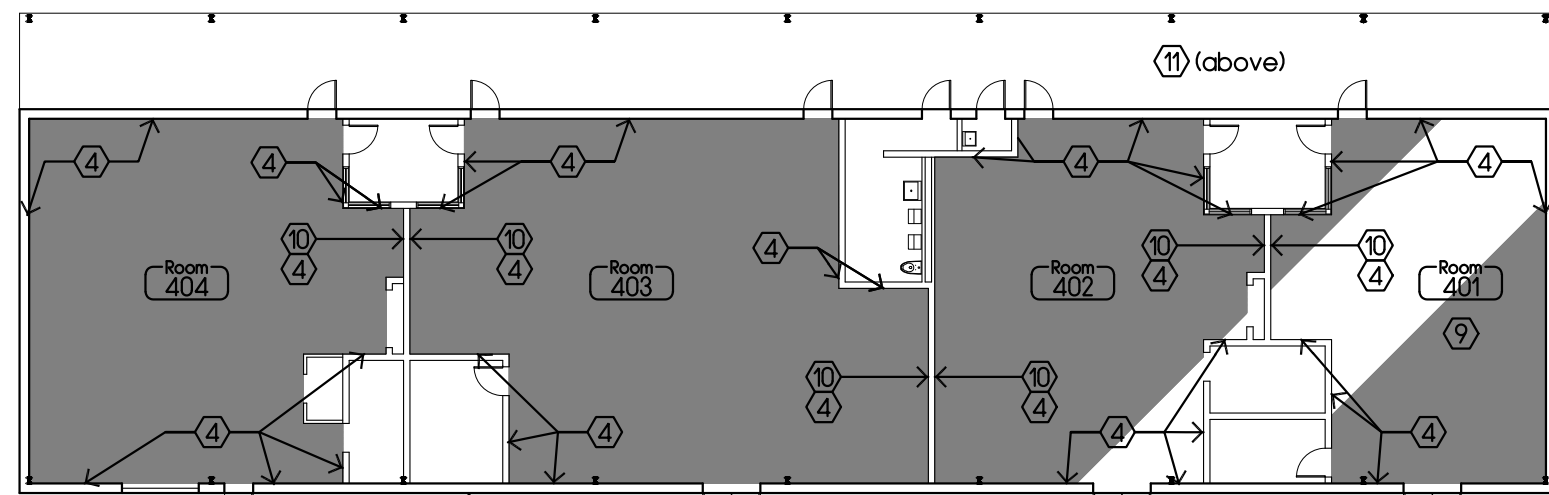
**Legend**

- Interior Hurricane Ida Damage Noted in This Area
- No Interior Work in This Area

**Keynotes**

2. Replace water damaged fiberglass insulation.
3. Replace water damaged vinyl base.
4. Clean and re-prime and paint concrete/CMU block wall.
5. Clean and re-prime and paint sheetrock wall.
6. Repoint and seal brick veneer.
7. Replace water damaged corkboard.
8. Replace rear panel on water damaged wood cabinet. Prime and paint.
9. Replace water damaged 12" VCT flooring.
10. Remove all loose mortar and damaged concrete masonry units and repoint all cracked joints in existing CMU partitions. Clean, prime, and paint entire interior wall surfaces throughout building.
11. Replace damaged/missing light sconce and bulb.
12. Replace damaged 3" wide wood plank flooring. Stain to match.
13. Replace missing weather proof intercom speaker.
14. Replace damaged wood paneling. Stain to match.
15. Remove and replace aluminum adjustable blade louvers and frame.
16. Replace damaged/missing white board.
17. Replace damaged carpet.
18. Replace damaged 1x4 surface mounted light fixture.
19. Repair water damaged plaster wall.
20. Clean and re-prime and paint 5/8" painted plywood wall.
21. Clean, prime, and paint 2x2 metal ceiling access hatch.
22. Secure all exterior electrical conduit. Reconnect as required.

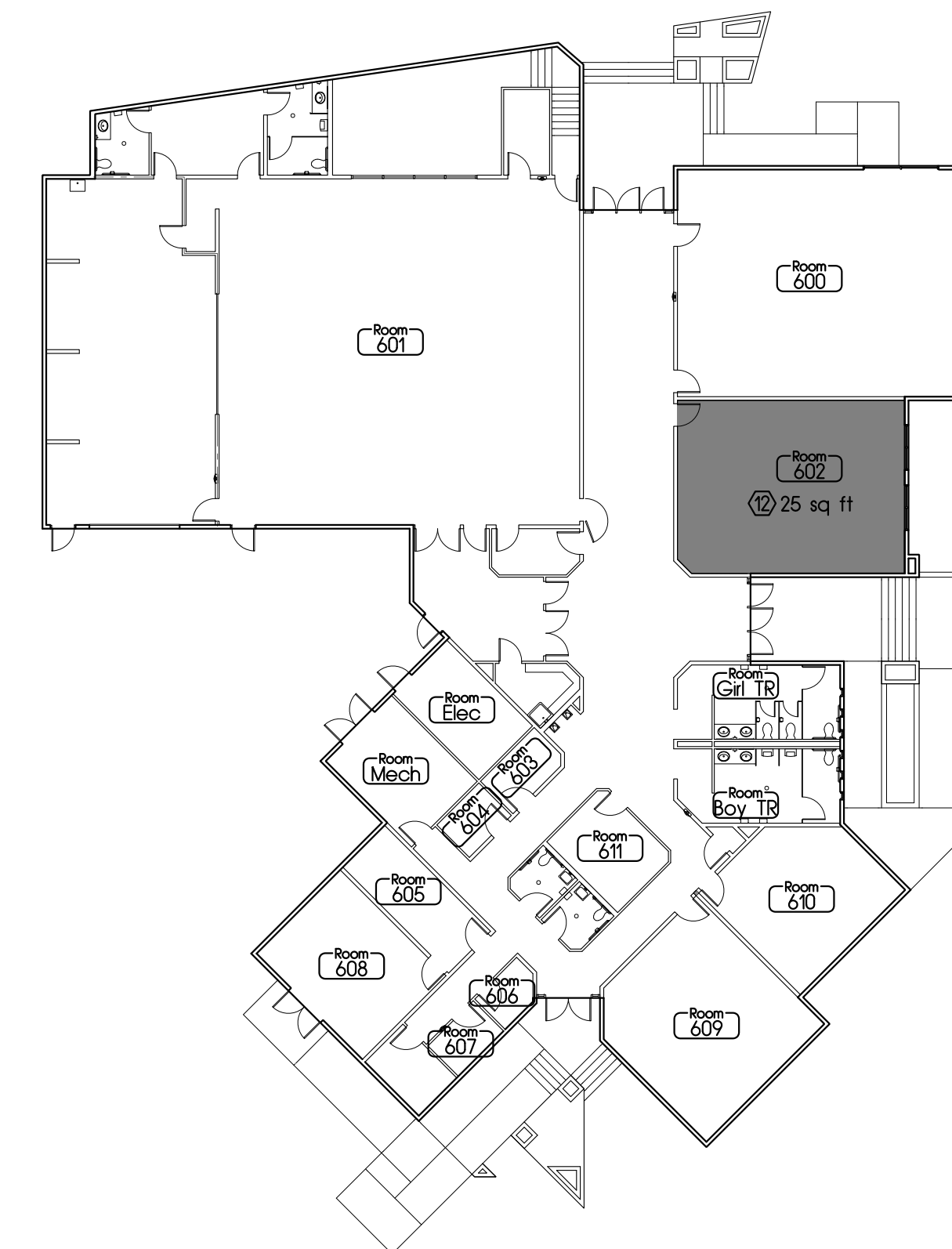
**Scairono  
Martinez  
Architects**  
 (504) 896-2000  
 scaironomartinez.com



**B** 400 Building Enlarged Floor Plan  
SCALE 1" = 20'-0"

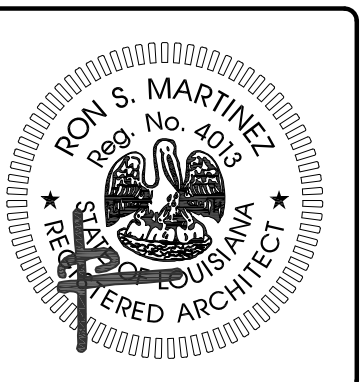


**A** 300 Building Enlarged Floor Plan  
SCALE 1" = 20'-0"



**C** 600 Building Enlarged Floor Plan  
SCALE 1" = 20'-0"

Hurricane Ida Damage Repair at  
 Grace King High  
 Metairie, LA 70002  
 4301 Grace King Pl.



Issue: Bid Docs  
 Date: 6/4/2025  
 Revisions:

SMA Project No.  
**2403**  
 Sheet  
**A2.3**  
 Enlarged Floor Plans

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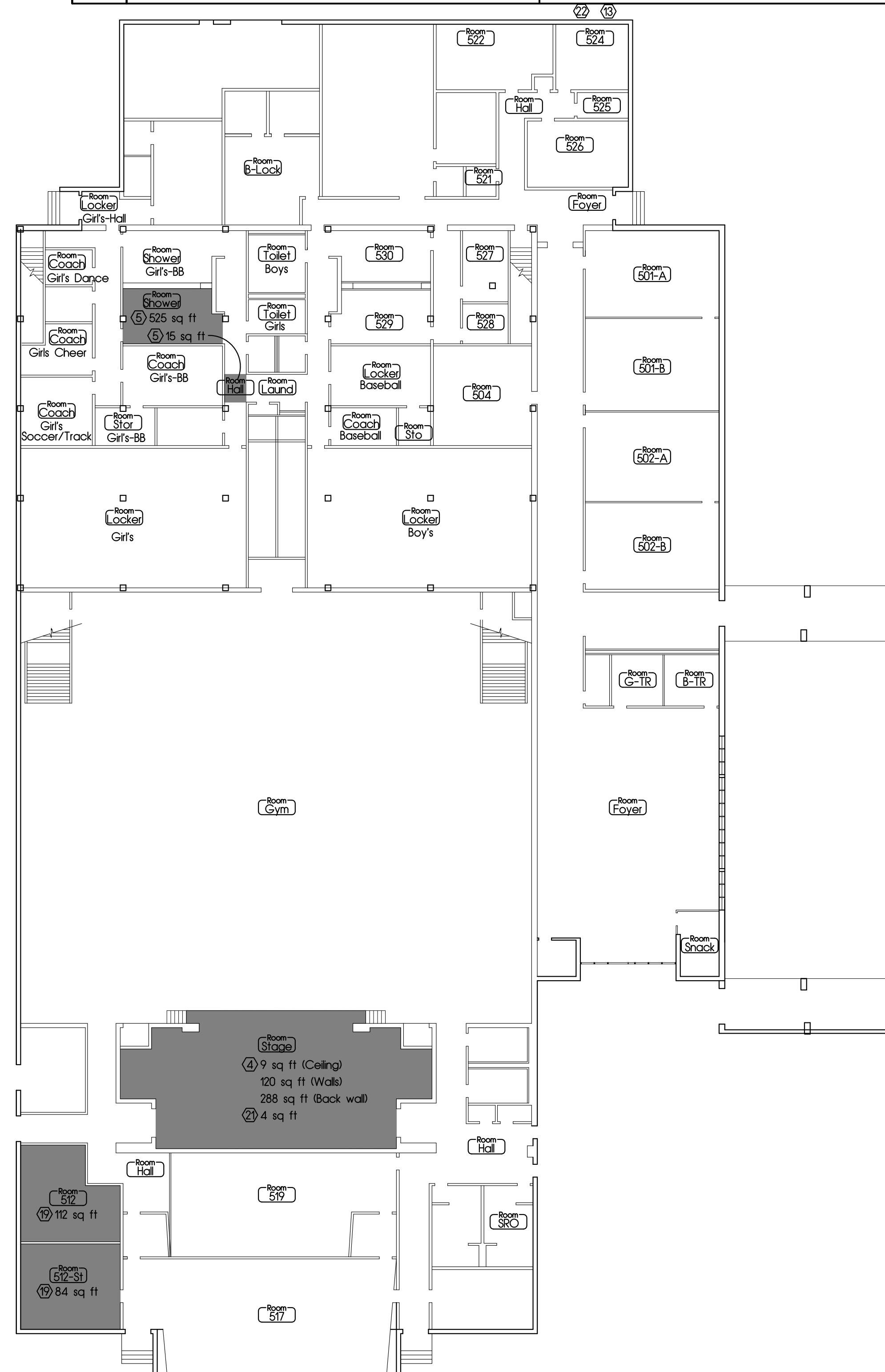
| Room     | Floor | Wall  | Ceiling  | Other   |
|----------|-------|---|--|---|
| Shower   |       | Clean and re-prime and paint sheetrock wall - 525 sq ft           |  |   |
| Hall     |       | Clean and re-prime and paint sheetrock wall - 15 sq ft            |  |   |
| Stage    |       | Clean and re-prime and paint concrete/CMU block wall - 120 sq ft  | Clean and re-prime and paint concrete/CMU block wall - 9 sq ft |   |
| 512      |       | Clean and re-prime and paint concrete/CMU block wall - 288 sq ft  | Replace water damaged 2x2 metal ceiling access hatch - 9 sq ft |   |
| 512-St   |       | Repair water damaged plaster wall - 112 sq ft                     |  |   |
| Mezz     |       | Repair water damaged plaster wall - 84 sq ft                      |  |   |
| Weights  |       | Clean and re-prime and paint 5/8" painted plywood wall - 84 sq ft |  |   |
| Exterior |       | Remove and Replace Aluminum Adjustable Blade Louvers              |  | Replace missing weather proof intercom speaker.<br>Secure all exterior electrical conduit. Reconnect as required. |

