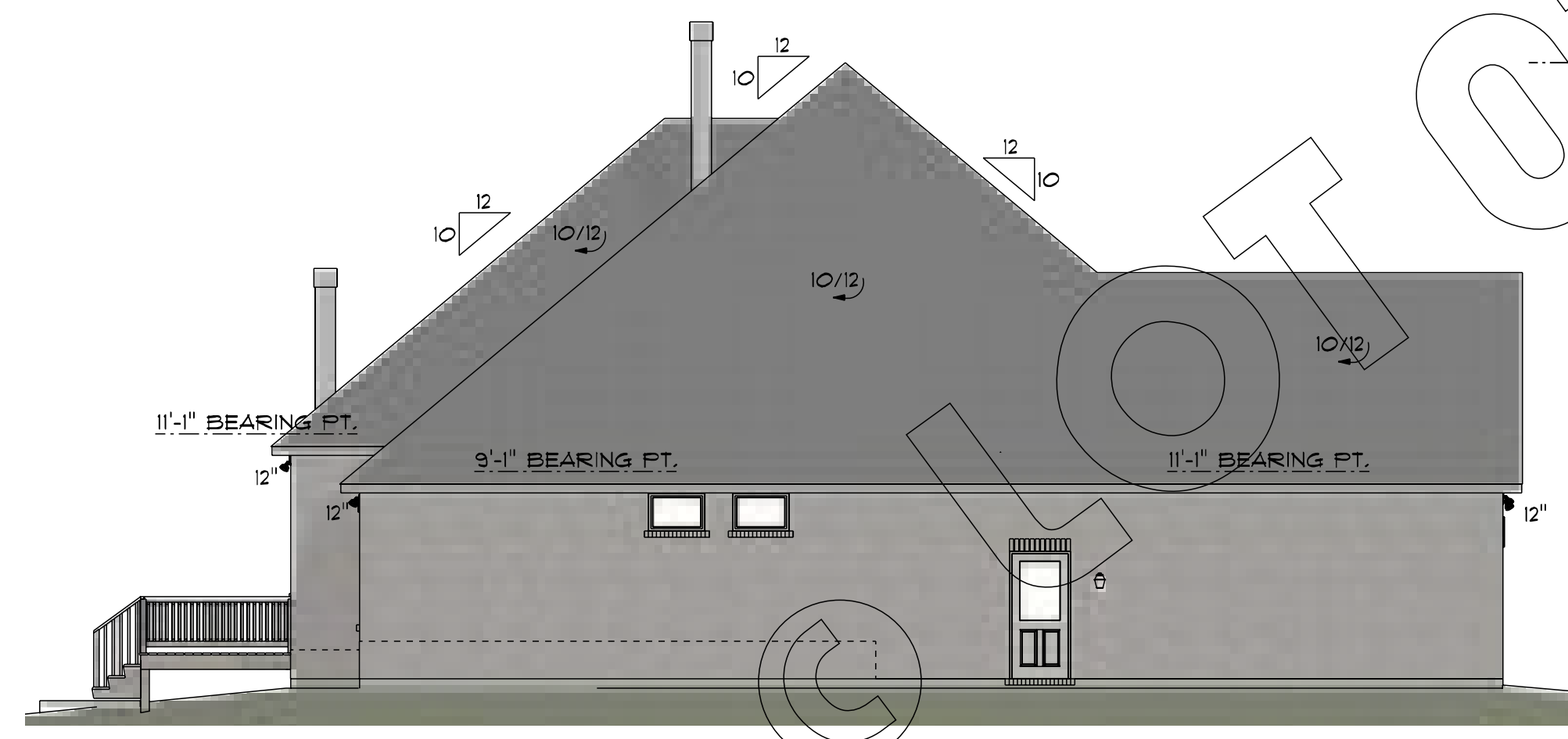


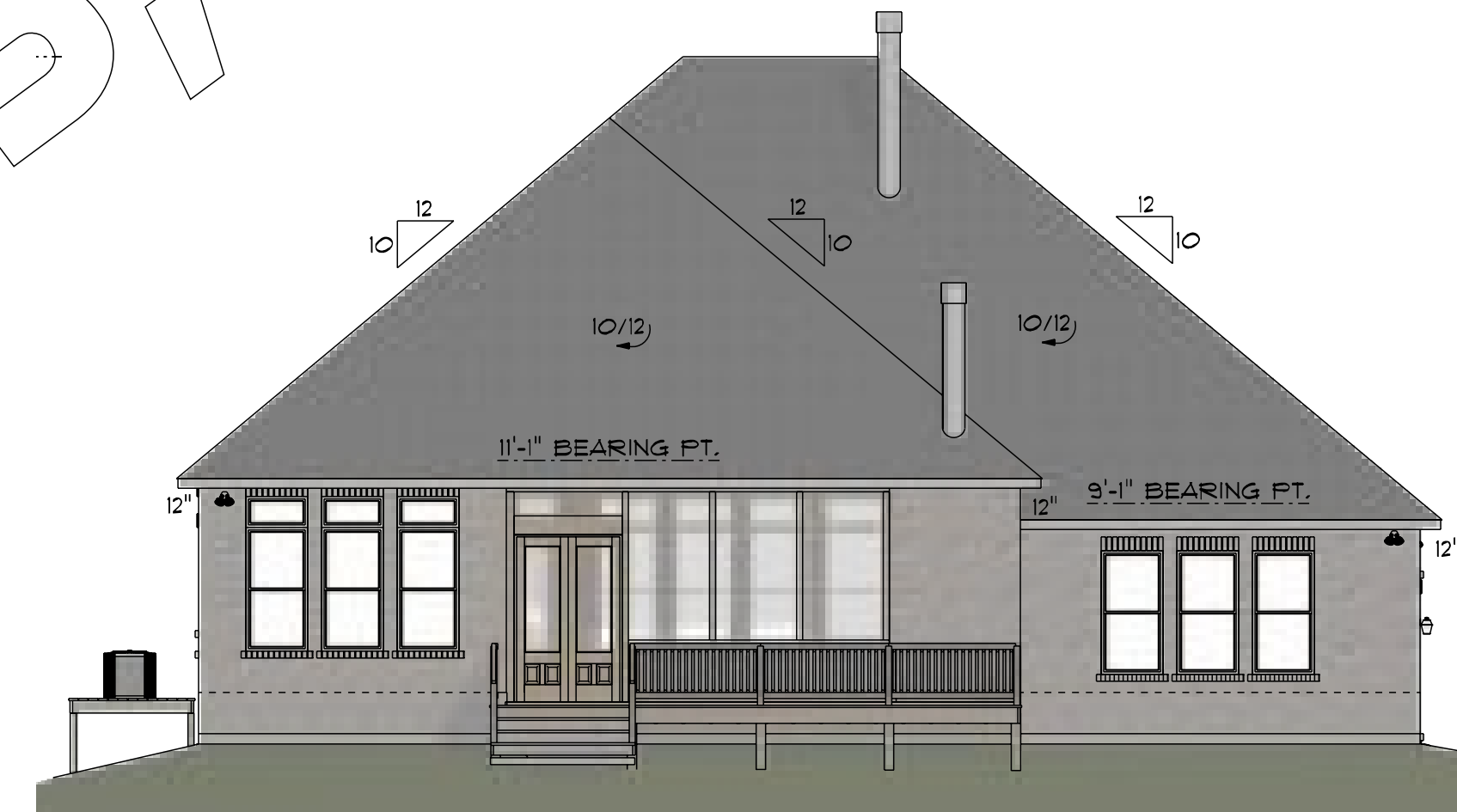
ROOF PLAN
SCALE = 1/8"=1'-0"



