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ARCHITECTURE
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STUDIES
PLANNING
INVESTIGATION
EXPERT WITNESS

ANDERSON
MEMORY CARE
4104 DAUPHINE ST.
SLIDELL, LA
70458

PAVING
PLAN

REV:

SCALE: AS NOTED

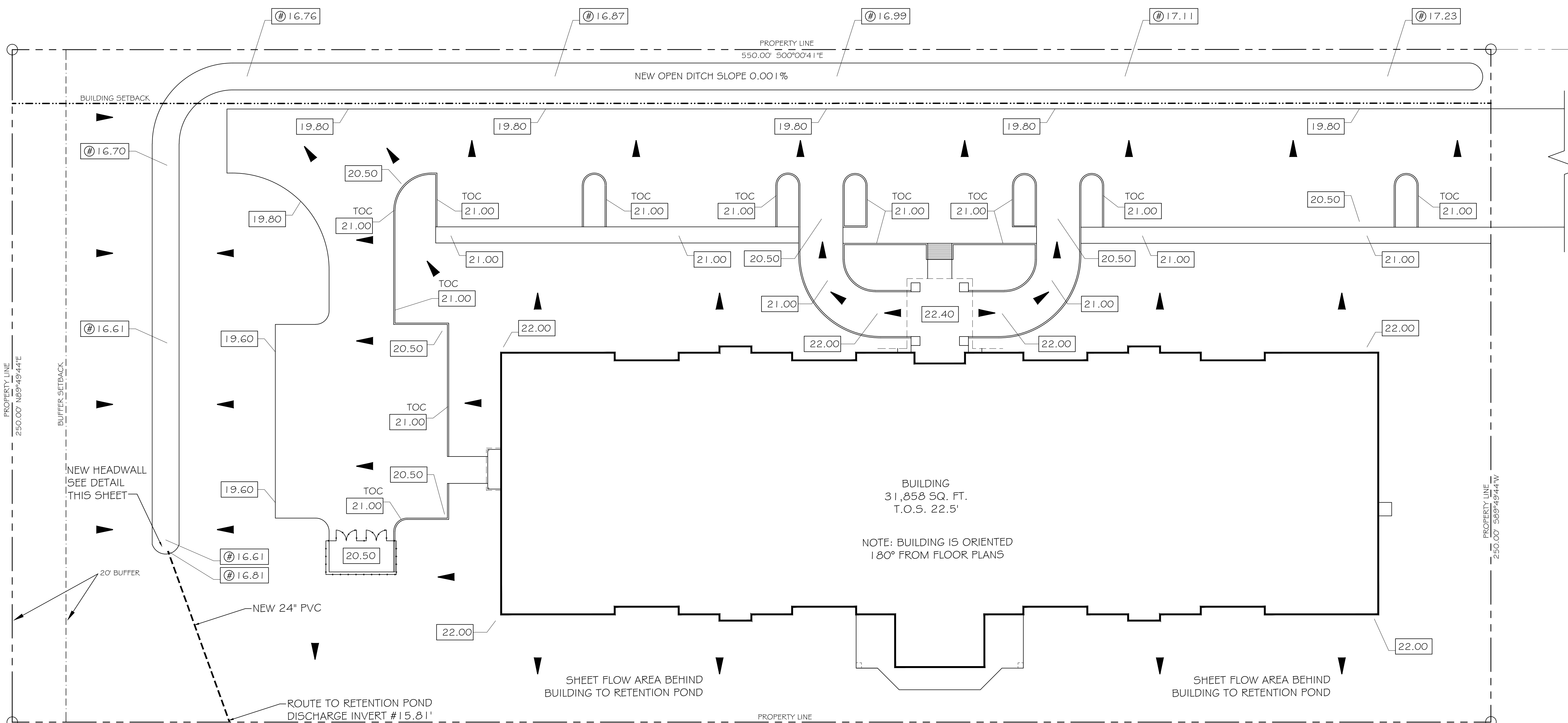
JOB#:

DATE:

