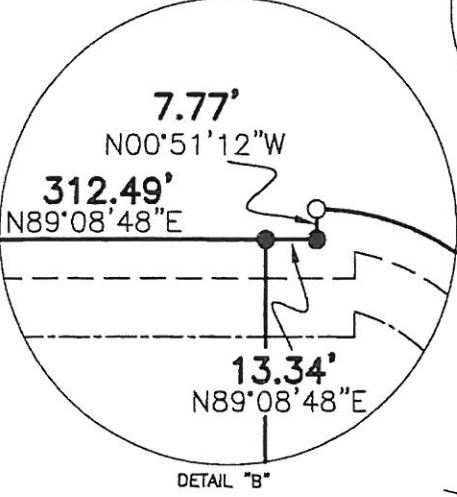
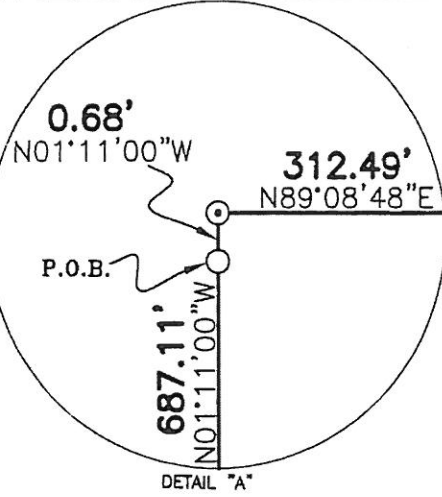


CURVE	LENGTH	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	95.83'	200.00'	S76°51'16"E	94.92'
C2	32.58'	319.29'	S66°02'57"E	32.56'
C3	158.02'	319.29'	S83°09'05"E	156.41'
C4	148.44'	319.29'	N69°21'02"E	144.11'
C5	58.31'	37.00'	N45°59'59"W	52.46'
C6	338.09'	62.00'	N01°08'46"W	50.00'
C7	137.10'	87.00'	S45°59'59"E	123.35'