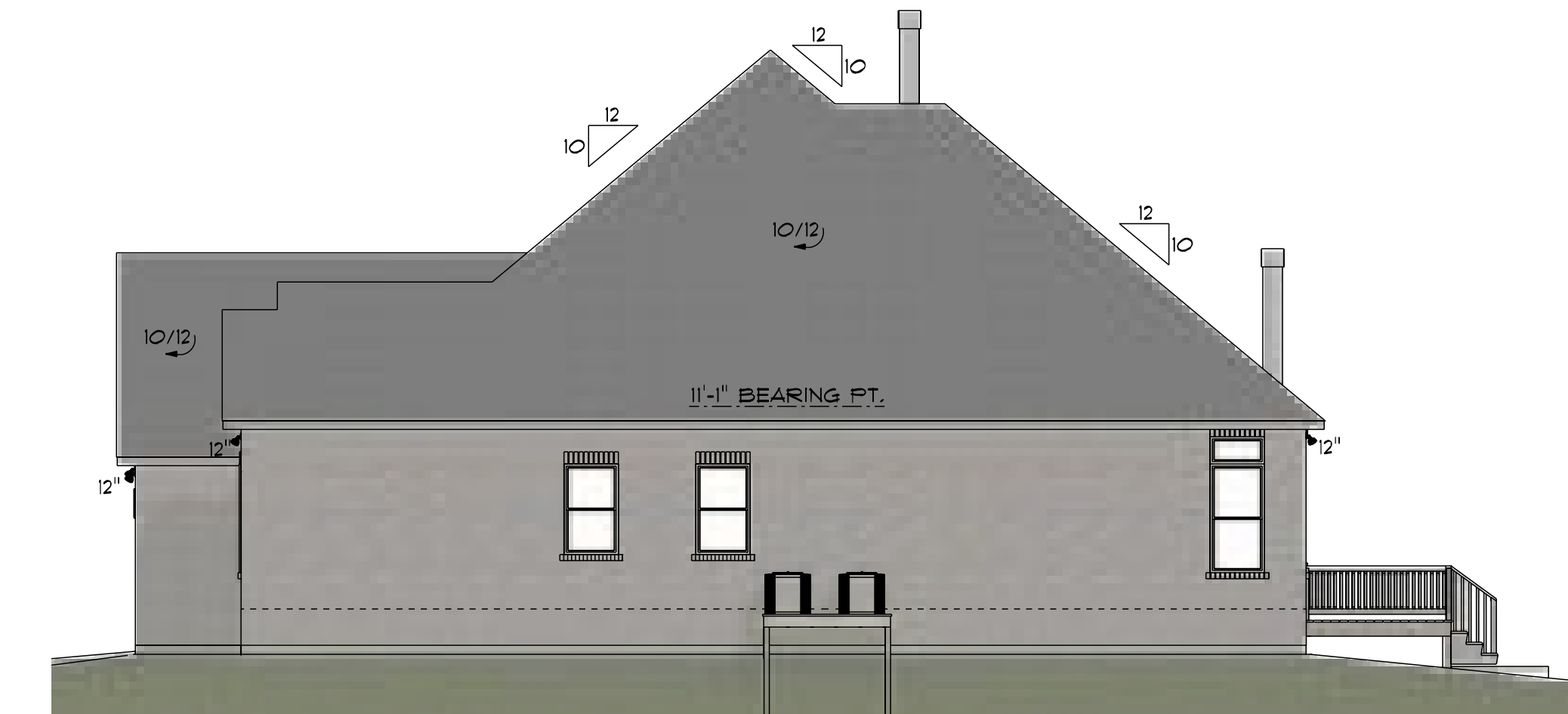
FRONT ELEVATION
SCALE = 1/4"=1'-0"



LEFT ELEVATION
SCALE = 1/8"=1'-0"

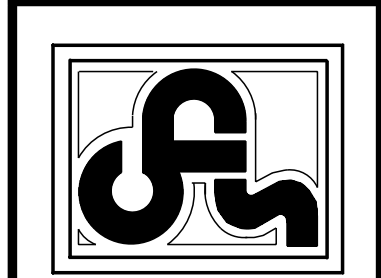


REAR ELEVATION
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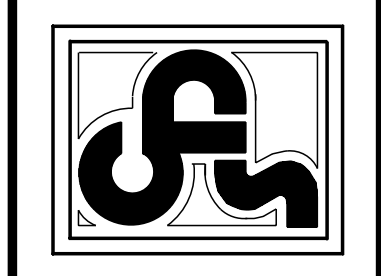


RIGHT ELEVATION
SCALE = 1/8"=1'-0"

NOTE:
THIS DRAWING IS AN EFFORT
TO PRESENT THE DESIGN
PREPARED BY THE ARCHITECT.
IT IS THE CONTRACTOR'S
RESPONSIBILITY TO VERIFY
THE ACCURACY AND/OR
COMPLETENESS OF THE
DRAWING INFORMATION AND
CONSTRUCTION BEGINS.



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JOELLE & DALE DEBAUTTE
LOT 364, MOONRAKER ISLAND, PH. 3A
ST. TAMMANY PARISH, LA.