SHEET

C-3

OF



BUILDING
31,858 SQ. FT.
T.O.S. 22.5'
NOTE: BUILDING IS ORIENTED
180° FROM FLOOR PLANS

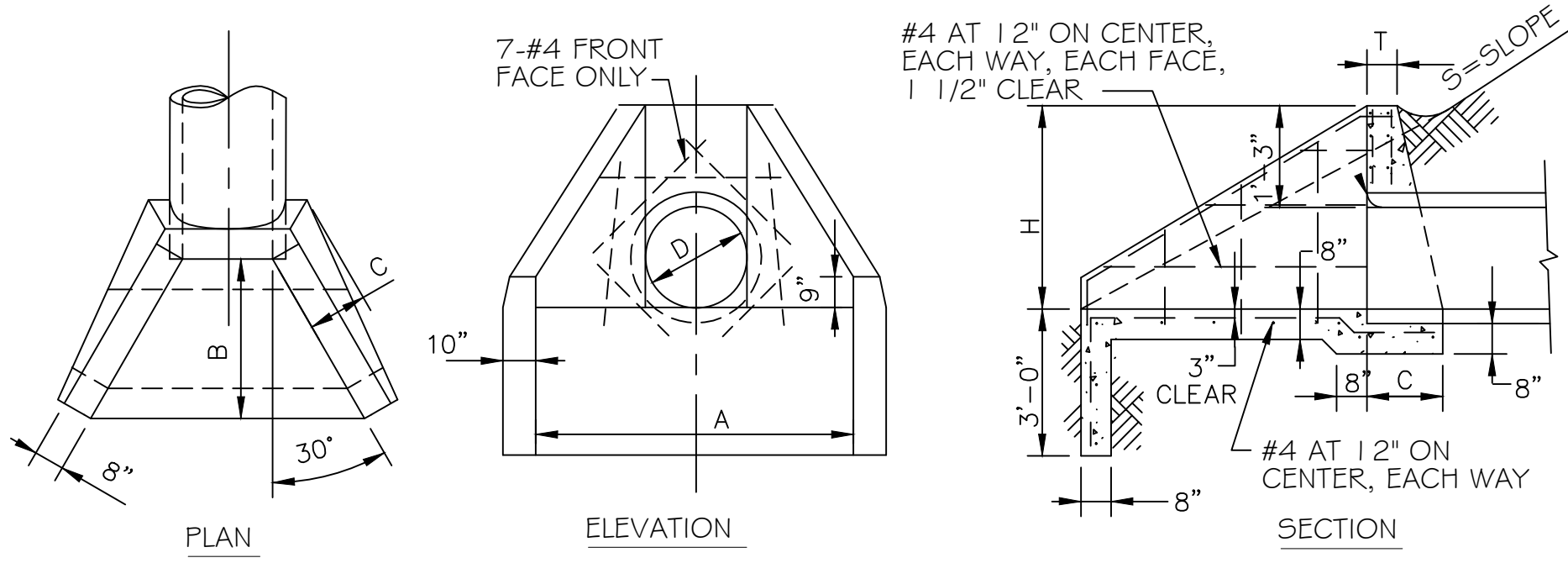
SHEET FLOW AREA BEHIND
BUILDING TO RETENTION POND

SHEET FLOW AREA BEHIND
BUILDING TO RETENTION POND

ROUTE TO RETENTION POND
DISCHARGE INVERT # 15.81'

DRAINAGE PLAN
SCALE: 1"=20'