**Legend**

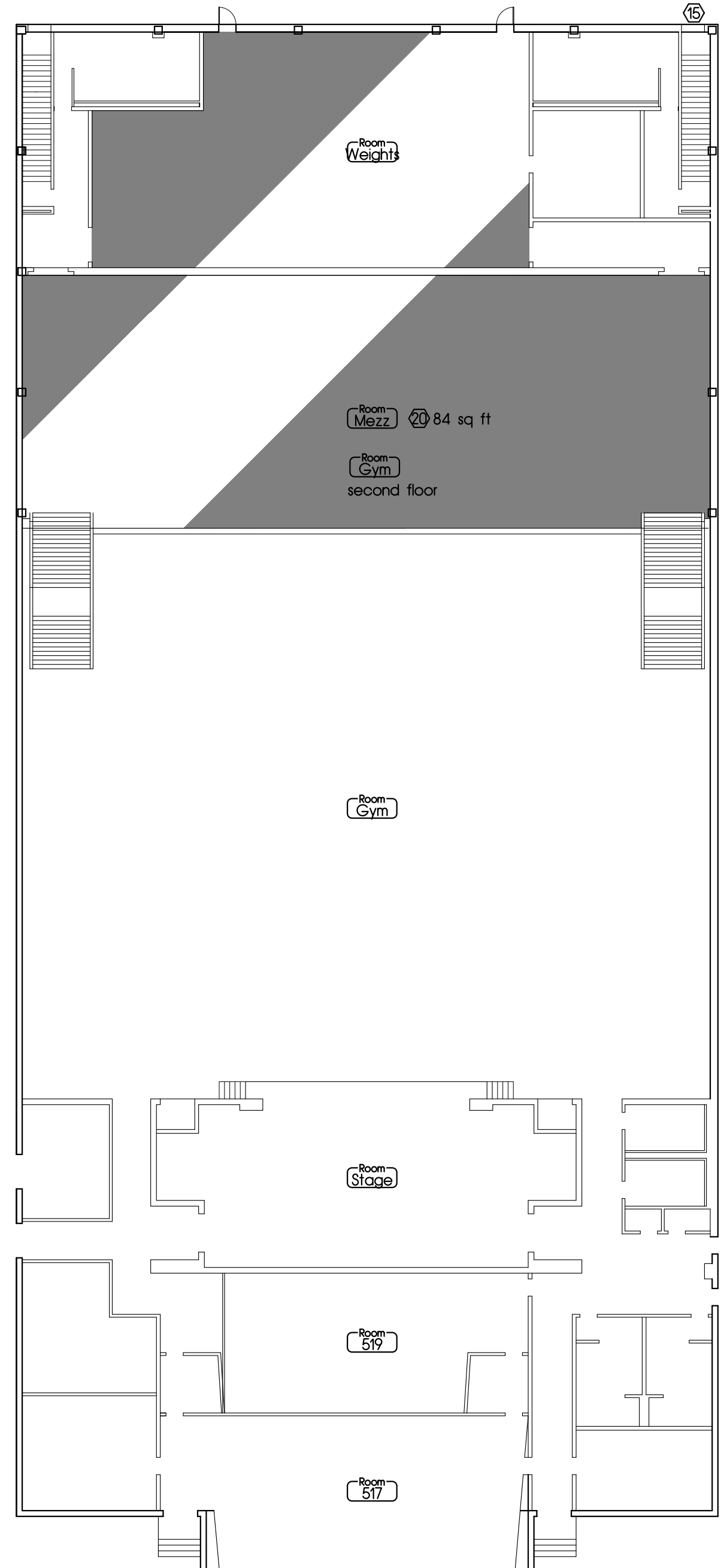
- Interior Hurricane Ida Damage Noted in This Area
- No Interior Work in This Area

**Keynotes**

2. Replace water damaged fiberglass insulation.
3. Replace water damaged vinyl base.
4. Clean and re-prime and paint concrete/CMU block wall.
5. Clean and re-prime and paint sheetrock wall.
6. Repoint and seal brick veneer.
7. Replace water damaged corkboard.
8. Replace rear panel on water damaged wood cabinet. Prime and paint.
9. Replace water damaged 12" VCT flooring.
10. Remove all loose mortar and damaged concrete masonry units and re-point all cracked joints in existing CMU partitions. Clean, prime, and paint entire interior wall surfaces throughout building.
11. Replace damaged/missing light sconce and bulb.
12. Replace damaged 3" wide wood plank flooring. Stain to match.
13. Replace missing weather proof intercom speaker.
14. Replace damaged wood paneling. Stain to match.
15. Remove and replace aluminum adjustable blade louvers and frame.
16. Replace damaged/missing white board.
17. Replace damaged carpet.
18. Replace damaged 1x4 surface mounted light fixture.
19. Repair water damaged plaster wall.
20. Clean and re-prime and paint 5/8" painted plywood wall.
21. Clean, prime, and paint 2x2 metal ceiling access hatch.
22. Secure all exterior electrical conduit. Reconnect as required.

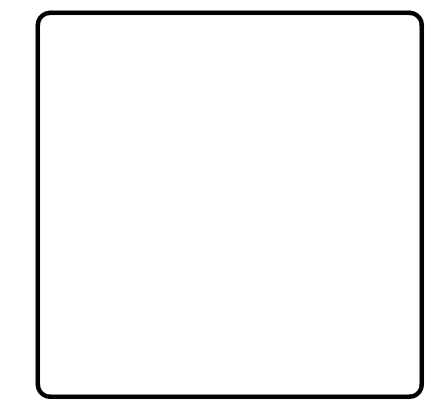


**A** Gymnasium Building Enlarged Floor Plan - 1st Floor  
SCALE: 1" = 20'-0"



**B** Gymnasium Building Enlarged Floor Plan - 2nd Floor  
SCALE: 1" = 20'-0"

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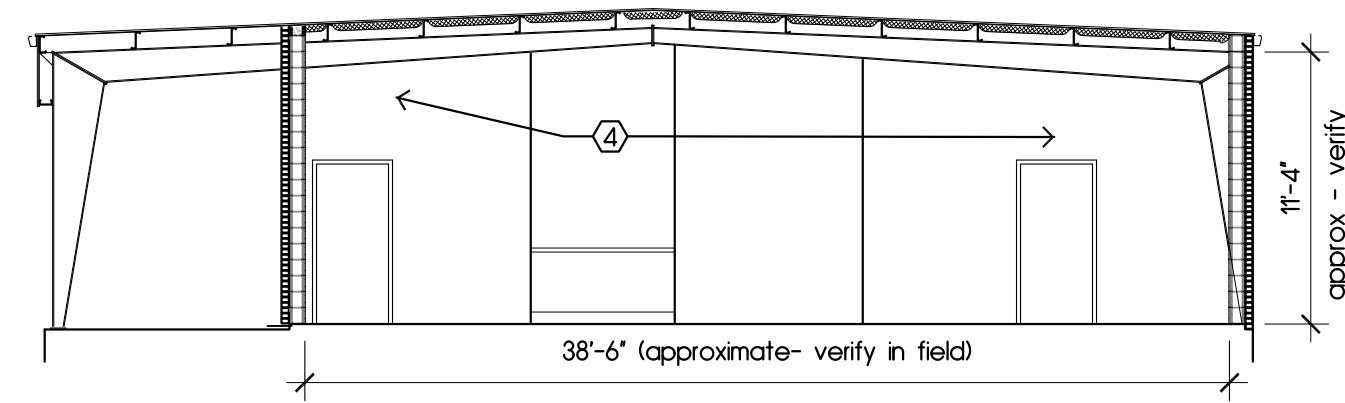
**Hurricane Ida Damage Repair at  
Grace King High**  
 Metairie, LA 70002  
 4301 Grace King Pl.



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SMA Project No.  
**2403**  
 Sheet  
**A2.4**  
 Enlarged Floor Plans

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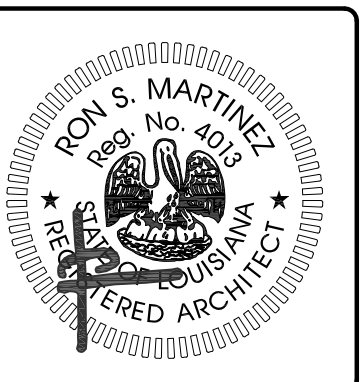


**E** Building 400 Typical Interior Elevation  
SCALE: 1/8" = 1'-0" 0 4 8 16'

**Keynotes**

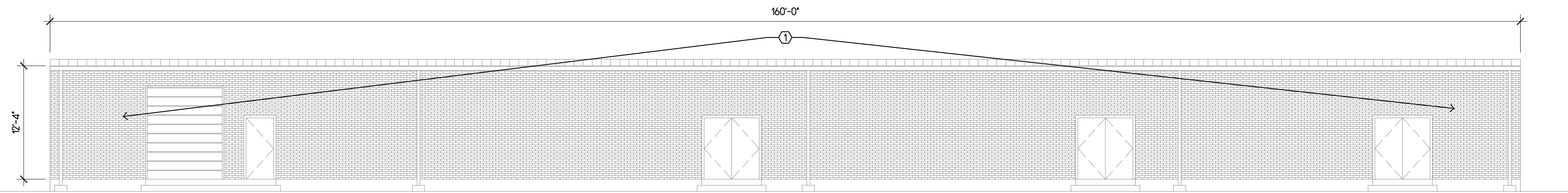
1. Repoint and seal brick veneer.
2. Remove and replace aluminum adjustable blade louvers. Clean, prime and paint.
3. Remove peeling paint and repair small cracks in cement plaster. Clean, prime and paint.
4. Remove all loose mortar and damaged concrete masonry units and repoint all cracked joints in existing CMU partitions. Clean, prime, and paint entire interior wall surfaces throughout building.

Hurricane Ida Damage Repair at  
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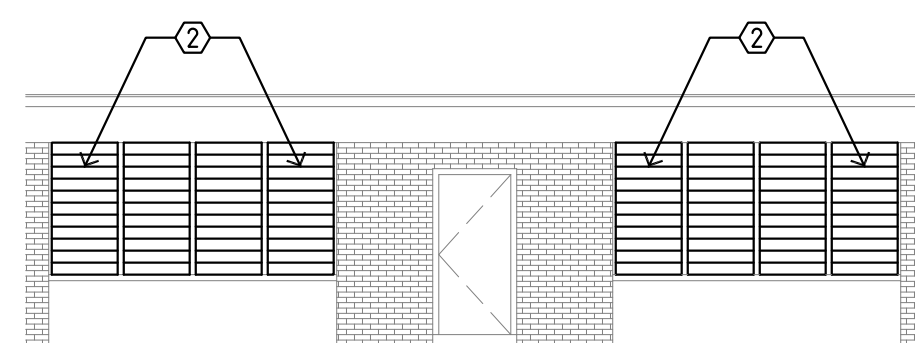


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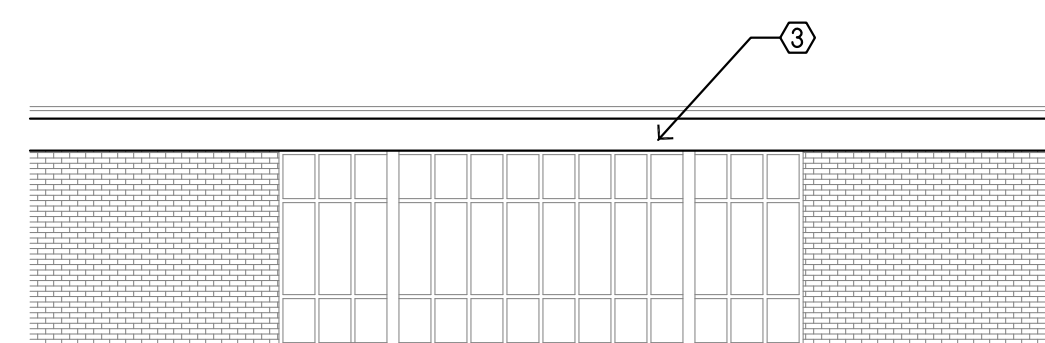
SMA Project No.  
**2403**  
Sheet  
**A3.1**  
Exterior & Int Elevations



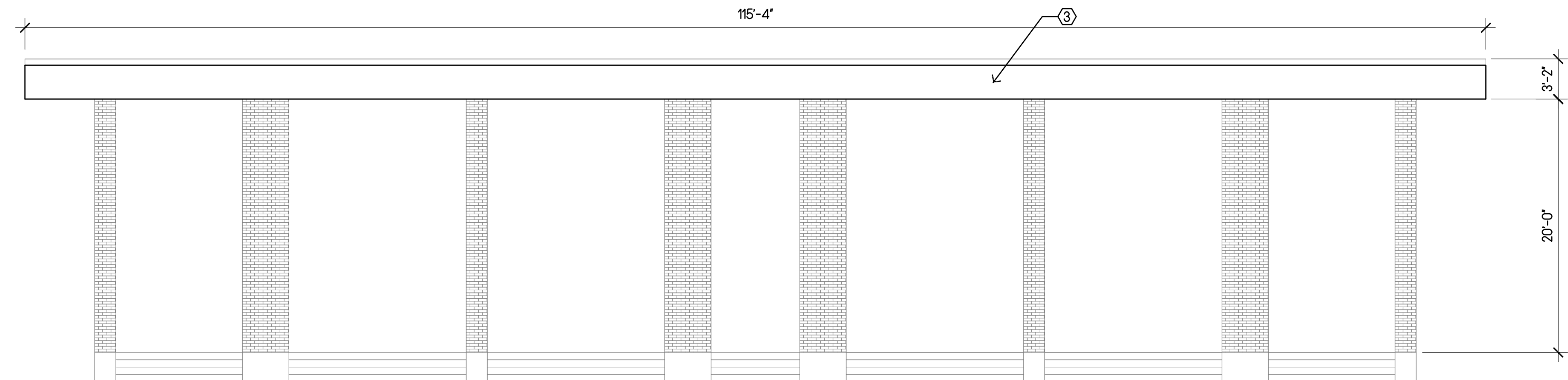
**A** Building 400 Front Exterior Elevation  
SCALE: 1/8" = 1'-0" 0 4 8 16'



**B** Building 300 Partial Elevation  
SCALE: 1/8" = 1'-0" 0 4 8 16'



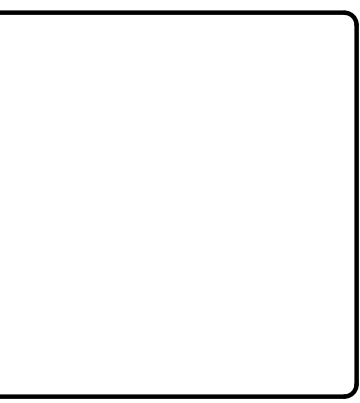
**C** Building 500 Partial Elevation  
SCALE: 1/8" = 1'-0" 0 4 8 16'