DATE: 08-04-20
CODE: 74
SHEET: 2374
AREA: 366
SCALE: 8725

SHEET DESCRIPTION:
EXTERIOR
ELEVATIONS &
ROOF PLAN

NOTES:

- OPENINGS:**
- ALL EMERGENCY ESCAPE & RESCUE OPENINGS AT GRADE FLOOR SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. ALL OTHERS SHALL HAVE A MIN. NET CLEAR OPENING OF 5.7 SQ. FT. ALL EMERGENCY OPENINGS SHALL HAVE A MIN. NET CLEAR OPENING HEIGHT OF 24" & A MIN. WIDTH OF 20" & A MAX. SILL HEIGHT OF 4" FROM FINISHED FLOOR TO THE BOTTOM OF THE CLEAR OPENING.
 - ALL WINDOWS IN BLDG. TO BE FITTED W/ WOOD STRUCTURAL PANELS W/ A MIN. THICKNESS OF 7/16" & MAX. SPAN OF 8'. ALL PANELS TO BE PRECUT TO COVER THE OPENINGS W/ ATTACHMENT HARDWARE PROVIDED & INSTALLED IN ACCORDANCE W/ TABLE R301.2.1 (I.R.C.).
 - WINDOWS SHALL HAVE A MAX. SHGC OF .25 & A MAX. U-FACTOR OF .40.
 - ALL WINDOWS IN HAZARDOUS LOCATIONS MUST BE TEMPERED & COMPLY W/ SECTION R308.4 (I.R.C.).
 - ANY DOOR BETWEEN GARAGE & RESIDENCE SHALL BE A MIN. 1 3/8" THICK SOLID WOOD, 1 3/8" SOLID OR HONEYCOMB STEEL OR 20 MIN. FIRE RATED DOOR EQUIPPED WITH SELF CLOSING DEVICE (R309.1).
 - IN DWELLING UNITS WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MIN. OF 24" ABOVE FINISHED FLOOR @ LOCATION OF WINDOW. FIXED GLASS SHALL BE PERMITTED TO BE INSTALLED IN WINDOW GUARDS THAT COMPLY W/ ASTM F 2006 or F 2050 SHALL BE PERMITTED.

UPLIFT CONNECTORS:
 CONNECTIONS SHALL BE PROVIDED TO TRANSFER UPLIFT LOADS FROM THE ROOF ASSEMBLY TO THE FOUNDATION TO CREATE A COMPLETE LOAD PATH. ALL UPLIFT VALUES ARE BASED ON USING EITHER DOUGLAS FIR LARCH OR SOUTHERN YELLOW PINE LUMBER. ALL CONNECTORS USED SHALL BE INSTALLED AS PER MANUFACTURERS REQUIREMENTS. WHEN CONNECTORS ARE USED IN WET SERVICE CONDITIONS, SEE MANUF. FOR WHICH PROTECTIVE COATINGS TO BE USED. IF THERE ARE ANY VARIABLES IN CONNECTION VALUES BASED ON ATTACHMENT COUNT, THE DESIGNER SHALL BE CONSULTED PRIOR TO INSTALLATION.

HIP & VALLEY RAFTERS:
 HIP & VALLEY MEMBERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A BEARING PARTITION OR BE DESIGNED TO CARRY AND DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT AS PER R902.3. (I.R.C.).

GABLE ROOF DIAPHRAGM BRACING:
 BLOCKING & CONNECTIONS SHALL BE PROVIDED AT PANEL EDGES, PERPENDICULAR TO ROOF FRAMING MEMBERS IN THE FIRST TWO BAYS OF FRAMING, & SHALL BE SPACED AT A MAX. OF 4' O.C.

FLOOR DIAPHRAGM BRACING:
 BLOCKING & CONNECTIONS SHALL BE PROVIDED PERPENDICULAR TO FLOOR FRAMING AND SHALL BE SPACED A MAX. OF 4' O.C. WHERE JOISTS ARE PARALLEL TO EXTERIOR WALLS. 2x6, 2x8 & 2x10 F.J. MUST HAVE ADEQUATE SHEATHING OR SUBFLOORING & ENDS SHALL BE HELD IN PLACE BY SOLID BLOCKING, BRIDGING, OR HANGERS AT POINT OF BEARING TO HOLD IN POSITION & PREVENT ROTATION & LATERAL DISPLACEMENT. 2x12 F.J. SAME AS ABOVE PLUS DIAGONAL CROSS BRACING SHALL BE INSTALLED @ INTERVALS NOT EXCEEDING 8 FT.

FIRE-BLOCKING:
 FIRE-BLOCKING SHALL BE REQUIRED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, TO FORM AN EFFECTIVE BARRIER BETWEEN STORIES & BETWEEN A TOP STORY & A ROOF SPACE. FIRE-BLOCKING SHALL BE PROVIDED IN WOOD FRAME CONSTRUCTION AS PER R602.3 (I.R.C.).

ROOF VENTILATION:
 SHALL COMPLY WITH SECTION R806 OF I.R.C.
 THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50% & NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS W/ THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MIN. OF 1" SPACE SHALL BE PROVIDED BTW. THE INSULATION & THE ROOF SHEATHING & AT THE LOCATION OF THE VENT.

WHEN USING SPRAY FOAM INSULATION, AS A SEALED INSULATION SYSTEM FROM WALL TO RAFTERS, OMIT AIR VENT Baffles AT RAFTERS & RIDGE.

ROOF SHEATHING:
 MIN. 7/16" STRUCTURAL SHEATHING INSTALLED W/ H-CLIPS & NAILED W/ 8d COMMON OR 10d BOX NAILS @ 6" & 12" @ INTERIOR ZONES. 8d COMMON OR 10d BOX NAILS @ 6" & 12" @ PERIMETER EDGE ZONES. 8d COMMON OR 10d BOX NAILS @ 4" & 4" @ GABLE END-WALL RAKE.

EXTERIOR WALL & CEILING SHEATHING:
 MIN. 7/16" STRUCTURAL SHEATHING ALL EDGES TO BE BLOCKED & NAILED W/ 8d COMMON OR 10d BOX NAILS @ 6" O.C. @ EDGES & 12" O.C. IN THE PANEL FIELD. (6" & 12")

FULL LENGTH SHEATHING (STORM BOARD):
 CONNECTORS @ THE BOTTOM PLATE TO STUD & TOP PLATE TO STUD, MAY BE ELIMINATED W/ THE USE OF FULL LENGTH STORM BOARD SHEATHING FROM PLATE TO PLATE. SEE MANUFACTURERS REQUIREMENTS FOR NAIL SPACING TO ACHIEVE PROPER UPLIFT AND SHEAR VALUES.

FLOOR SHEATHING:
 EDGES OF FLOOR SHEATHING SHALL HAVE APPROVED TONGUE-&GROOVE JOINTS OR SHALL BE SUPPORTED WITH BLOCKING. SHEATHING SHALL BE ATTACHED W/ MIN. 8d COMMON NAILS MAX. SPACING OF 6" & 12".

ROOFING:
 UNDERLAYMENT SHALL BE FASTENED W/ CORROSION RESISTANT FASTENERS & ARE TO BE APPLIED ALONG THE OVERLAP NOT FARTHER THAN 36" O.C. ANY PITCH BELOW 4/12. SHALL REQUIRE TWO LAYERS OF UNDERLAYMENT (R905.3.3.1). ASPHALT SHINGLES SHALL BE CLASS "C" OR "H" AND HAVE A MIN. OF 6 FASTENERS PER SHINGLE. FASTENERS SHALL BE CORROSION RESISTANT. (R905.2.6).

