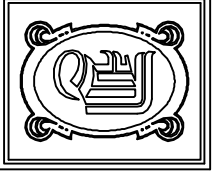


**SITE LEGEND**

|             |                                |
|-------------|--------------------------------|
| ---         | PROPERTY LINE                  |
| ----        | UTILITY / EASEMENT LINE        |
| - . - . - . | TRIANGULAR SITE LINE           |
| ----        | BUILDING SETBACK MIN.          |
| ----        | LANDSCAPING/BUFFER ZONE LIMITS |



**DAMMON**  
ENGINEERING, INC.

CHIEF ENGINEER  
EMMETT  
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ARCHITECTURE  
ENGINEERING  
STUDIES  
PLANNING  
INVESTIGATION  
EXPERT WITNESS

NEW  
APARTMENTS

CASEY CIVIL, LLC  
LOT 2A  
TERRACE AVE  
SLIDELL, LA

SITE  
PLAN

REV:

SCALE: AS NOTED

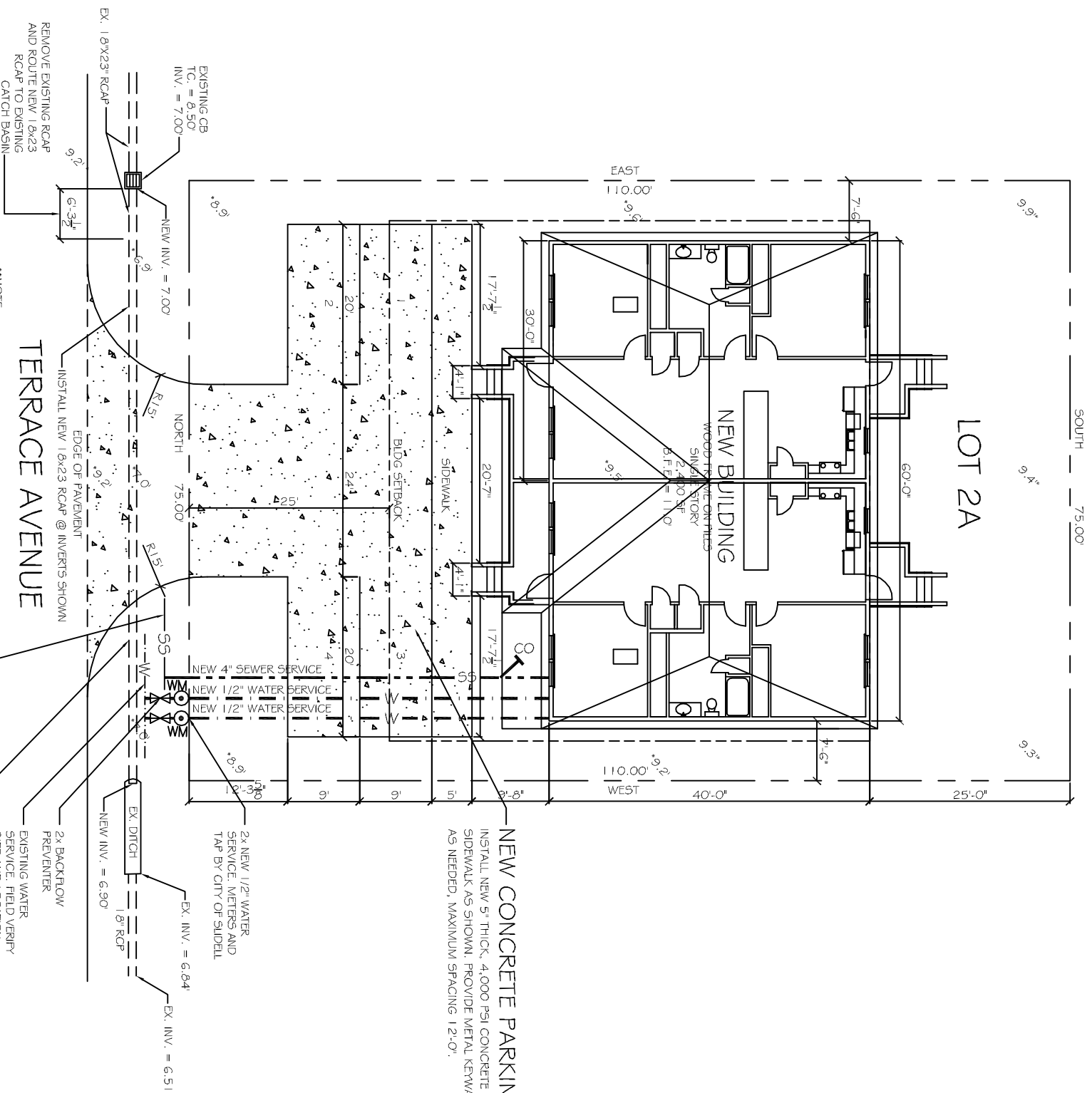
JOB#:

DATE: 06-16-11

SHEET 2

C-1

OF 12



**\*\*NOTE**  
THE CITY OF SLIDELL REQUIRES THE MINIMUM FINISHED FLOOR ELEVATION IN THIS AREA TO BE 1' ABOVE THE ADJTE DETERMINED BY FEMA.  
ZONE: AE 10  
ABFE: 10 + 1 CITY REQMT = 11'  
PANEL: LA-MM41  
DATE: JANUARY 18, 2006

**DRAINAGE ALONG TERRACE AVE:**  
ALL OPEN DITCH ALONG NORTH PROPERTY LINE MUST BE CONVERTED TO SUBSURFACE DRAINAGE PER CITY OF SLIDELL REQUIREMENTS. INSTALL NEW 18x23 RCAP ALONG ENTIRE LENGTH OF NORTH PROPERTY LINE AS SHOWN. REWORK EXISTING DITCH IMMEDIATELY BEYOND END OF NEW PIPE TO ENSURE PROPER INVERTS.

**NEW CONCRETE PARKING AREA:**  
INSTALL NEW 5" THICK, 4,000 PSI CONCRETE PARKING AND SIDEWALK AS SHOWN. PROVIDE METAL KEYS/WAY JOINT SYSTEM AS NEEDED, MAXIMUM SPACING 12'-0".