**D** Entrance Canopy Elevation  
SCALE: 1/8" = 1'-0" 0 4 8 16'

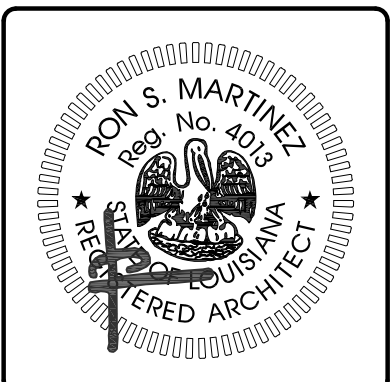
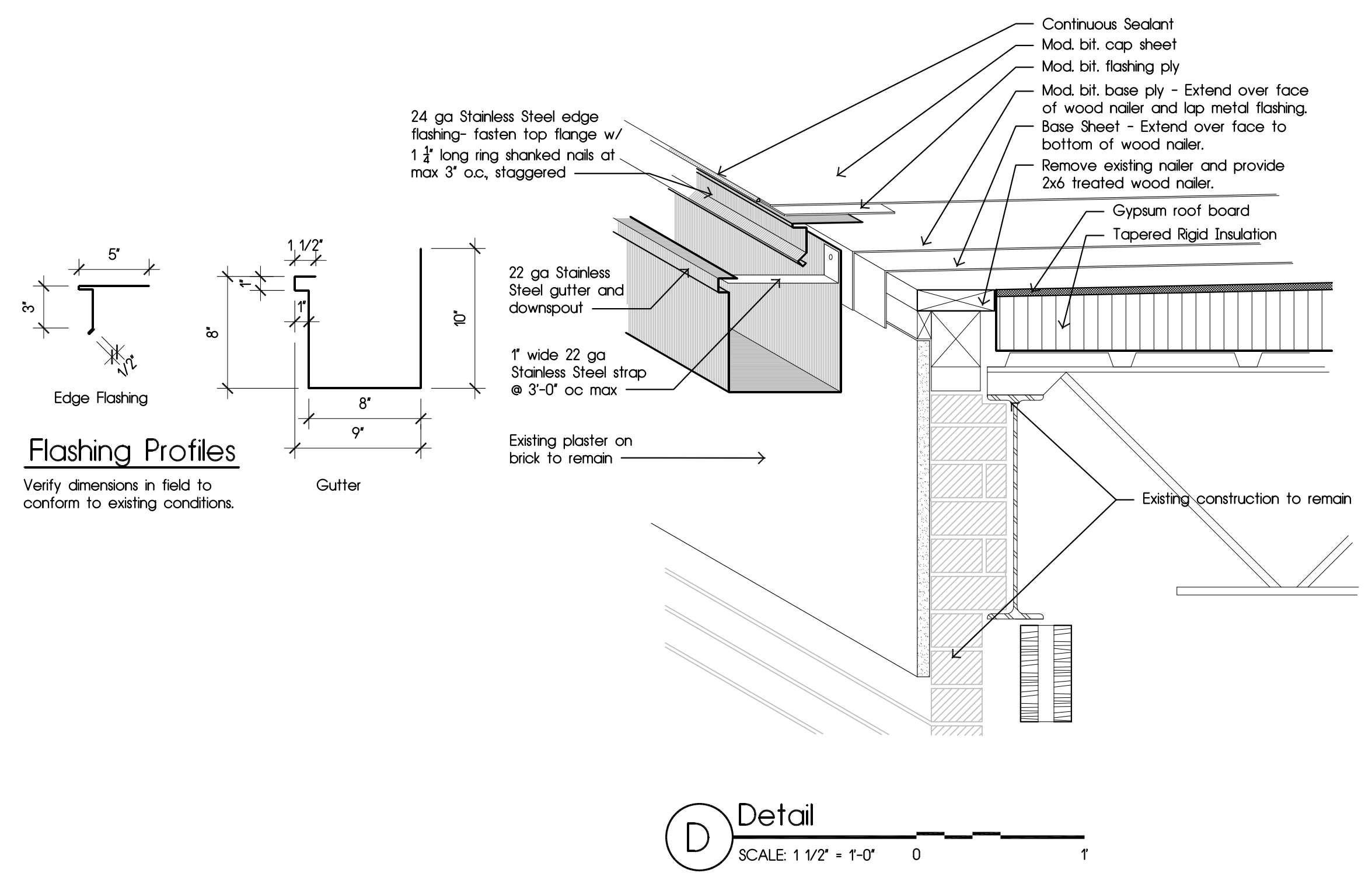
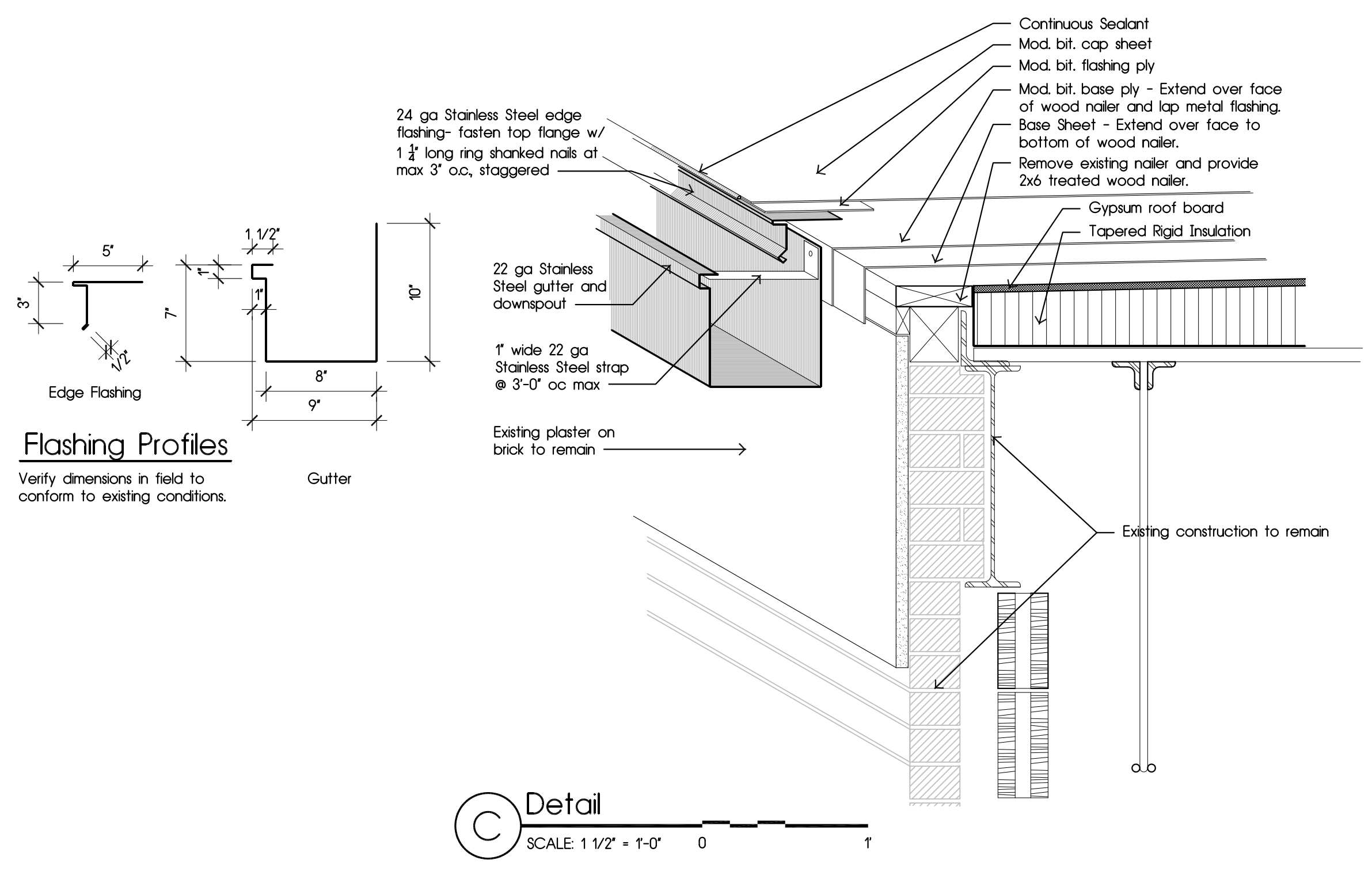
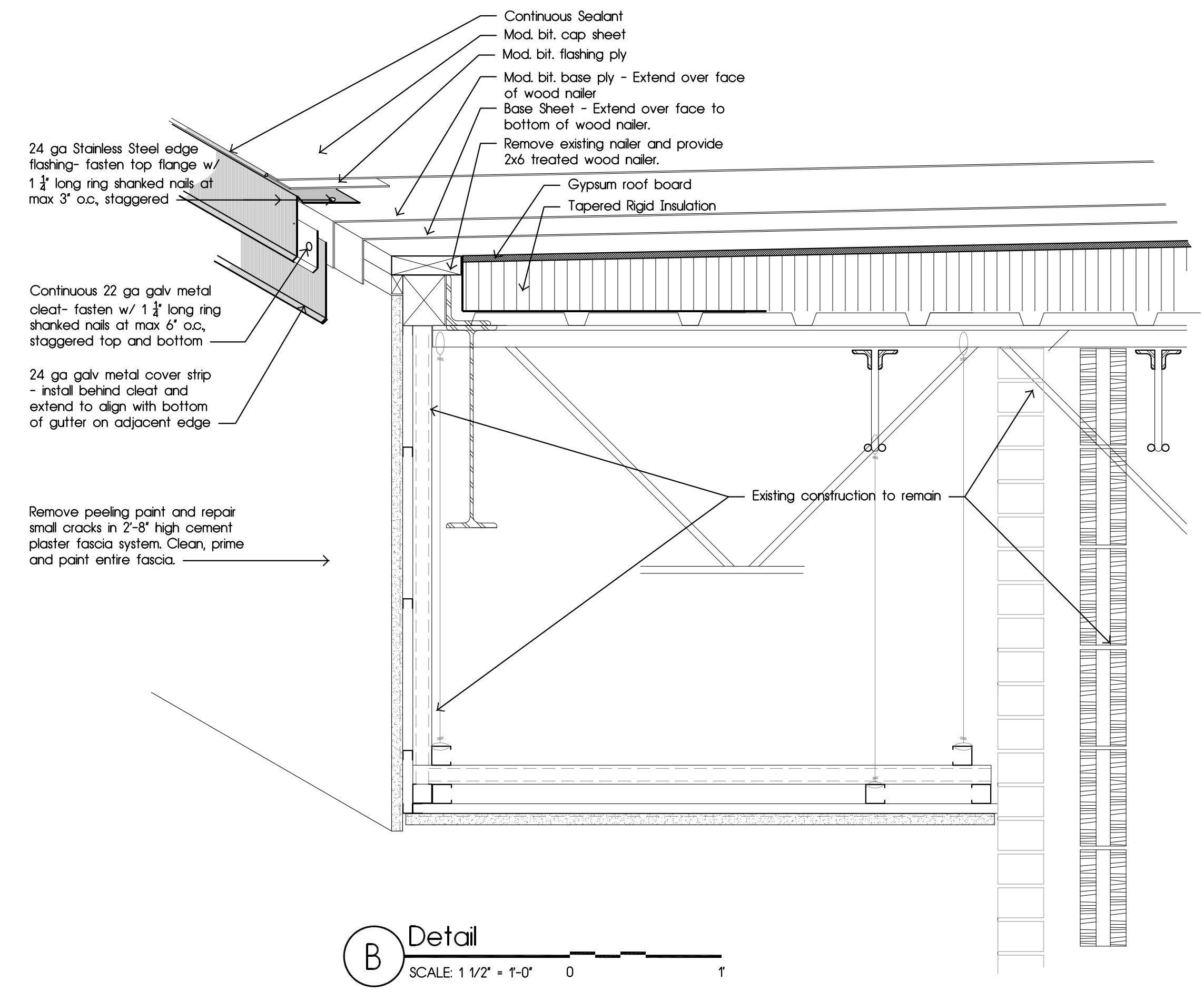
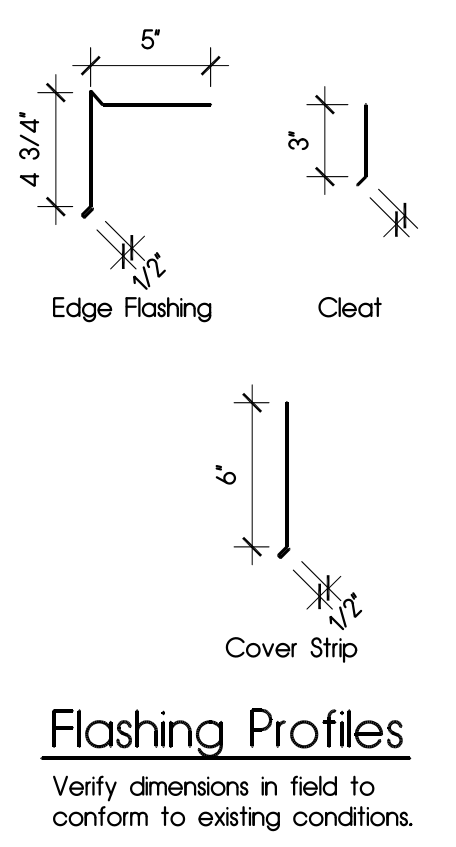
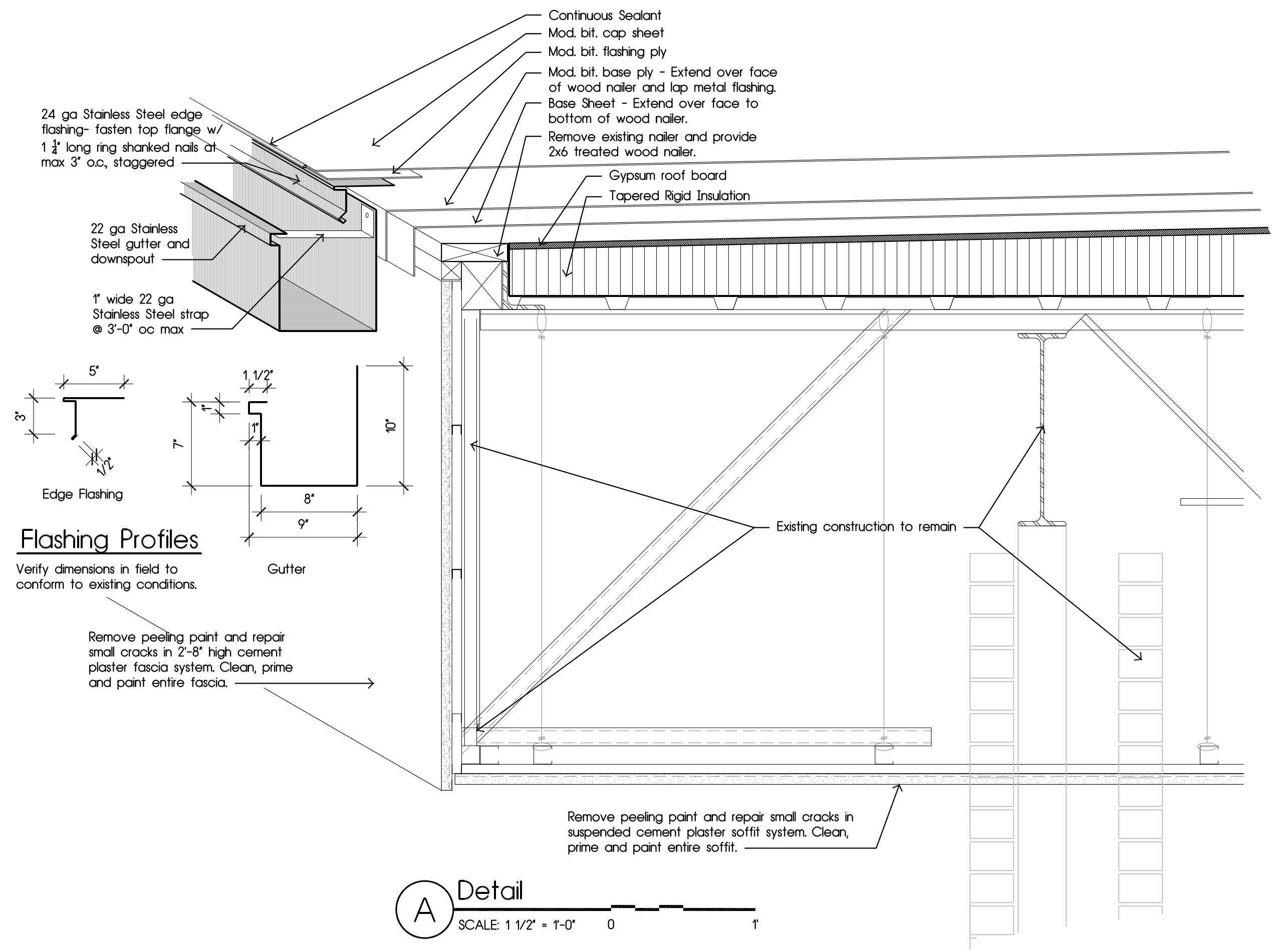