ATTIC ACCESS:
 WITHIN ATTICS & CRAWL SPACES WHERE ENTRY IS MADE ONLY FOR SERVICES OF UTILITIES, FOAM PLASTICS SHALL BE PROTECTED AGAINST IGNITION BY 1/2" THICK MINERAL FIBER INSULATION, 1/4" THICK WOOD STRUCTURAL PANELS, 3/8" GYP. OR CORROSION RESISTANT STEEL HAVING A BASE METAL THICKNESS OF 0.016" (R314.5.3).

EXTERIOR FINISH:
 ALL EXTERIOR SIDING AND FINISHES MUST BE APPLIED TO CONFORM TO THE WEATHER-RESISTANT BARRIER REQUIREMENTS IN SEC. R703.4 AND WITHSTAND MIN. 130 M.P.H. WINDSPEED.

FIREPLACE:
 FACTORY BUILT FIREPLACES SHALL BE TESTED IN ACCORDANCE WITH UL 127. HEARTH EXTENSIONS OF APPROVED FACTORY-BUILT FP SHALL BE INSTALLED IN ACCORDANCE W/ THE LISTING OF THE F.P. THE HEARTH EXTENSION SHALL BE READILY DISTINGUISHABLE FROM THE SURROUNDING FLOOR AREA. (R1000.4)

MECHANICAL:
 HEATING & COOLING EQUIPMENT SHALL BE SIZED BASED ON BUILDING LOADS CALCULATED IN ACCORDANCE WITH A.C.C.A. MANUAL "J" OR OTHER APPROVED HEATING AND COOLING METHODOLOGIES.

DESIGN VALUES:
 THE LUMBER DESIGN VALUES FOR SOLID SAWN LUMBER ARE BASED ON USING #2 SOUTHERN PINE WITH AN ADJUSTMENT FACTOR FOR SHEAR STRESS OF 1.5 (TABLE 4C W.F.C.M.). THIS STATES THAT THE MAXIMUM SPLIT ON 2" NOMINAL LUMBER SHALL BE 3/4" X WIDE FACE AND THE SIZE OF SHAKE SHALL BE MAXIMUM OF 1/4" X NARROW FACE.

EXTERIOR DOORS									
CODE	WIDTH	HEIGHT	THICK	DESCRIPTION	HINGE SIDE	TEMPERED GLASS	ROUGH OPENING	WALL SIZE	QUANT.
1	5'-0"	8'-0"	1 3/4"	PR. 2000 EVERBROW DBL. DOORS	LR	YES	BY MANUF.	5 1/2"	(1)
2	5'-0"	8'-0"	1 3/4"	PR. 2000 SCREEN DOORS	LR	YES	BY MANUF.	5 1/2"	(1)
3	3'-0"	9'-6"	1 3/4"	3000 1 LT. FRENCH W/ 18" TRANSMOM ABOVE	L	REV	BY MANUF.	5 1/2"	(1)
4	3'-0"	6'-8"	1 3/4"	1 LT. OVER 2 PANEL	REV	YES	BY MANUF.	5 1/2"	(1)
5	3'-0"	6'-8"	1 3/4"	20 MIN. SELF CLOSING FIRE DR.	L	NO	BY MANUF.	3 1/2"	(2)
6	3'-0"	5'-7 1/4"	1 3/4"	20 MIN. SELF CLOSING FIRE DR.	R	NO	BY MANUF.	3 1/2"	(1)
7	9'-0"	8'-0"	1 3/4"	130 MPH O.H. GARAGE DR.	U	YES	BY MANUF.	5 1/2"	(2)

INTERIOR DOORS									
CODE	WIDTH	HEIGHT	THICK	DESCRIPTION	HINGE SIDE	TEMPERED GLASS	ROUGH OPENING	WALL SIZE	QUANT.
8	3'-0"	6'-8"	1 3/8"	RAISED PANEL (MASONITE, HOLLOW)	L		BY MANUF.	3 1/2"	(2)
9	2'-8"	6'-8"	1 3/8"	RAISED PANEL (MASONITE, HOLLOW)	R		BY MANUF.	3 1/2"	(1)
10	2'-8"	6'-8"	1 3/8"	RAISED PANEL (MASONITE, SOLID)	L		BY MANUF.	3 1/2"	(2)
11	2'-6"	6'-8"	1 3/8"	RAISED PANEL (MASONITE, HOLLOW)	L		BY MANUF.	3 1/2"	(1)
12	2'-4"	6'-8"	1 3/8"	RAISED PANEL (MASONITE, HOLLOW)	L		BY MANUF.	5 1/2"	(1)
13	2'-4"	6'-8"	1 3/8"	RAISED PANEL (MASONITE, HOLLOW)	R		BY MANUF.	5 1/2"	(1)
14	2'-4"	6'-8"	1 3/8"	RAISED PANEL (MASONITE, HOLLOW)	R		BY MANUF.	3 1/2"	(1)
15	2'-0"	6'-8"	1 3/8"	RAISED PANEL (MASONITE, HOLLOW)	L		BY MANUF.	3 1/2"	(4)
16	2'-0"	6'-8"	1 3/8"	RAISED PANEL (MASONITE, HOLLOW)	R		BY MANUF.	3 1/2"	(1)
17	2'-0"	8'-0"	1 3/8"	RAISED PANEL (MASONITE, HOLLOW)	R		BY MANUF.	3 1/2"	(1)
18	1'-6"	6'-8"	1 3/8"	RAISED PANEL (MASONITE, HOLLOW)	R		BY MANUF.	3 1/2"	(1)
19	4'-0"	6'-8"	1 3/8"	PR. 2000 RAISED PANEL (MASONITE, HOLLOW)	LR		BY MANUF.	3 1/2"	(1)

DOOR SCHEDULE
 (CHECK ALL OPENINGS AFTER FRAMING FOR SIZE & COUNT BEFORE ORDERING DOORS AND WINDOWS. TYPICAL.)

CODE	WIDTH	HEIGHT	DESCRIPTION	HINGE SIDE	TEMPERED GLASS	HEADER HEIGHT	DIV. LT.	QUANT.
A	3'-0"	7'-0"	DBL. HUNG EYEBROW	N/A	YES	8'-0"	YES	(1)
B	3'-0"	6'-0"	DBL. HUNG EYEBROW	N/A	NO	8'-0"	YES	(1)
C	3'-0"	5'-0"	DOUBLE HUNG	N/A	YES	7'-0"	NO	(1)
D	3'-0"	5'-0"	DOUBLE HUNG	N/A	NO	7'-0"	NO	(1)
E	3'-0"	7'-6"	3060 DBL. HUNG WITH 3016 TRANSMOM	N/A	NO	9'-6"	NO	(3)
F	3'-0"	6'-0"	DOUBLE HUNG	N/A	NO	7'-0"	NO	(9)
G	4'-0"	2'-0"	FIXED GLASS	N/A	YES	7'-10 1/2"	NO	(2)
H	3'-0"	5'-0"	DOUBLE HUNG EYEBROW	N/A	NO	SEE PLAN	NO	(1)