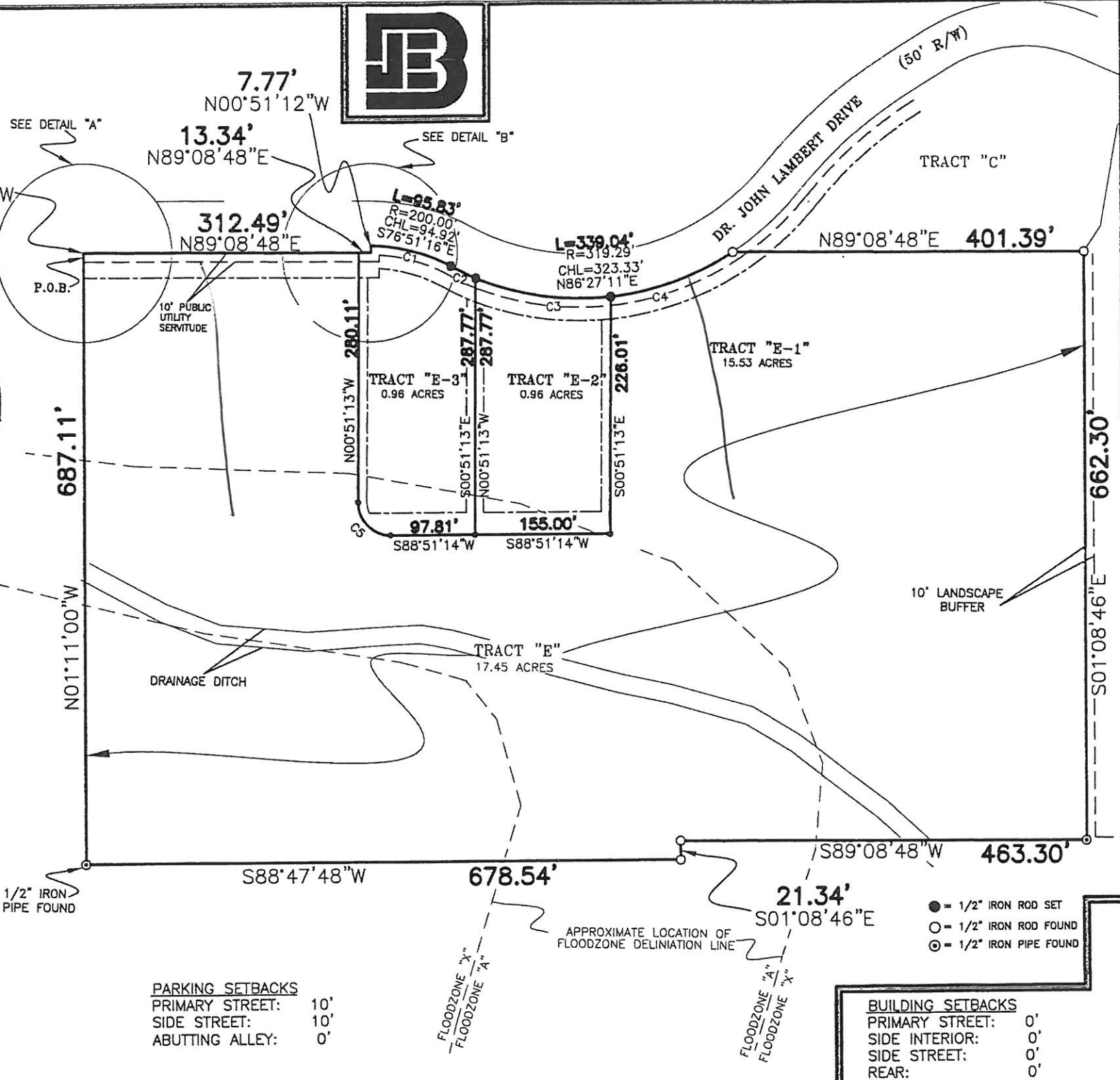


PROPERTY DESCRIPTION OF TRACT "E"

A CERTAIN PIECE OR PARCEL OF LAND LOCATED IN SECTION 33, T6S-R8E AND SECTION 4, T7S-R8E, SOUTHERN LAND DISTRICT, PARISH OF TANGIPAHOA, STATE OF LOUISIANA, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE COMMON CORNER OF SECTIONS 32 AND 33, T6S-R8E AND SECTIONS 4 AND 5, T7S-R8E, THENCE ALONG SECTION LINE PROCEED NORTH 89 DEGREES 25 MINUTES 05 SECONDS EAST FOR A DISTANCE OF 30.00 FEET TO A POINT; THENCE CONTINUE ALONG SAID SECTION LINE, NORTH 89 DEGREES 25 MINUTES 05 SECONDS EAST FOR A DISTANCE OF 832.25 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING;

THENCE LEAVING SAID SECTION LINE, PROCEED NORTH 01 DEGREES 11 MINUTES 00 SECONDS WEST FOR A DISTANCE OF 0.68 FEET TO A POINT; THENCE PROCEED NORTH 89 DEGREES 08 MINUTES 48 SECONDS EAST FOR A DISTANCE OF 325.83 FEET TO A POINT; THENCE PROCEED NORTH 00 DEGREES 51 MINUTES 12 SECONDS WEST FOR A DISTANCE OF 7.77 FEET TO A POINT; THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 200.00 FEET, A CENTRAL ANGLE OF 27 DEGREES 27 MINUTES 18 SECONDS, A TANGENT LENGTH OF 48.88 FEET, THE LONG CHORD OF WHICH BEARS SOUTH 76 DEGREES 51 MINUTES 15 SECONDS EAST FOR A DISTANCE OF 94.92 FEET WITH A RADIAL LINE IN OF SOUTH 00 DEGREES 34 MINUTES 53 SECONDS EAST AND A RADIAL LINE OUT OF NORTH 28 DEGREES 52 MINUTES 23 SECONDS EAST FOR AN ARC LENGTH OF 95.83 FEET TO A POINT; THENCE, ALONG A REVERSE CURVE TO THE LEFT WITH A RADIUS OF 319.29 FEET, A TANGENT LENGTH OF 187.47 FEET, A CENTRAL ANGLE OF 60 DEGREES 50 MINUTES 23 SECONDS, THE RADIUS OF WHICH BEARS NORTH 28 DEGREES 52 MINUTES 23 SECONDS EAST, THE CHORD OF WHICH BEARS NORTH 88 DEGREES 27 MINUTES 11 SECONDS EAST FOR A DISTANCE OF 323.33 FEET; THENCE ALONG THE ARC OF SAID CURVE FOR A DISTANCE OF 339.04 FEET TO A POINT; THENCE PROCEED NORTH 89 DEGREES 08 MINUTES 48 SECONDS EAST FOR A DISTANCE OF 401.40 FEET TO A POINT; THENCE PROCEED SOUTH 01 DEGREES 08 MINUTES 46 SECONDS EAST FOR A DISTANCE OF 882.30 FEET TO A POINT; THENCE PROCEED SOUTH 89 DEGREES 08 MINUTES 48 SECONDS WEST FOR A DISTANCE OF 463.30 FEET TO A POINT; THENCE PROCEED SOUTH 01 DEGREES 08 MINUTES 46 SECONDS EAST FOR A DISTANCE OF 21.34 FEET TO A POINT; THENCE PROCEED SOUTH 88 DEGREES 47 MINUTES 48 SECONDS WEST FOR A DISTANCE OF 678.54 FEET TO A POINT; THENCE PROCEED NORTH 01 DEGREES 11 MINUTES 00 SECONDS WEST FOR A DISTANCE OF 687.11 FEET TO A POINT BACK TO THE POINT OF BEGINNING. THE 17.453 ACRES, PROPERTY DESCRIBED HERIN CONTAINS A TOTAL OF 760,233 SQUARE FEET, AND IS SUBJECT TO ALL SERVITUDES AND RESTRICTIONS THAT MAY BE OF RECORD.