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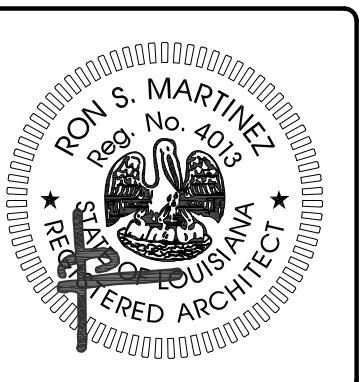
Hurricane Ida Damage Repair at  
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Metairie, LA 70002

4301 Grace King Pl.



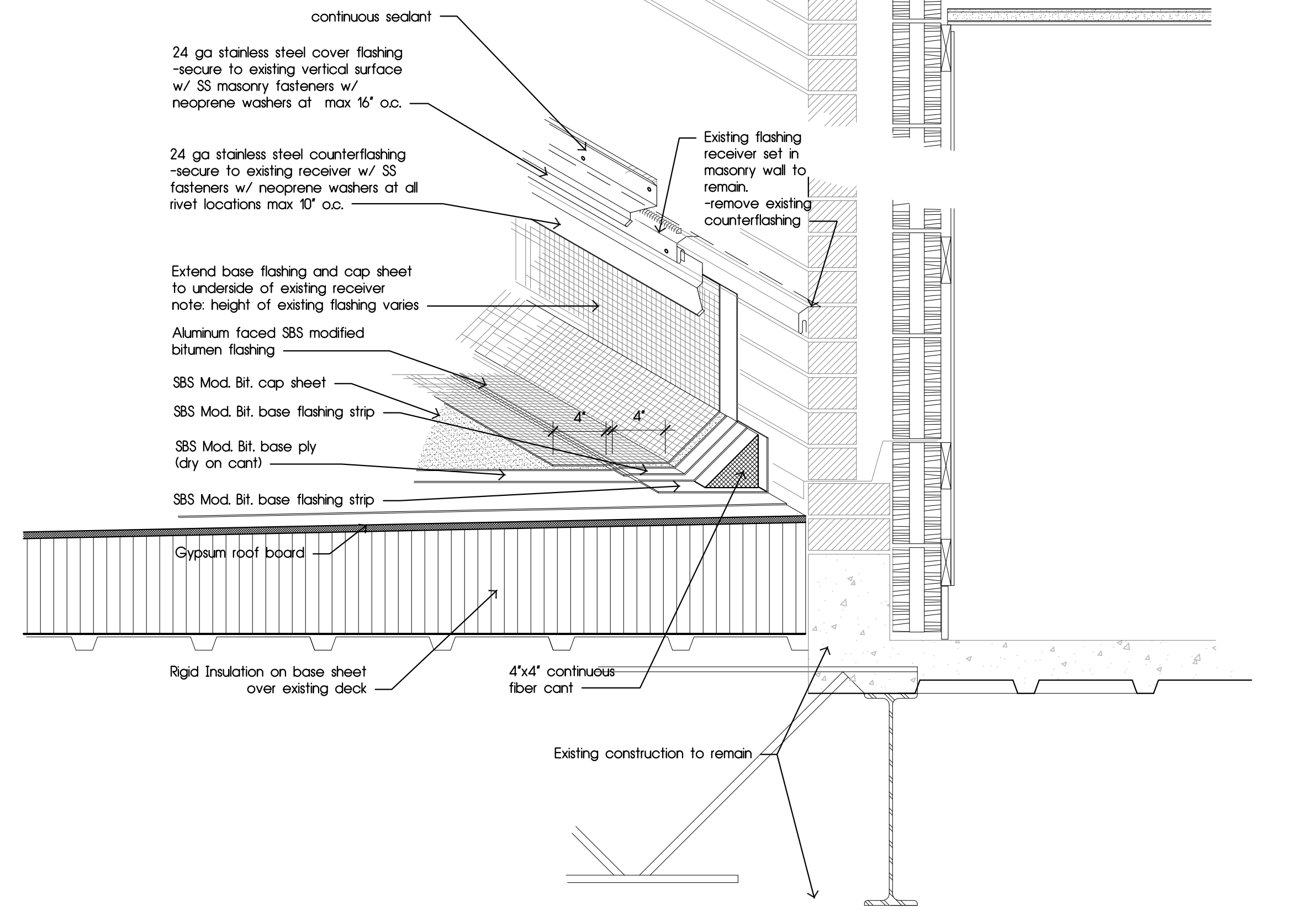
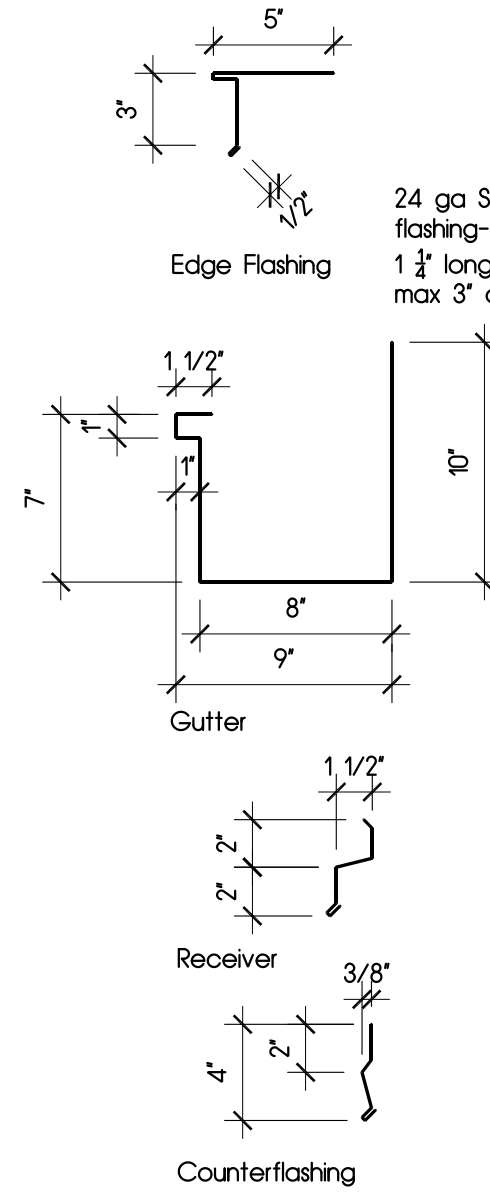
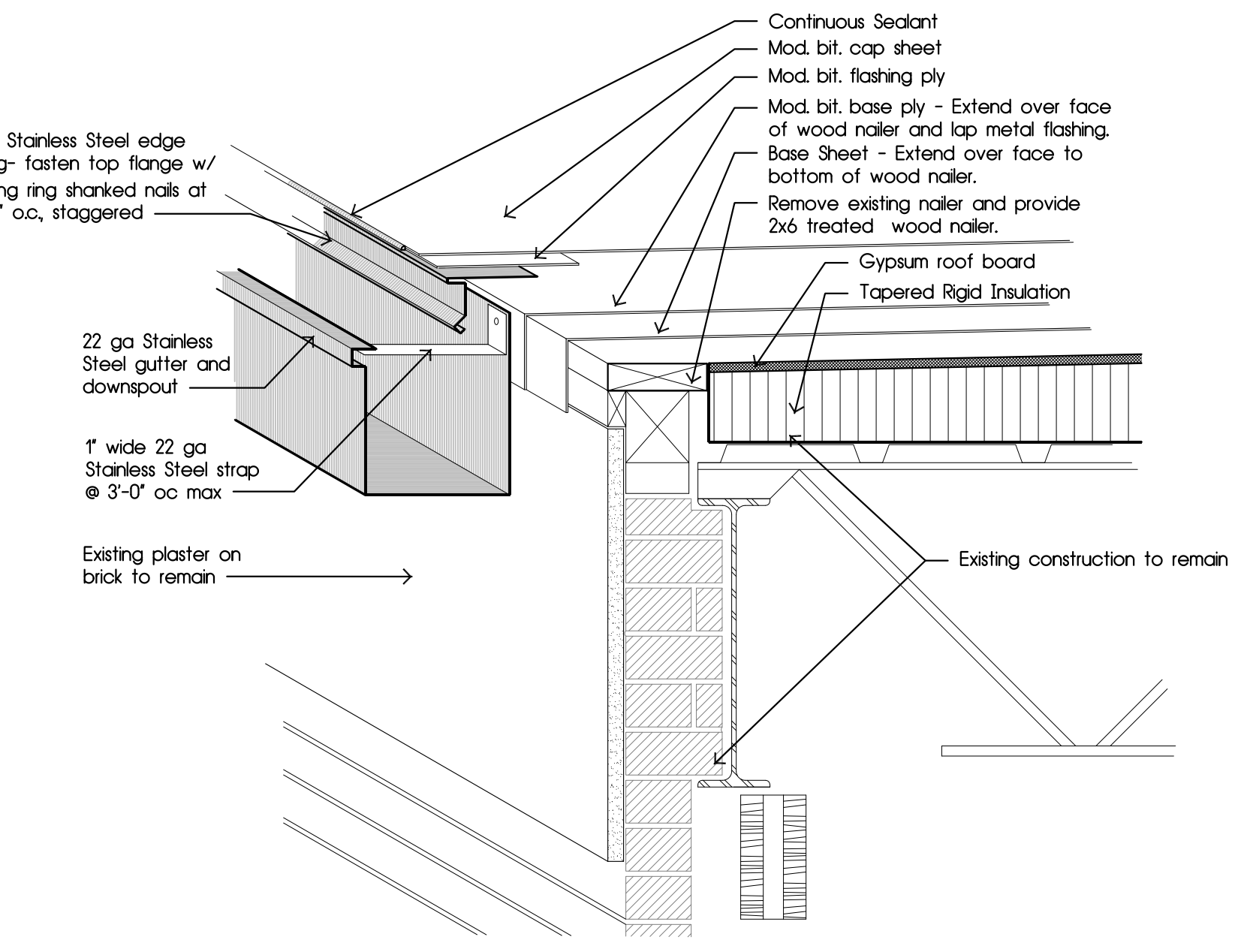
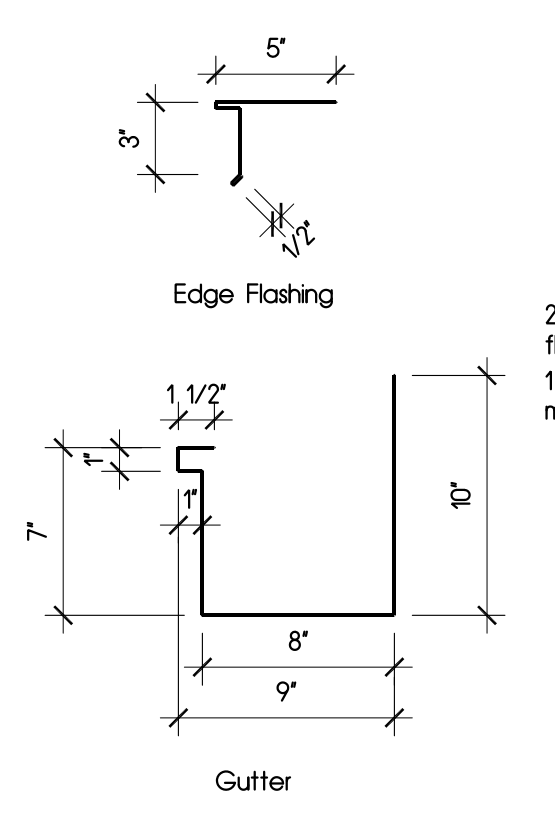
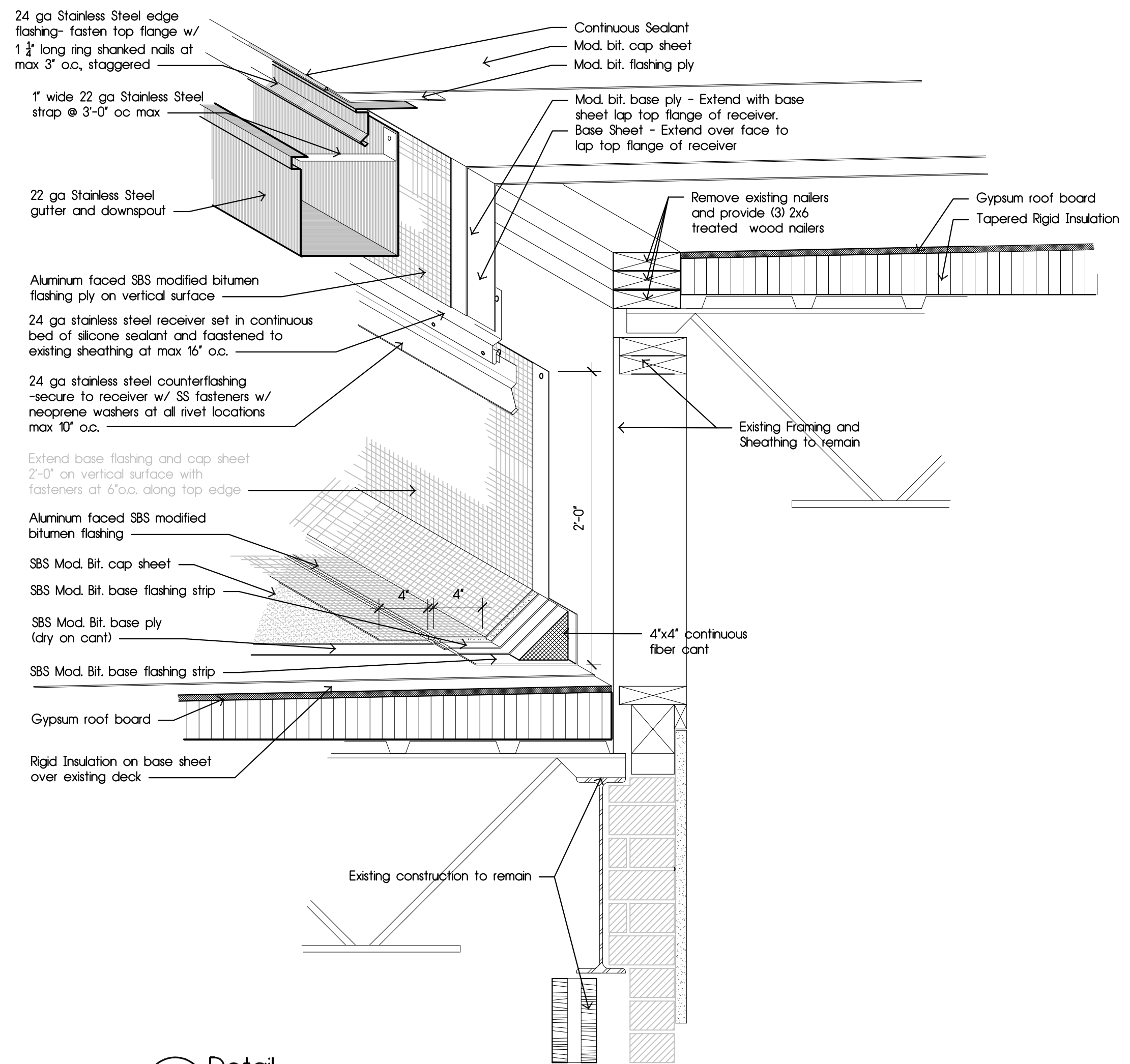
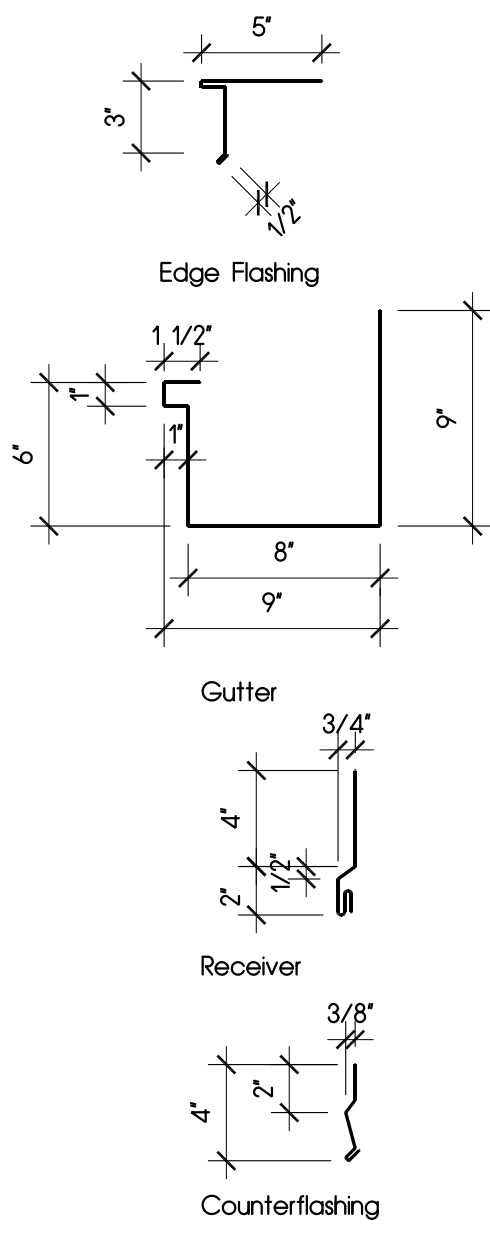
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| Revisions: |          |