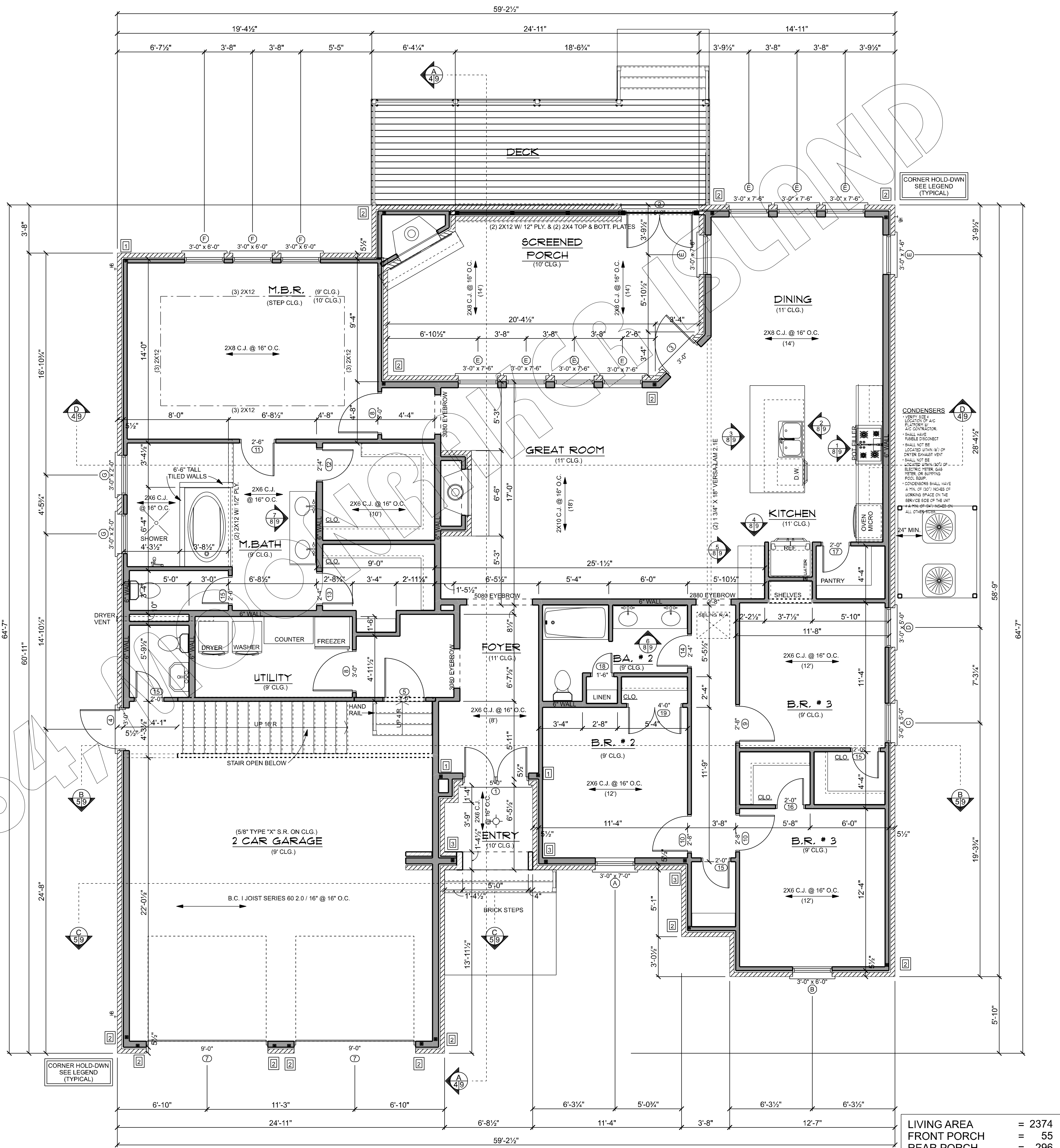
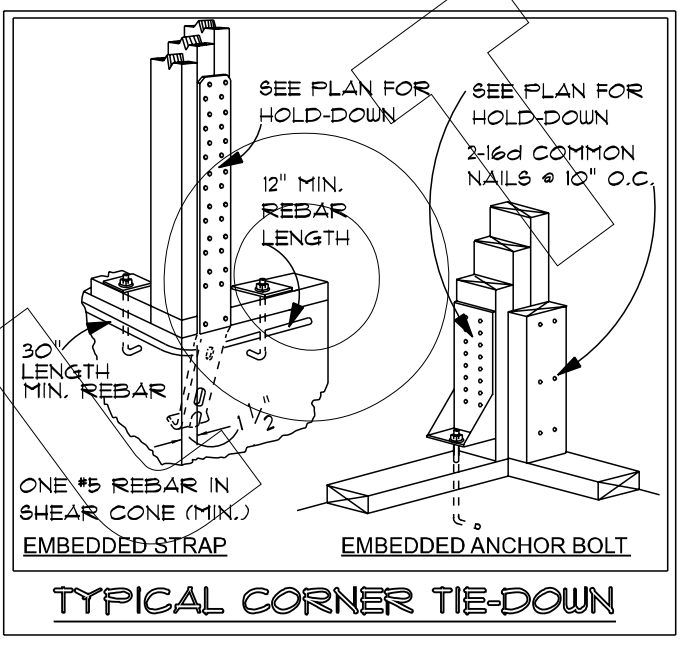
WINDOW SCHEDULE
 (CHECK ALL OPENINGS AFTER FRAMING FOR SIZE & COUNT BEFORE ORDERING DOORS AND WINDOWS. TYPICAL.)

CORNER TIE-DOWN LEGEND

LABEL	HOLD DWN.	BOLT DIAM.	MIN. CRNR. DIM.	SDS25 SCREWS	OPTIONAL EMBD. H.D.
1	HDU4-SDS2.5	5/8"	3"	10	STHD14
2	HDU5-SDS2.5	5/8"	3"	14	STHD14
3	HDU8-SDS2.5	7/8"	4 1/2"	20	N/A
4	HDU11-SDS2.5	1"	7 1/2"	30	N/A

HDU SERIES HOLD DOWNS: CAN BE INSTALLED W/ EMBEDDED ANCHOR BOLT OR RETRO FIT BY DRILLING HOLE 1/8" LARGER THAN ANCHOR. CLEAN OUT DUST, FILL HOLE 1/2 WAY W/ SET-XP EPOXY. INSERT ANCHOR. ALLOW TO SET & CURE AS PER MANUF. REQUIREMENTS.

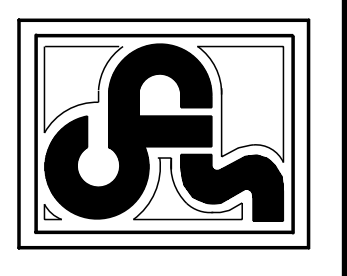
STHD SERIES HOLD DOWNS: MUST BE EMBEDDED, HELD 1 1/2" OUT OF CORNER (TO ALLOW FOR SHEATHING ATTACHMENT) & HAVE A MIN. 5.5" CONC. STEM WALL.