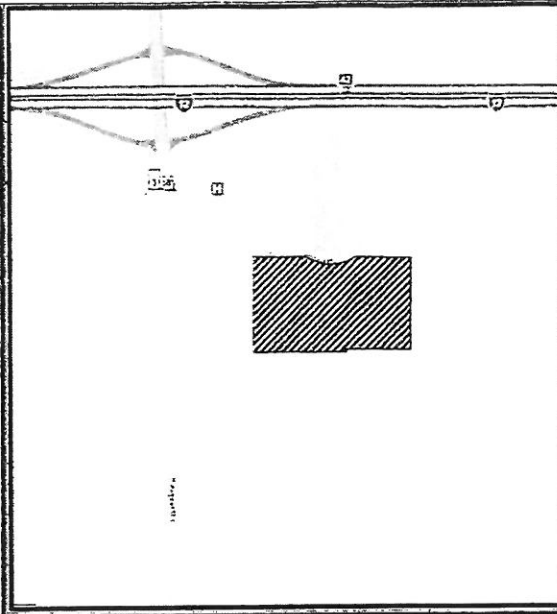
PARKING SETBACKS
 PRIMARY STREET: 10'
 SIDE STREET: 10'
 ABUTTING ALLEY: 0'

BUILDING SETBACKS
 PRIMARY STREET: 0'
 SIDE INTERIOR: 0'
 SIDE STREET: 0'
 REAR: 0'

REFERENCE SURVEY:
 The Recorded Subdivision Map.

BASIS FOR BEARINGS/ANGLES:
 The Reference Survey.

NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.



MINOR SUBDIVISION APPROVAL:

OWNER SIGNATURE _____ DATE _____

PLANNING COMMISSION CHAIRMAN _____ DATE _____

CITY PLANNER/BUILDING OFFICIAL _____ DATE _____

CITY COUNCIL PRESIDENT _____ DATE _____

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A MINOR SUBDIVISION MAP OF
TRACT "E" PROVIDENCE RIDGE, BEING 17.45 ACRES,
 into
TRACT "E-1" PROVIDENCE RIDGE BEING 15.53 ACRES,
TRACT "E-2" PROVIDENCE RIDGE BEING 0.96 ACRES &
TRACT "E-3" PROVIDENCE RIDGE BEING 0.96 ACRES
 in
 CITY OF HAMMOND
 Section 33, T-6-S, R-8-E & Section 4, T-7-S, R-8-E,
 Tangipahoa Parish, Louisiana
 for
COMMERCIAL REALTY INC

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "X" & "A" with a Base Flood Elevation of N/A in accordance with Community Panel No. 220208 0435 F; Revised: JULY 22, 2010

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "C" SURVEY.

Survey No. 2015 167 Drawn by: JCB Scale: 1" = 150'
 Date: MARCH 31, 2015 Revised: PAGE 1 OF 2

JOHN E. BONNEAU & ASSOCIATES, INC.
 Professional Land Surveyors • Planners and Consultants
 633 NORTH LOTUS DRIVE • MANDEVILLE, LA 70471
 (985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title

This Survey is Certified True and Correct By

 John E. Bonneau
 Professional Land Surveyor
 Registration No. 4407