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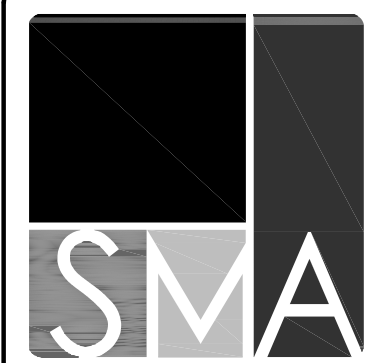


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SMA Project No.  
**2403**  
Sheet  
**A10.3**  
Roof Details



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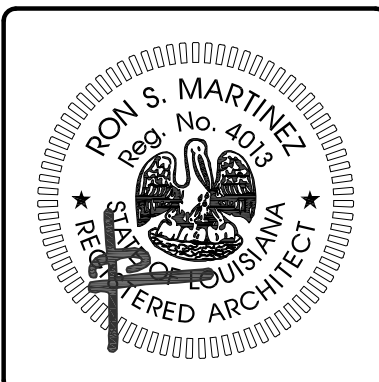
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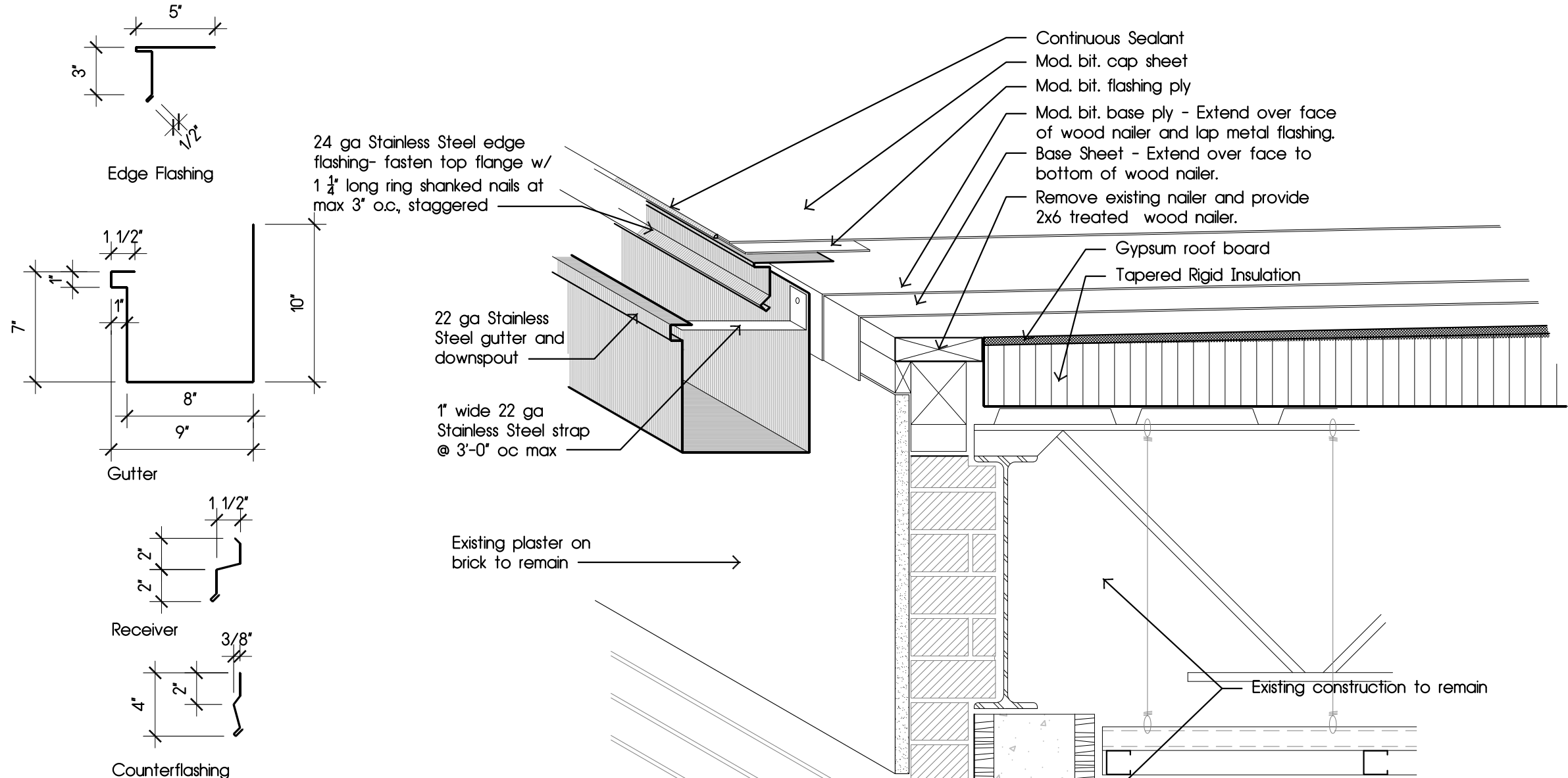
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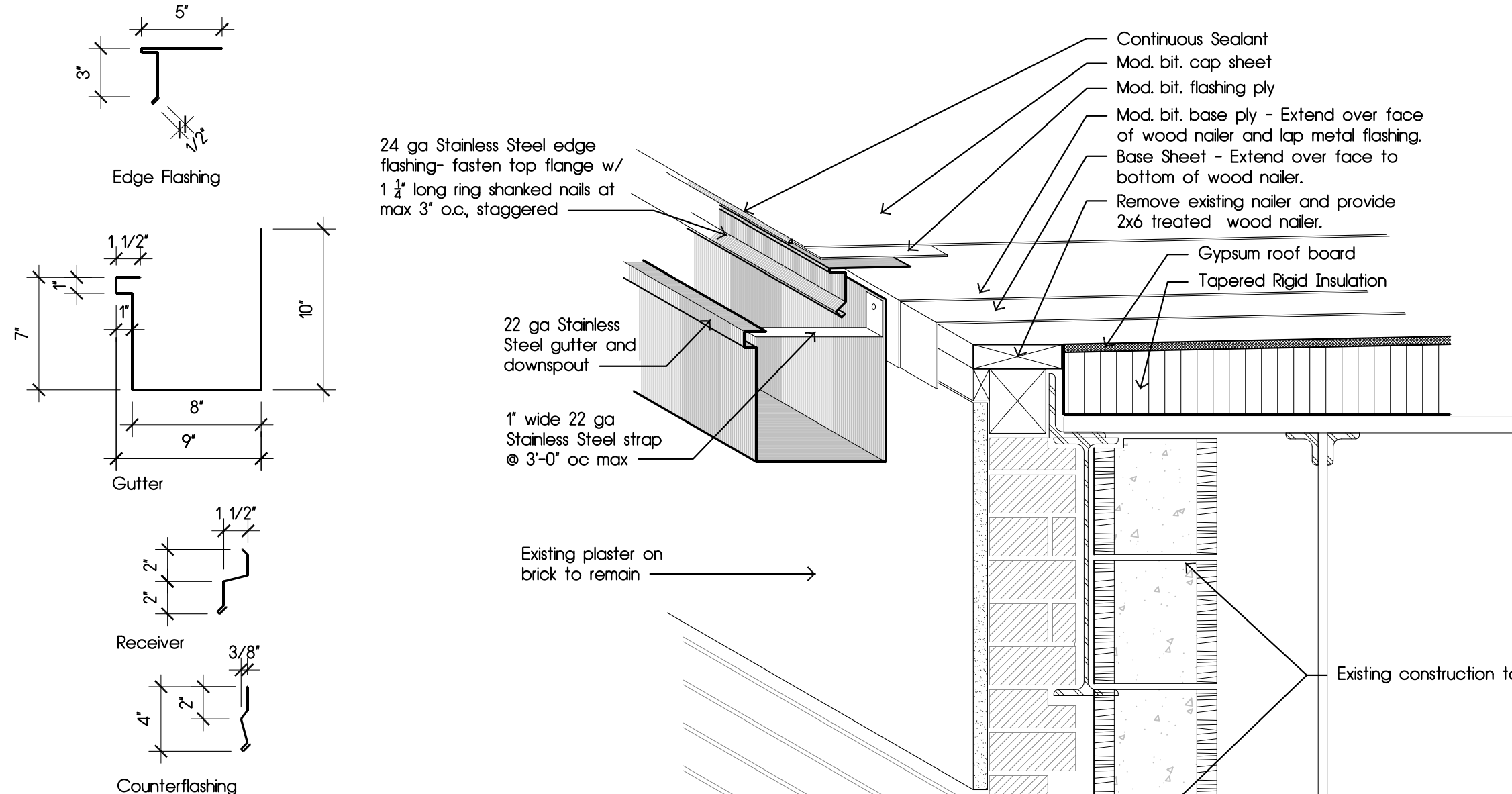
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Sheet  
A10.4