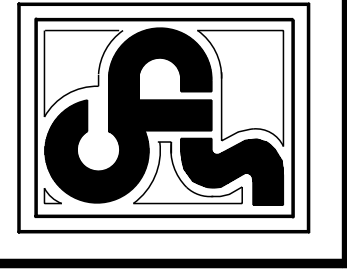
FLOOR PLAN
 SCALE = 1/4" = 1'-0"

LIVING AREA	= 2374
FRONT PORCH	= 55
REAR PORCH	= 296
GARAGE	= 665
TOTAL AREA U.B.	= 3363
BONUS ROOM	= 407

NOTE:
 ALL DIMENSIONS ARE NET UNLESS NOTED OTHERWISE. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS FOR ACCURACY AND FOR COMMENCEMENT OF CONSTRUCTION.



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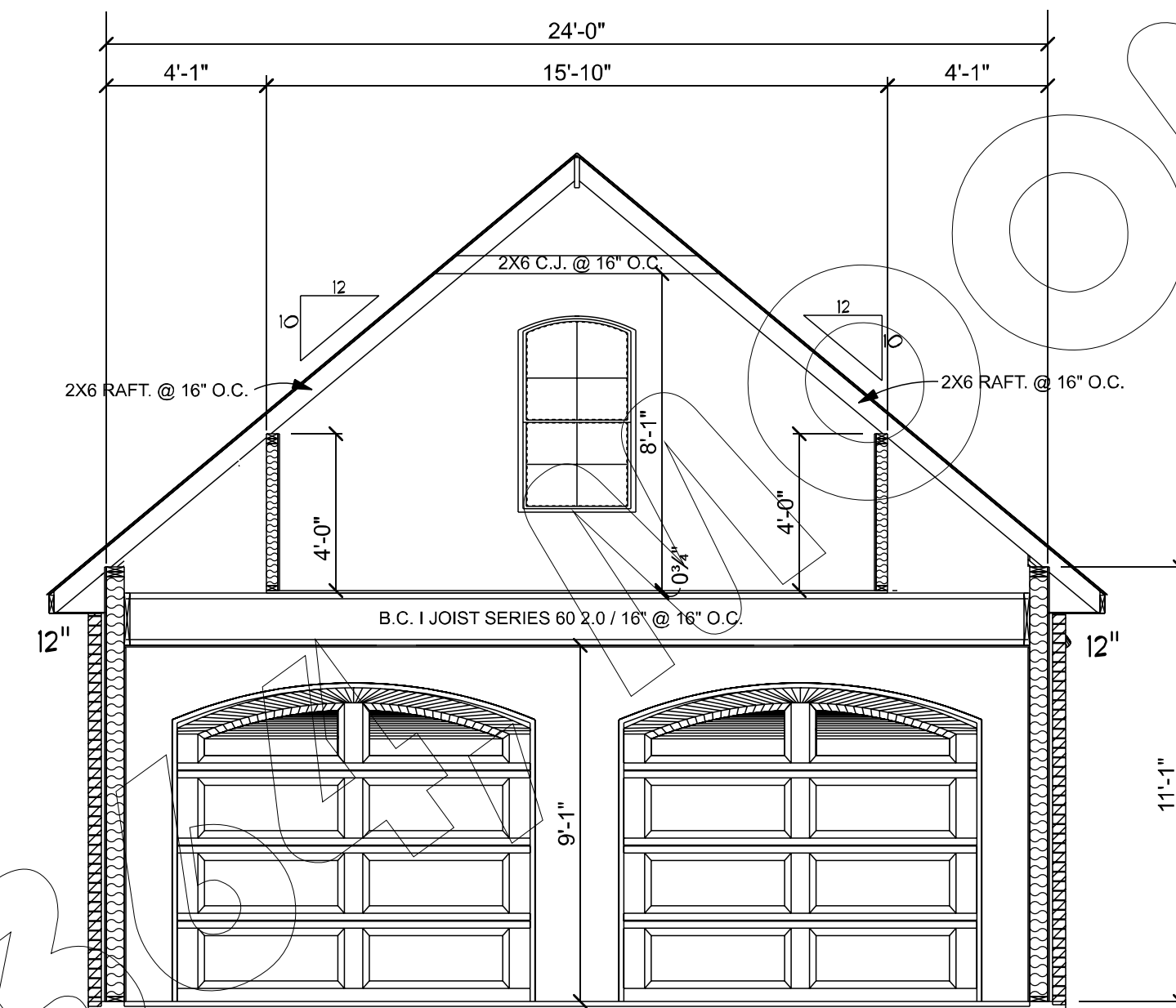
JOELLE & DALE DEBAUTE
 LOT 364, MOONRAKER ISLAND PH. 3A
 ST. TAMMANY PARISH, LA.