NOTE: PROJECT LIES OUTSIDE
OF THE 500-YR FLOOD ZONE.
SEE SHEET C-5 FOR STORM
WATER RUN-OFF CALCULATIONS

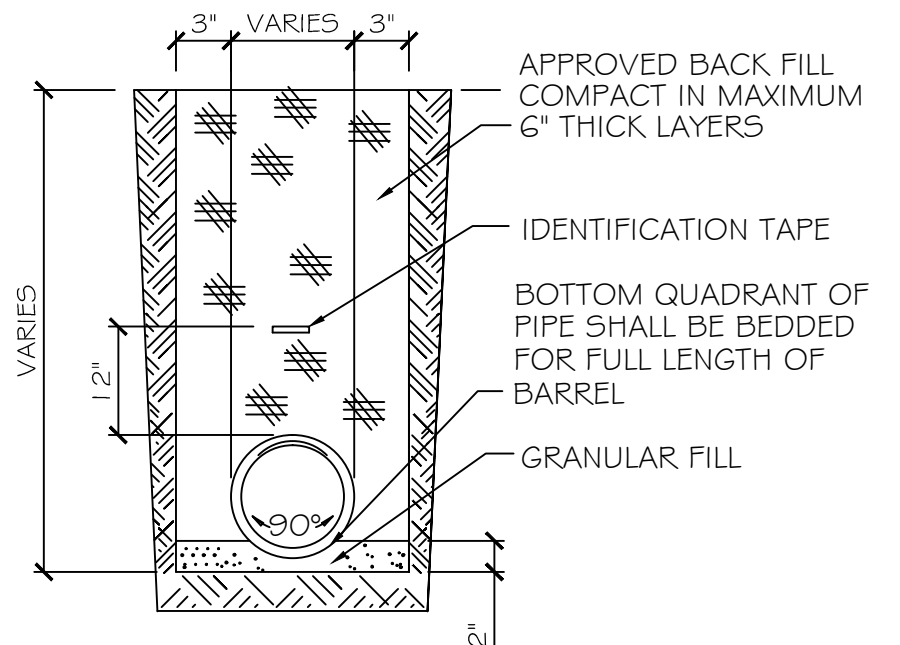


T = 8" FOR DOWNSTREAM HEADWALLS; R + 6" FOR UPSTREAM HEADWALLS

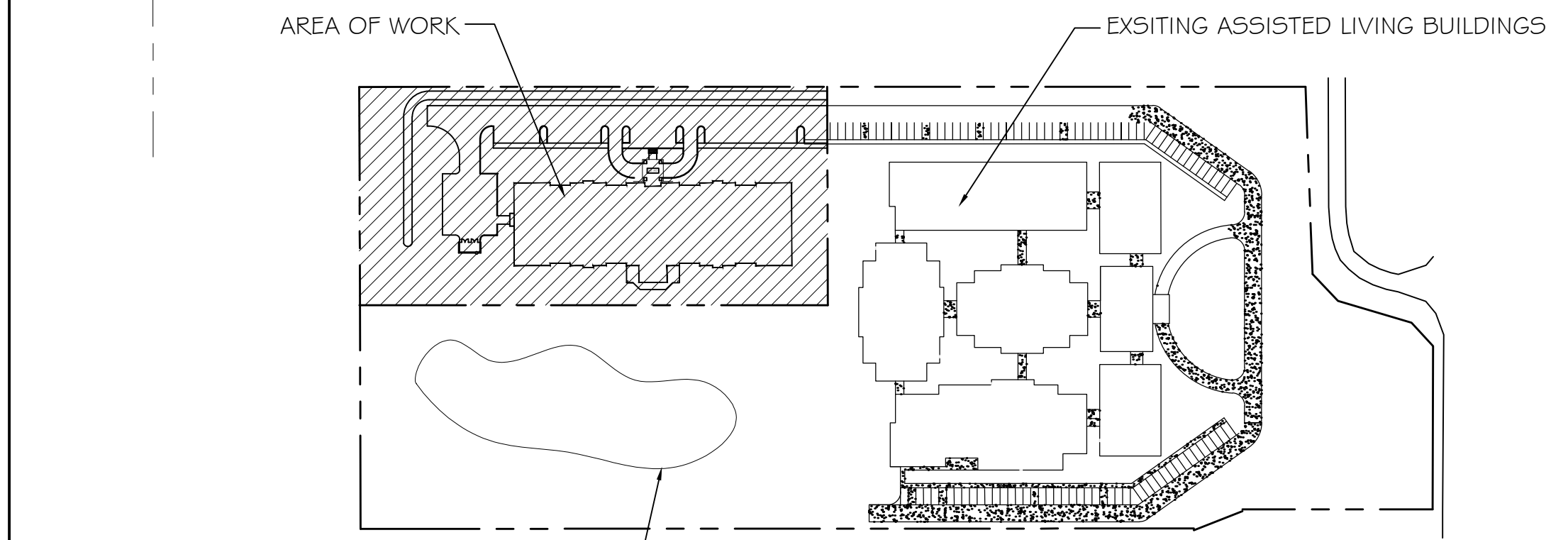
ALL SLOPES		S=1	1/2:1	S=2:1	S=3:1				
D	H	C	R	A	B	A	B	A	B
24"	3'-3"	1'-2"	3 5/8"	6'-4"	3'-9"	7'-9"	5'-0"	10'8"	7'-6"
27"	3'-6"	1'-3"	4"	7'-1"	4'-2"	8'-7"	5'-6"	11'10"	8'-3"
30"	3'-9"	1'-4"	4 1/2"	7'-9"	4'-6"	9'-5"	6'-0"	12'11"	9'-0"
36"	4'-3"	1'-5"	5 1/2"	9'-3"	5'-3"	11'1"	7'-0"	15'2"	10'6"
42"	4'-9"	1'-7"	6 3/8"	10'5"	6'-0"	12'9"	8'-0"	17'5"	12'0"

NOTE: MODIFY HEADWALL USED TO ACCOMMODATE 24" ARCH PIPE.

CONCRETE HEADWALL
SCALE: 1"=20'



DRAIN PIPE BEDDING
N.T.S.



KEY PLAN
N.T.S.

LEGEND

- PROPERTY LINE
- - - UTILITY / EASEMENT LINE
- · - · - BUILDING SETBACK MINIMUM
- - - - - BUFFER ZONE LIMITS
- - ○ - OPAQUE BUFFER FENCE
- ▭ - BUILDING OUTLINE
- ▭ - NEW DROP INLET w/TEMP. SILT FENCE
- ▭ - 6" CONCRETE CURB
- - SHEET FLOW SLOPE INDICATOR
- 0.00' - NEW ELEVATION
- 0.00' - NEW TOP OF CURB ELEVATION
- ⊕ 0.00' - INVERT ELEVATION
- # 0.00' - TOP OF GRATE ELEVATION
- - - - - NEW DRAINAGE PIPE
- - - - - DRAINAGE FLOW
- - - - - EXISTING DRAINAGE PIPE
- - - - - EXISTING GRADE ELEVATION

3.157 ACRES
PORTION OF
PARCEL A-1

AREA OF WORK

EXISTING ASSISTED LIVING BUILDINGS

PROPERTY LINE
250.00' N89°49'44"E

BUFFER SETBACK

PROPERTY LINE
550.00' S00°00'41"E
NEW OPEN DITCH SLOPE 0.001%

BUILDING SETBACK

PROPERTY LINE
250.00' S89°49'44"W

PROPERTY LINE
550.00' N00°00'41"W