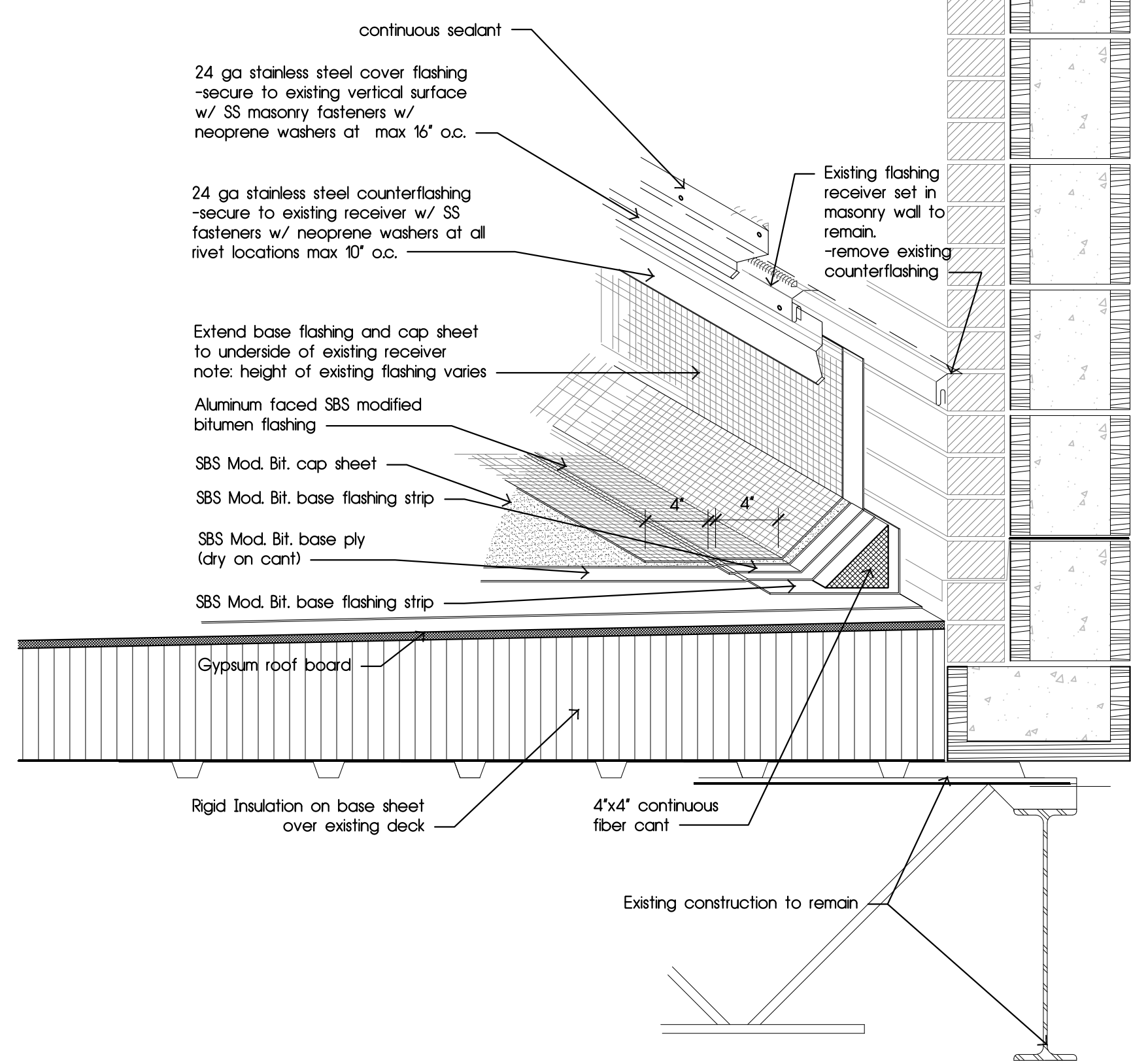
Roof Details



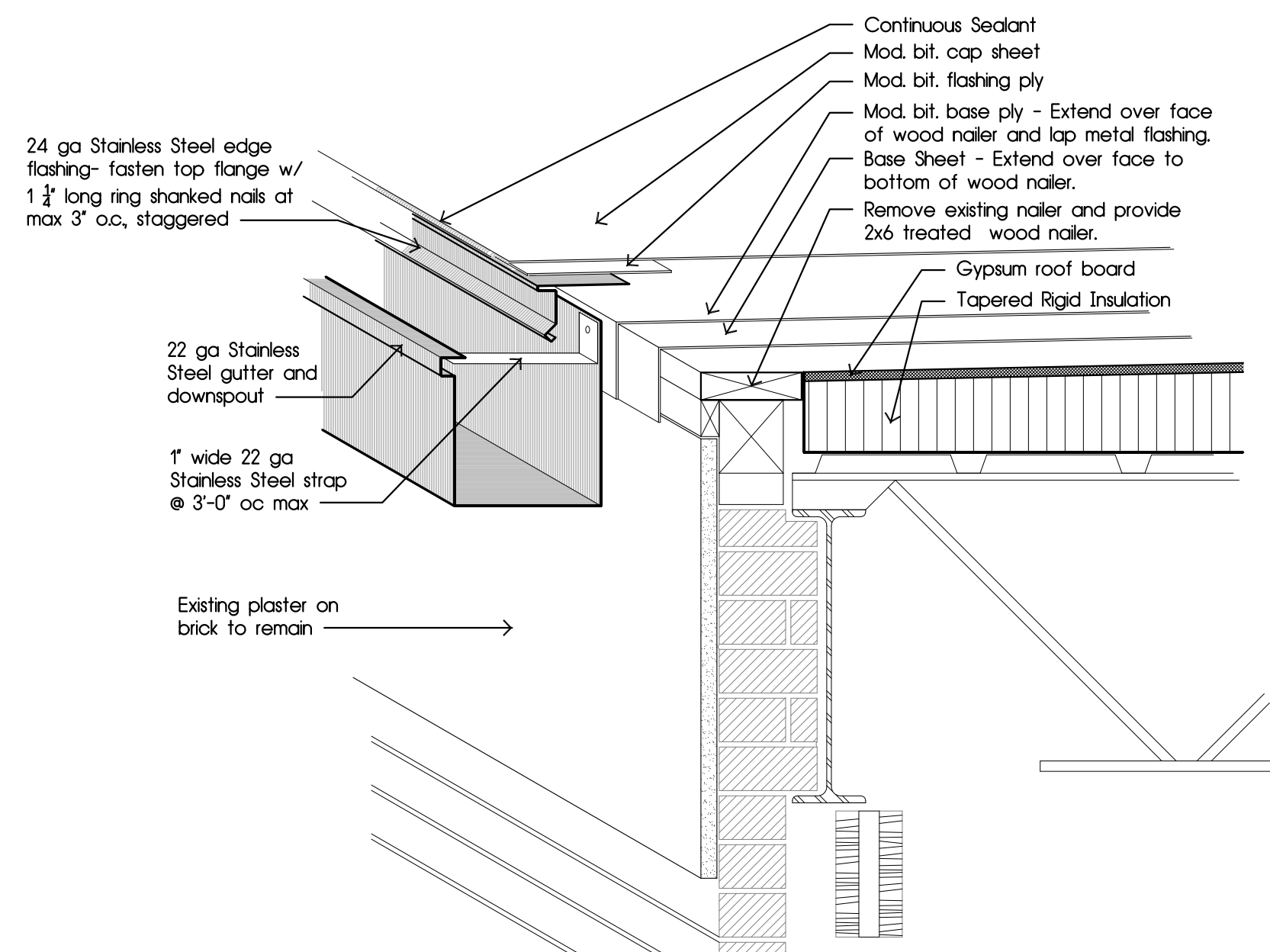
**Flashing Profiles**  
Verify dimensions in field to conform to existing conditions.



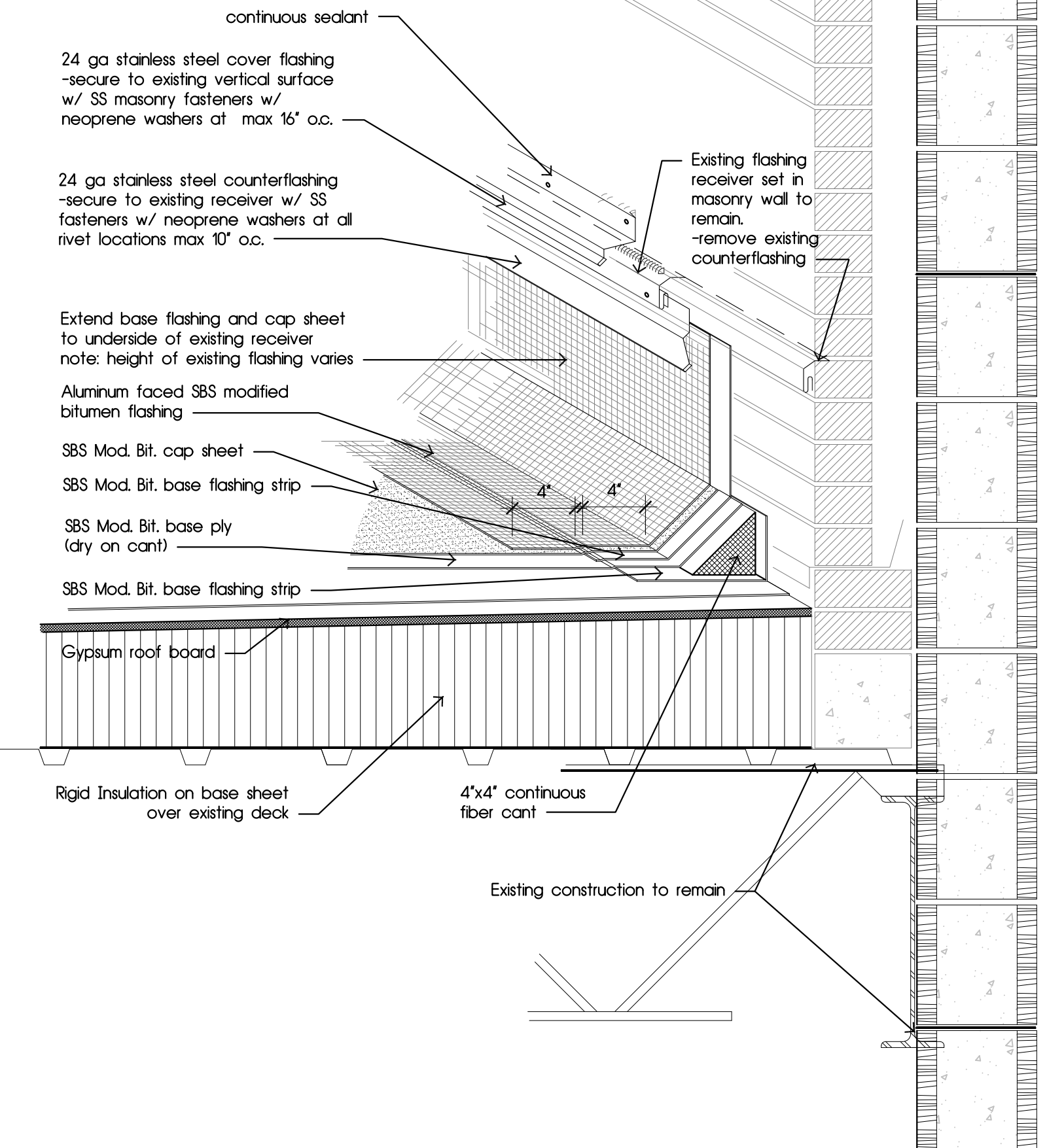
**Flashing Profiles**  
Verify dimensions in field to conform to existing conditions.



**H** Detail  
SCALE: 1 1/2" = 1'-0"

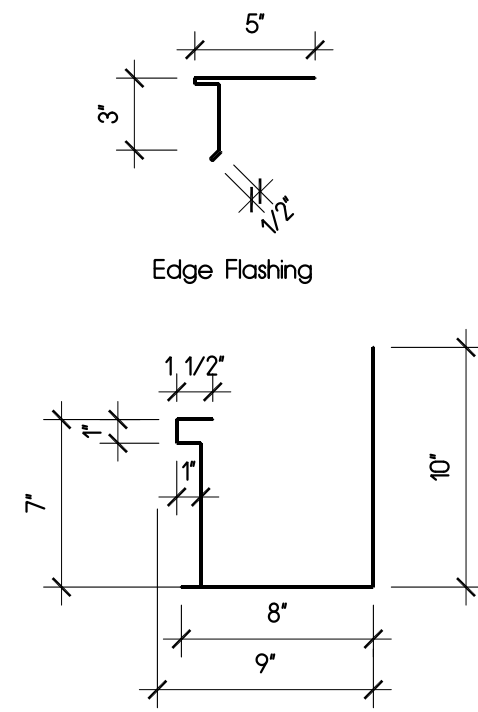


**J** Detail  
SCALE: 1 1/2" = 1'-0"

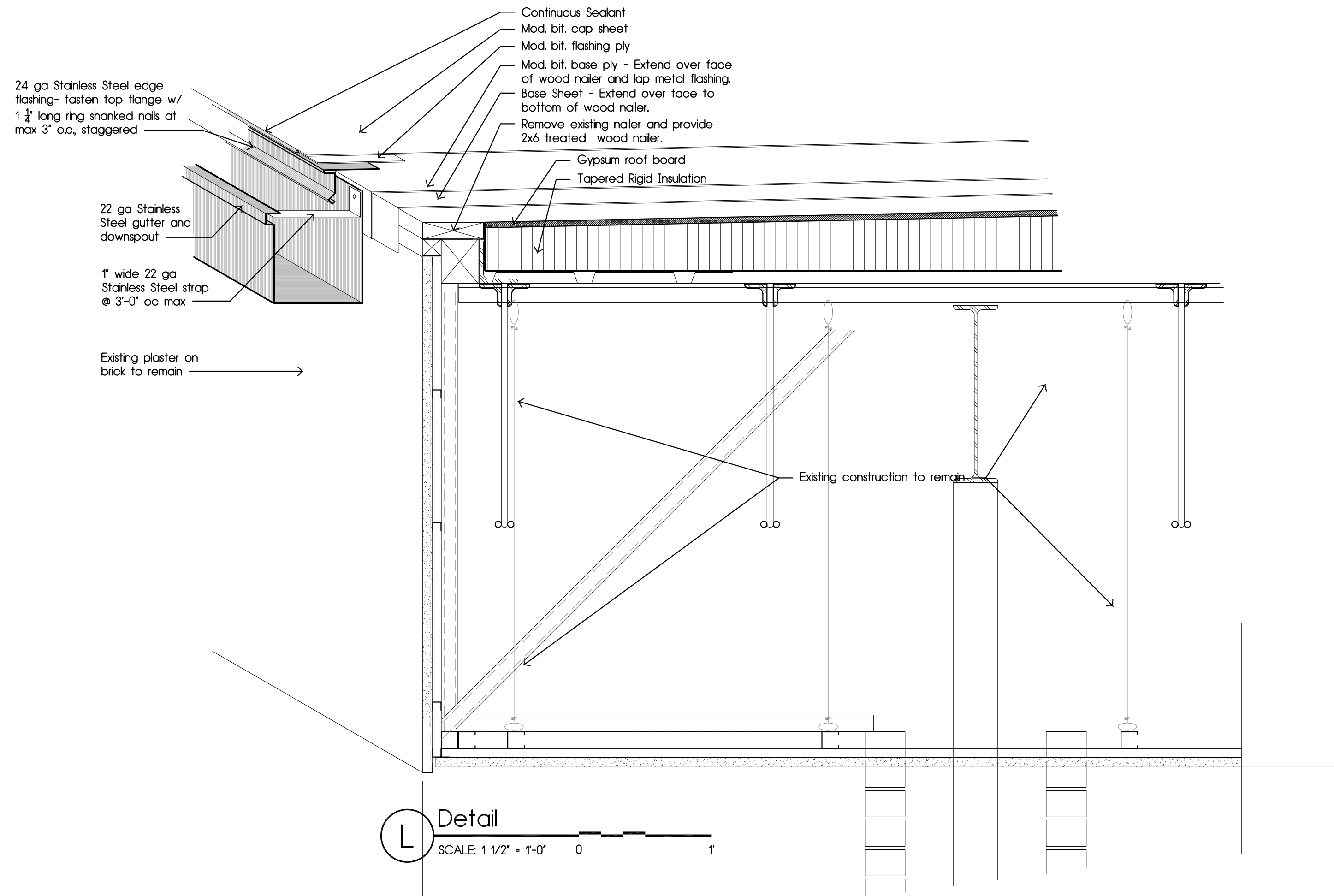


**J** Detail  
SCALE: 1 1/2" = 1'-0"

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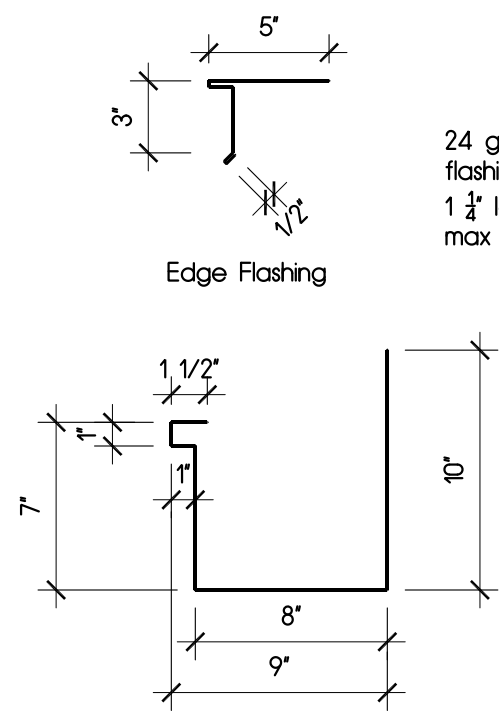