DATE: 08-04-20
 CODE: 44
 PROJECT NO.: 2074
 AREA: 2074
 INDEX: 0725
 NO. OF SHEETS: 3500

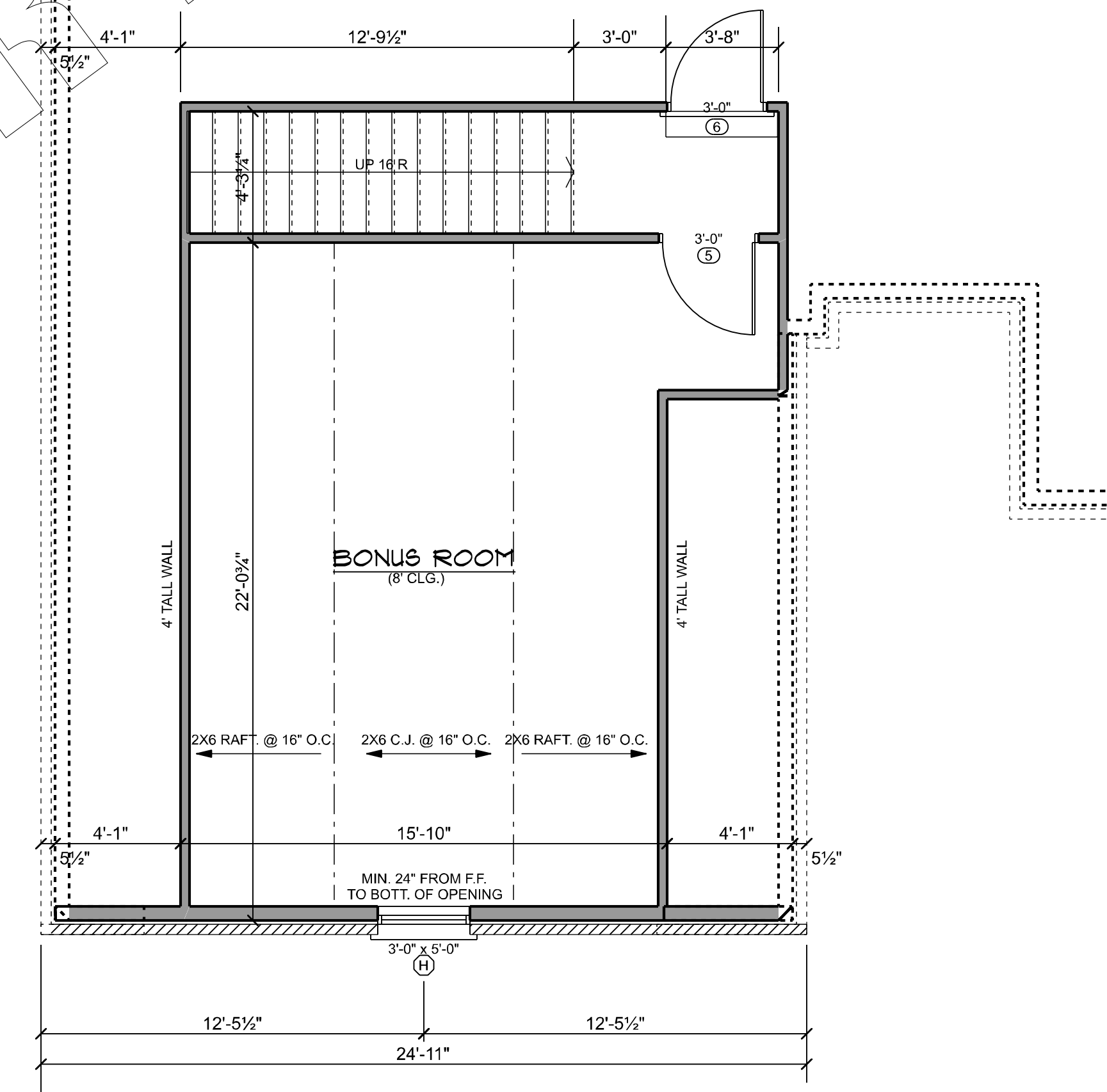
SHEET DESCRIPTION:
 FLOOR PLAN
 3 OF 9



FRAMING SECTION "B"
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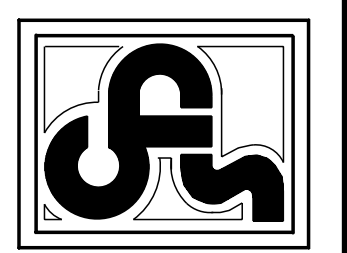


FRAMING SECTION "C"
SCALE = 1/4"=1'-0"

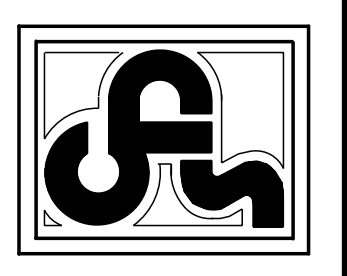


UPPER FLOOR PLAN
SCALE = 1/4"=1'-0"

NOTE
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ACCURACY AND OR CONSTRUCTION BEGINS.



PROJECT DESIGNERS:
CLARKE'S DESIGN SERVICE, LLC.
1537 THIRD STREET SLIDELL, LA 70458
WWW.CLARKEDESIGN.COM (985) 641-0531

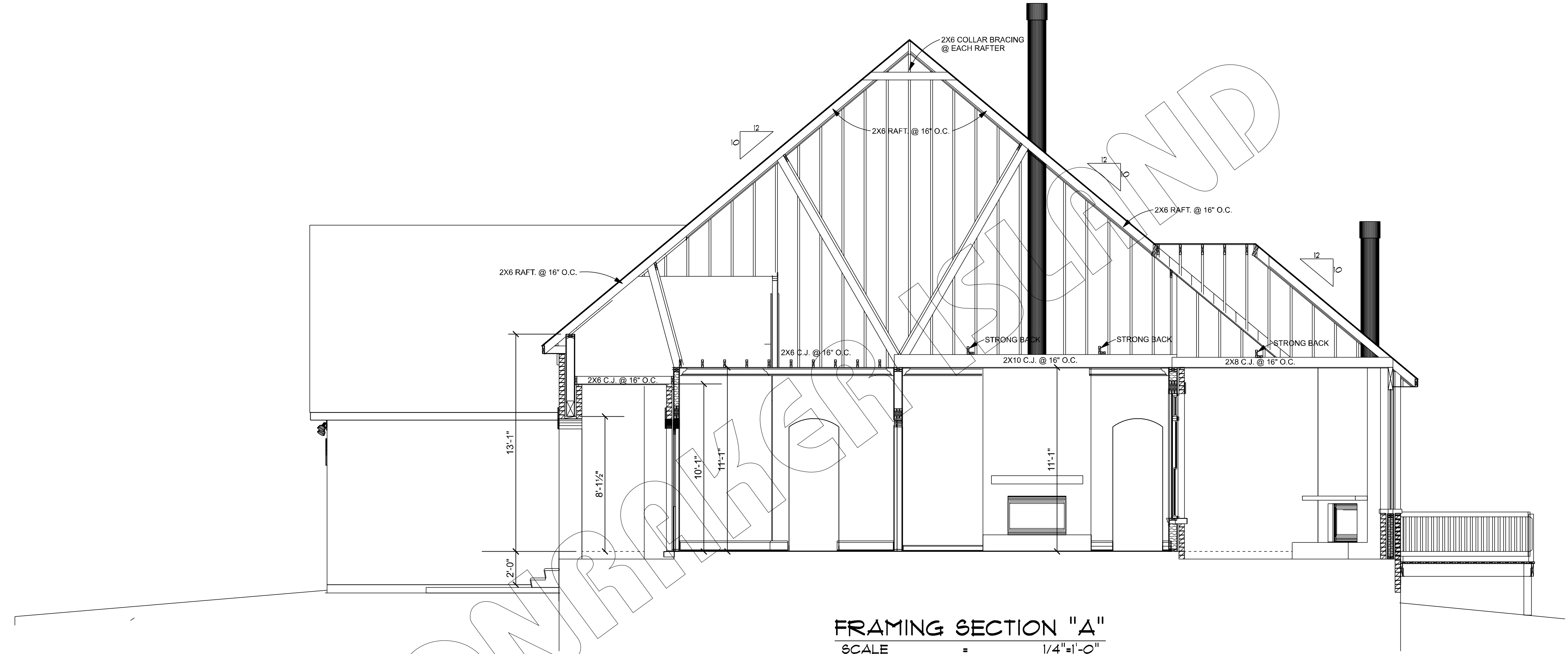


JOELLE & DALE DEBAUTTE
LOT 364, MOONRAKER ISLAND, PH. 3A
ST. TAMMANY PARISH, LA.