**Flashing Profiles**  
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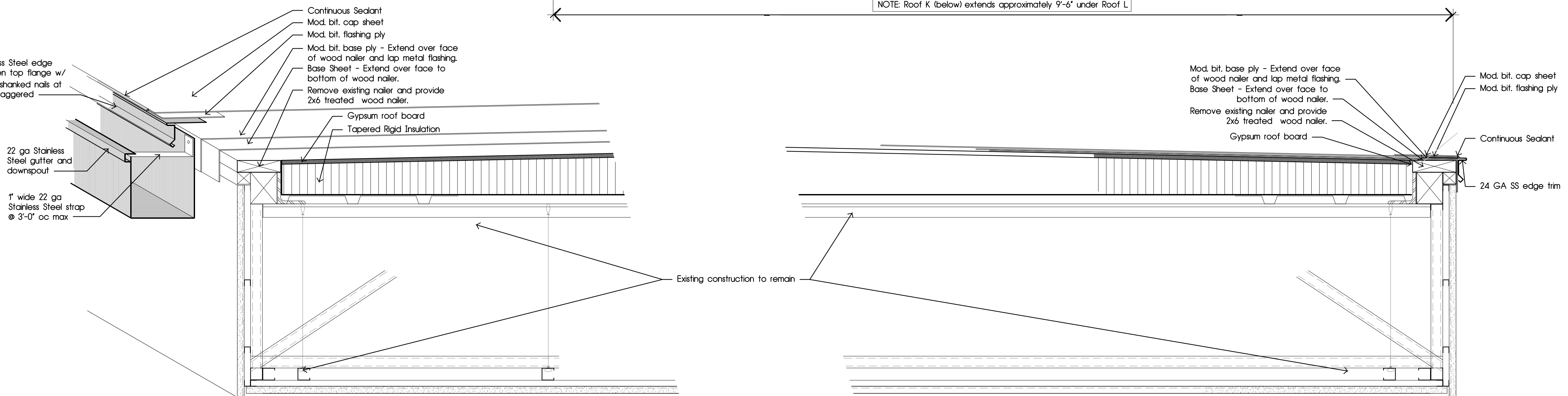


**Detail L**  
SCALE: 1 1/2" = 1'-0" 0 1

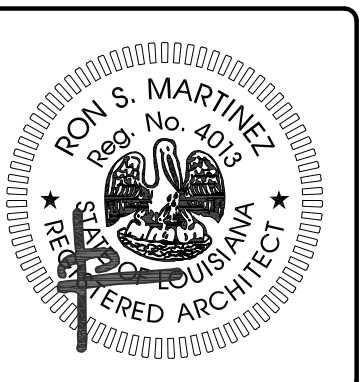
NOTE: Roof K (below) extends approximately 9'-6" under Roof L



**Flashing Profiles**  
Verify dimensions in field to conform to existing conditions.



**Detail K**  
SCALE: 1 1/2" = 1'-0" 0 1

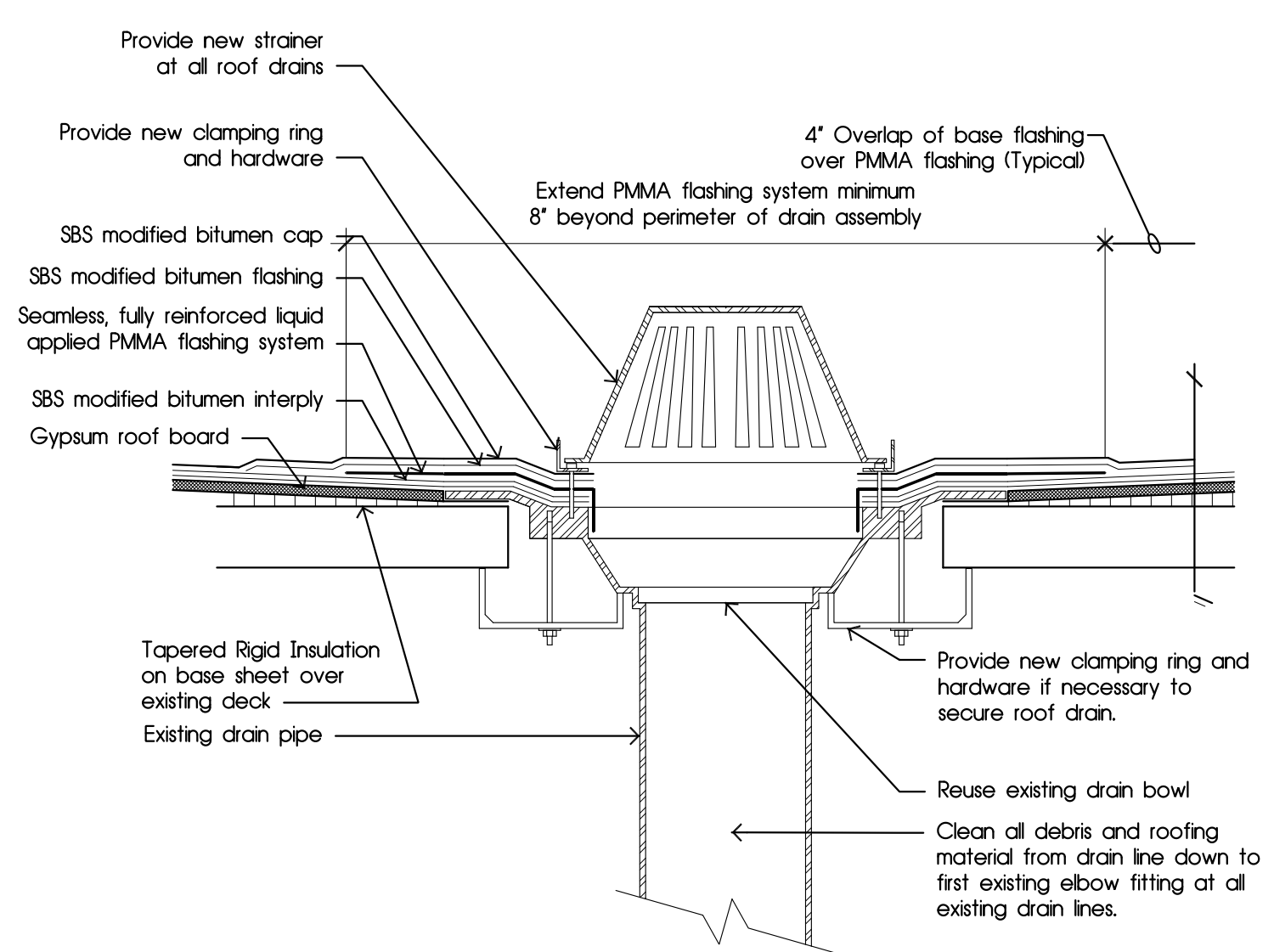


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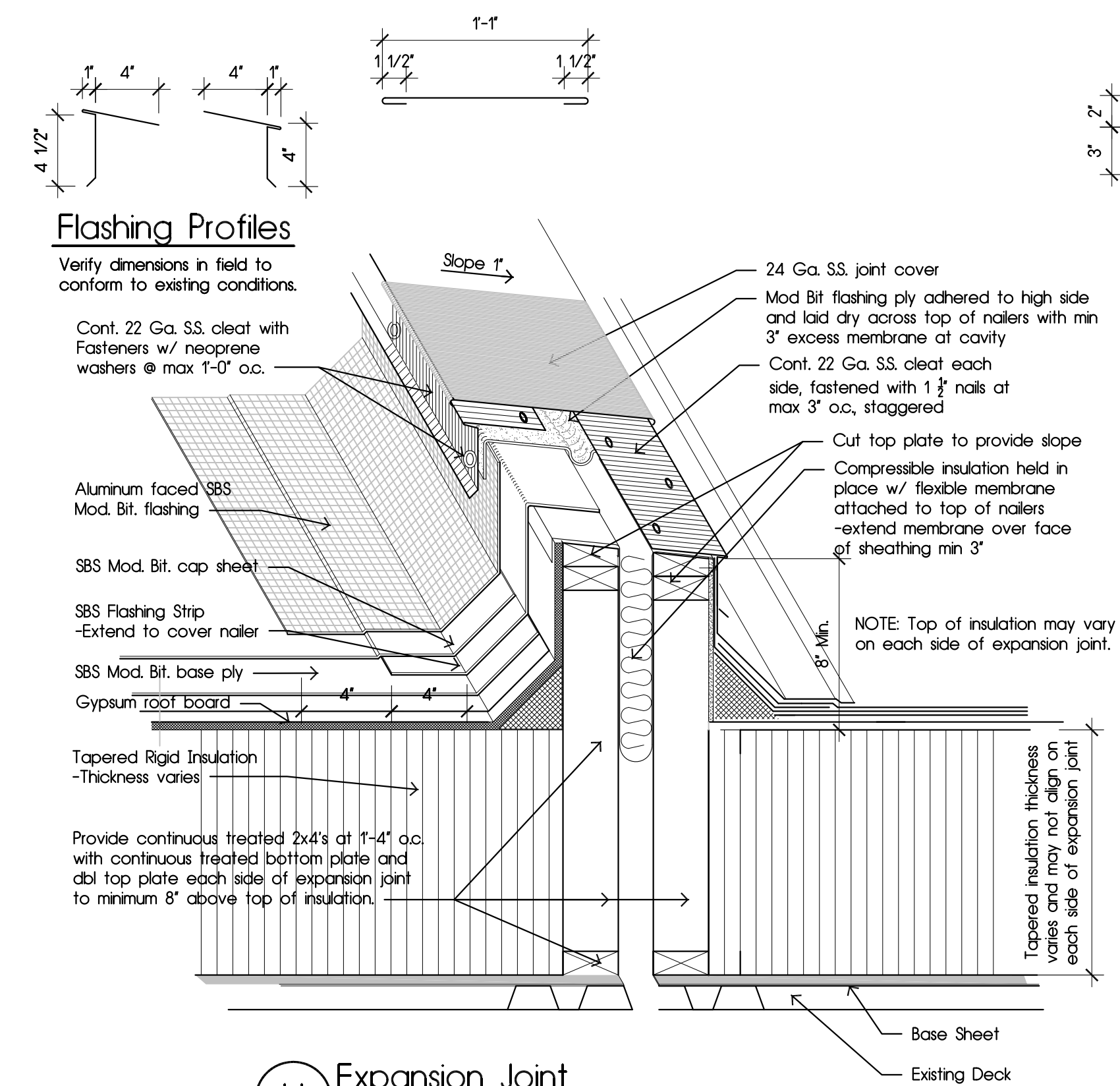




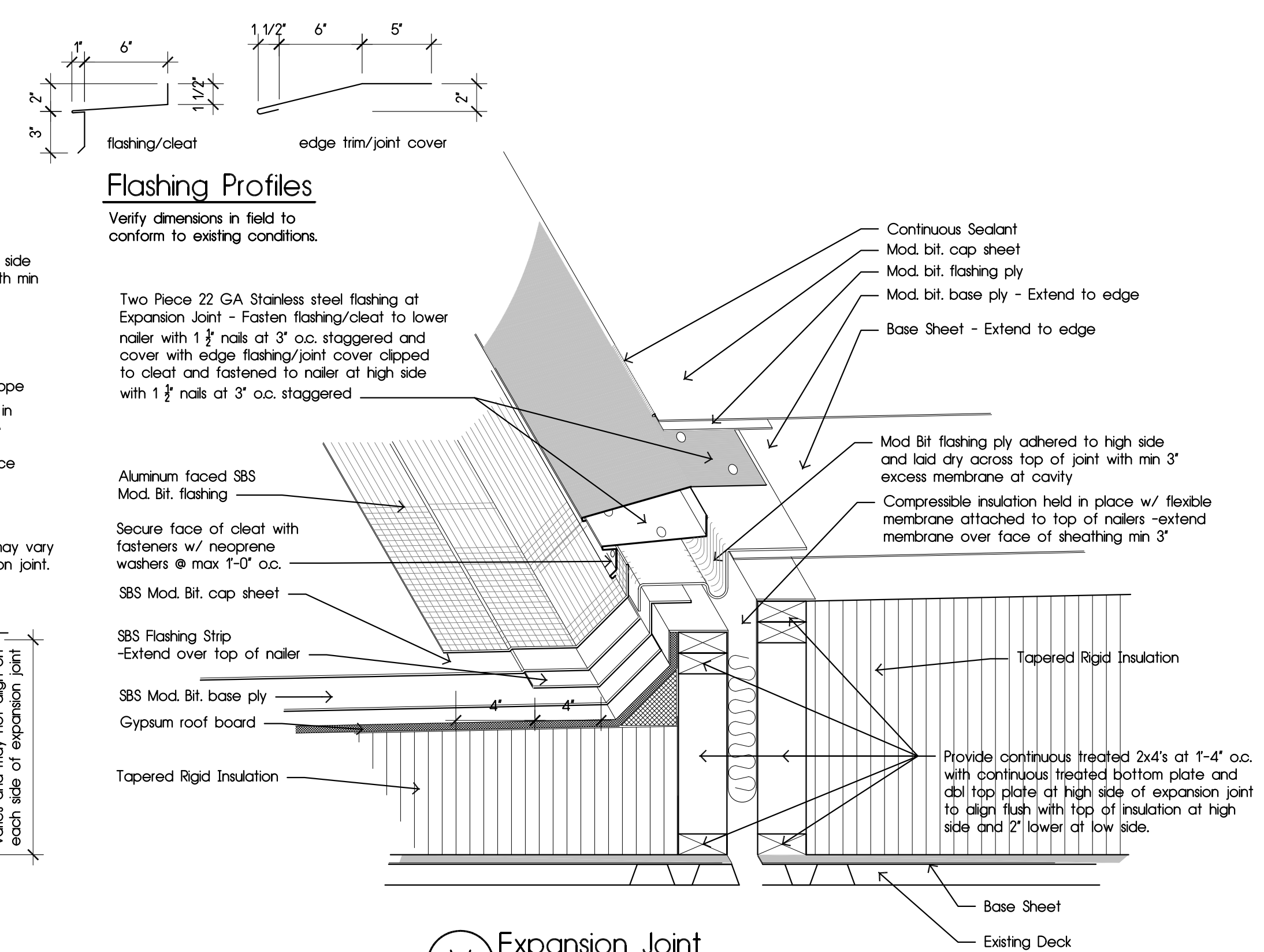
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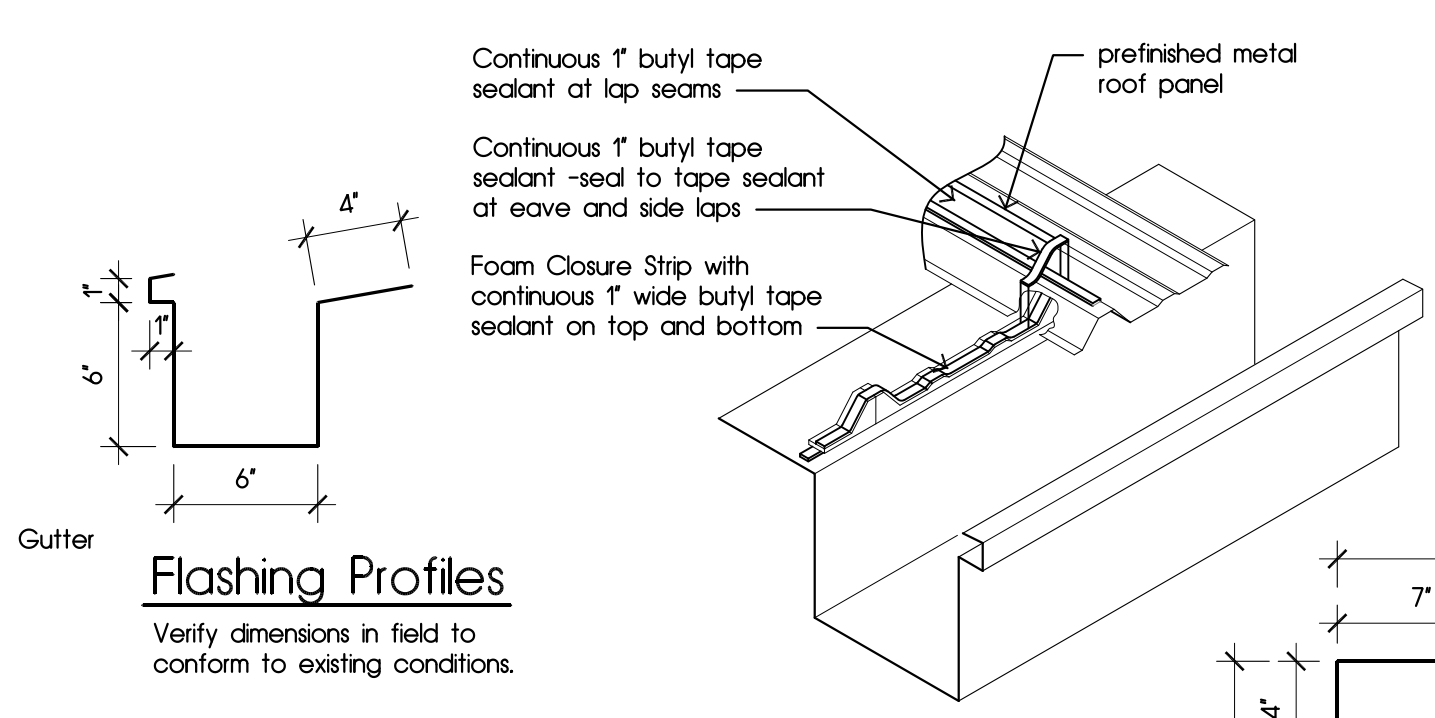
**T Roof Drain**  
SCALE: 1 1/2" = 1'-0" 0 1'



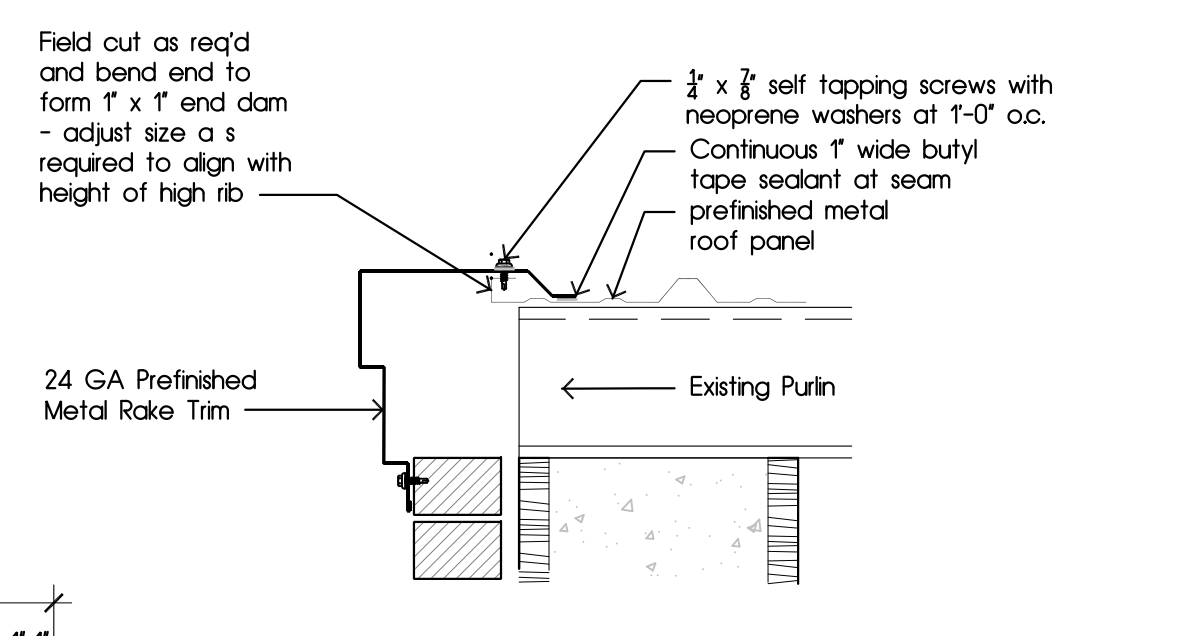
**U Expansion Joint**  
SCALE: 1 1/2" = 1'-0" 0 1'



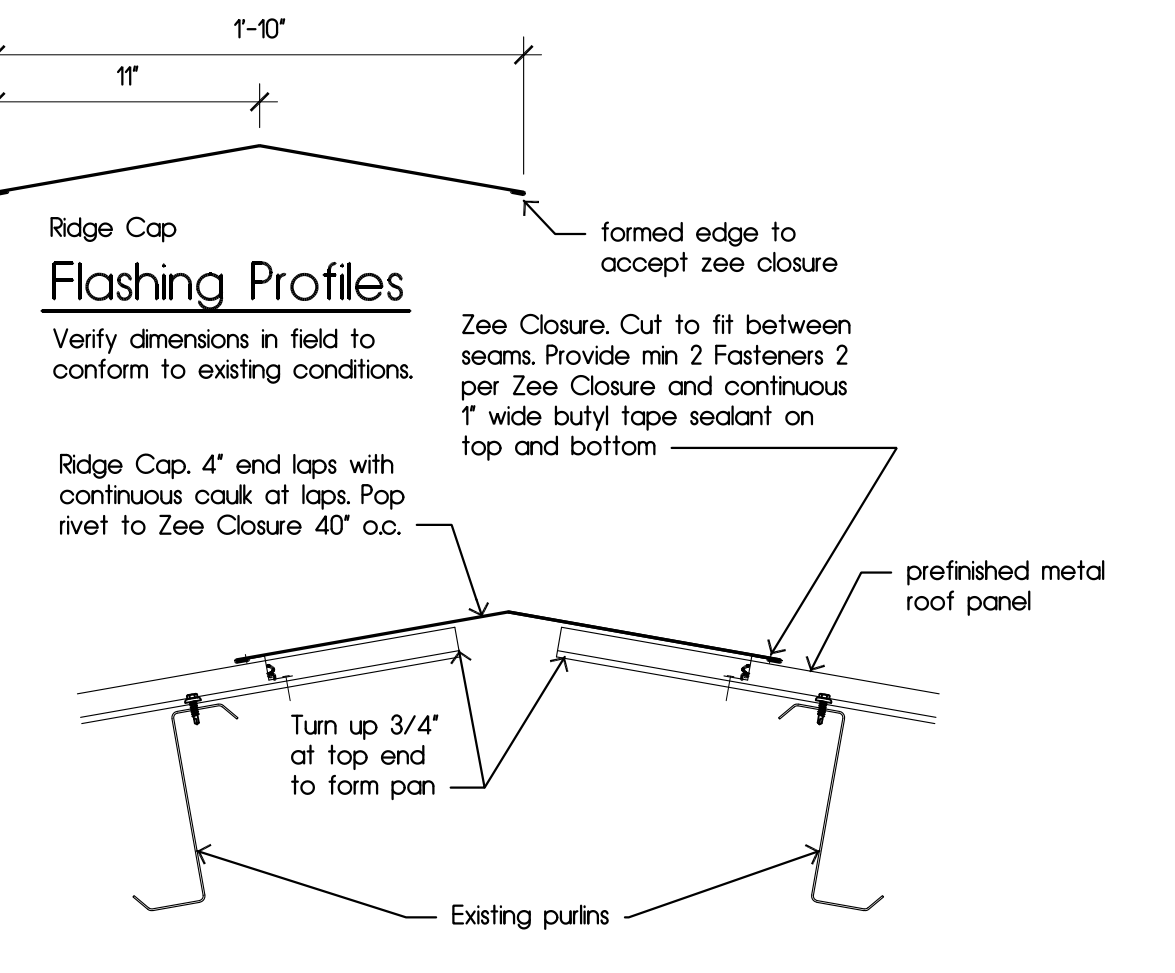
**V Expansion Joint**  
SCALE: 1 1/2" = 1'-0" 0 1'



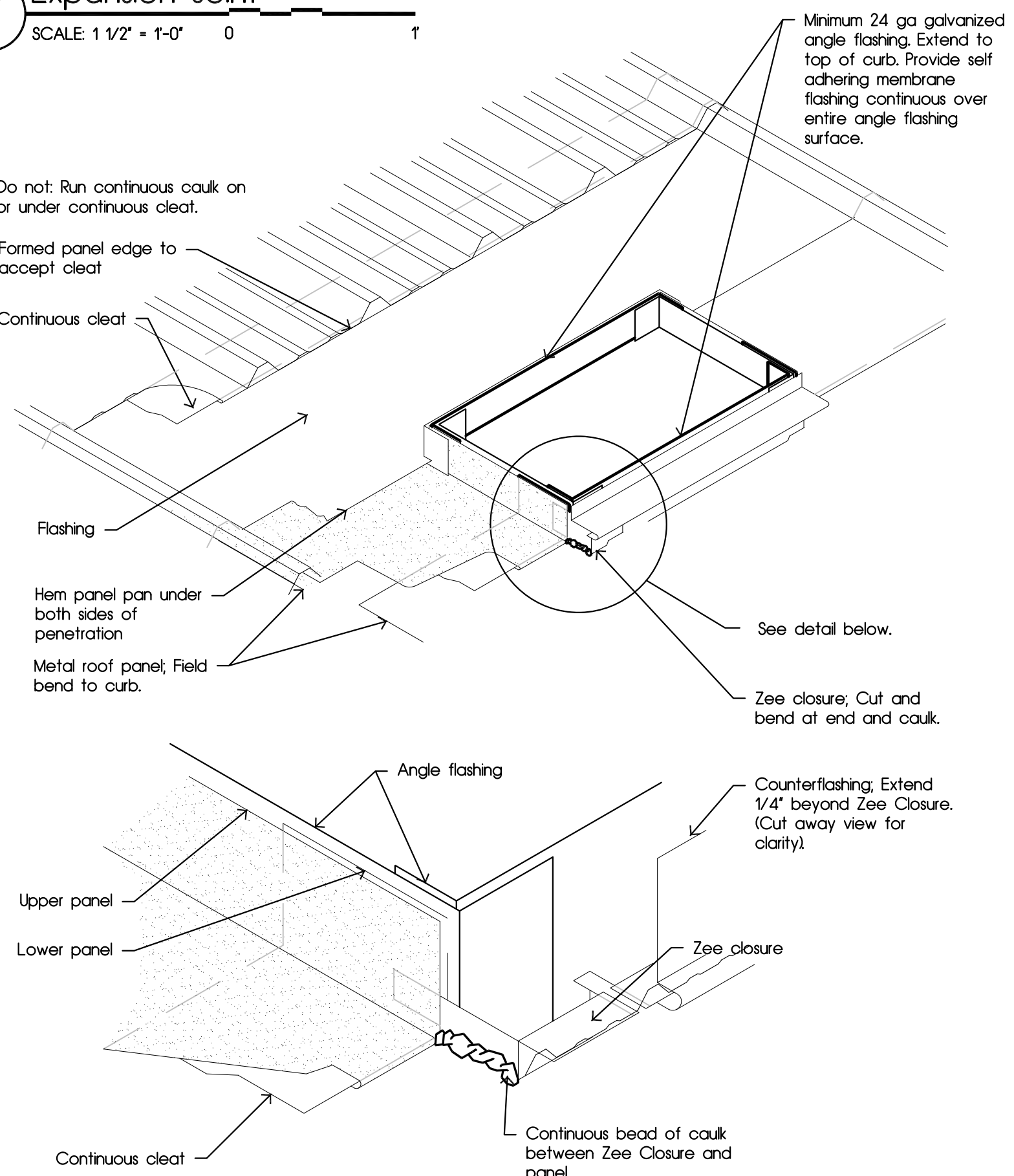
**W Metal Roof Eave Flashing & Gutter**  
SCALE: 1 1/2" = 1'-0" 0 1'



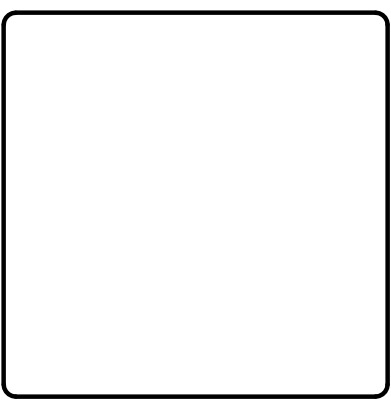
**X Metal Roof Rake Flashing**  
SCALE: 1 1/2" = 1'-0" 0 1'



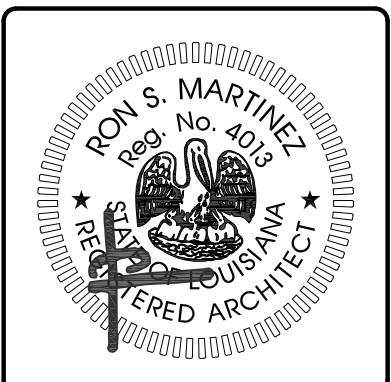
**Y Metal Roof Ridge Cap**  
SCALE: 1 1/2" = 1'-0" 0 1'



**Z Typical Curbed Penetration**  
SCALE: 1 1/2" = 1'-0" 0 1'



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