DATE	CODE	LIV AREA	AREA U.B.	INDEX
08-04-20	A4	- 2374	- 3363	- 6725

SHEET DESCRIPTION:
UPPER FLOOR & FRAMING A & C

© LOT 364, MOONRAKER ISLAND

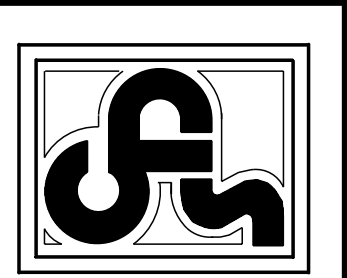


FRAMING SECTION "A"
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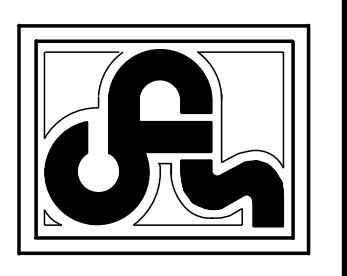


FRAMING SECTION "D"
SCALE = 1/4"=1'-0"

NOTE:
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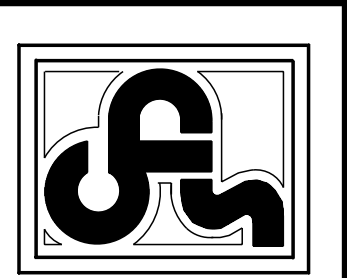


JOELLE & DALE DEBAUTTE
LOT 364, MOONRAKER ISLAND, PH. 3A
ST. TAMMANY PARISH, LA.

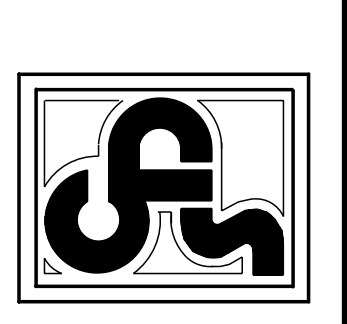
DATE	08-04-20	CODE	74	AREA	2374	PERM	3360	BOOK	8725
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SHEET DESCRIPTION:
FRAMING A & D

NOTE:
 ALL DESIGN HANDBOOKS MUST BE PREPARED BY THE CONTRACTOR. CONTRACTORS SHALL BE RESPONSIBLE FOR CHECKING THE PLANS FOR ACCURACY AND FOR CONSTRUCTION BEGINS.

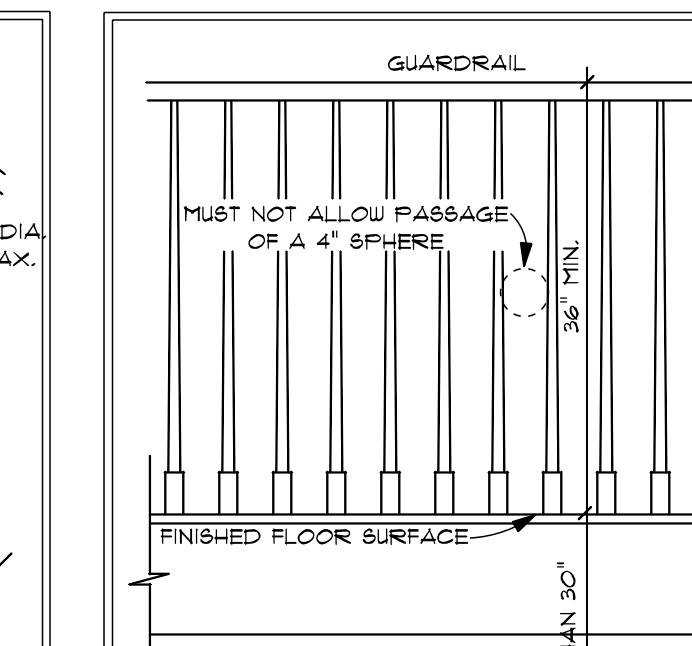
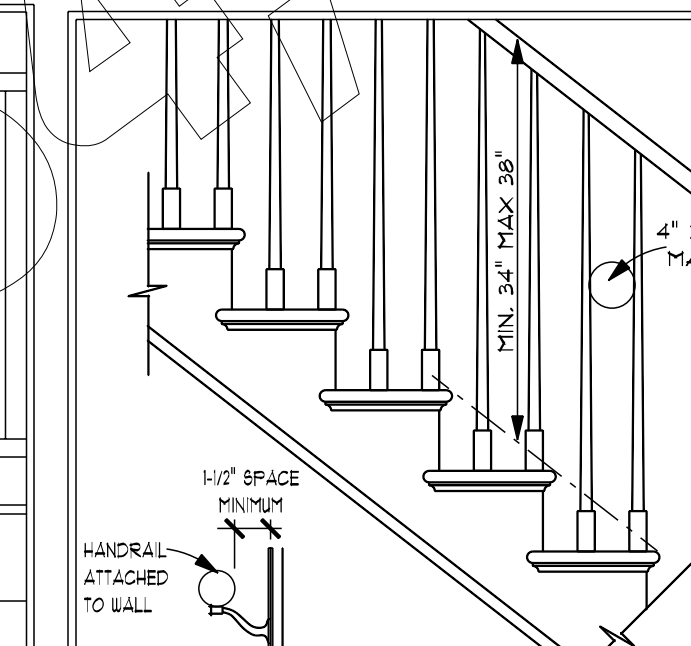
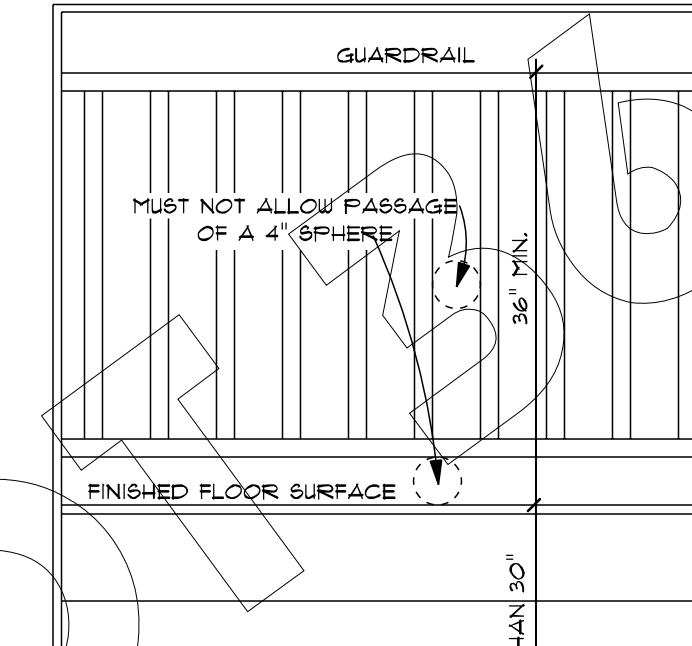
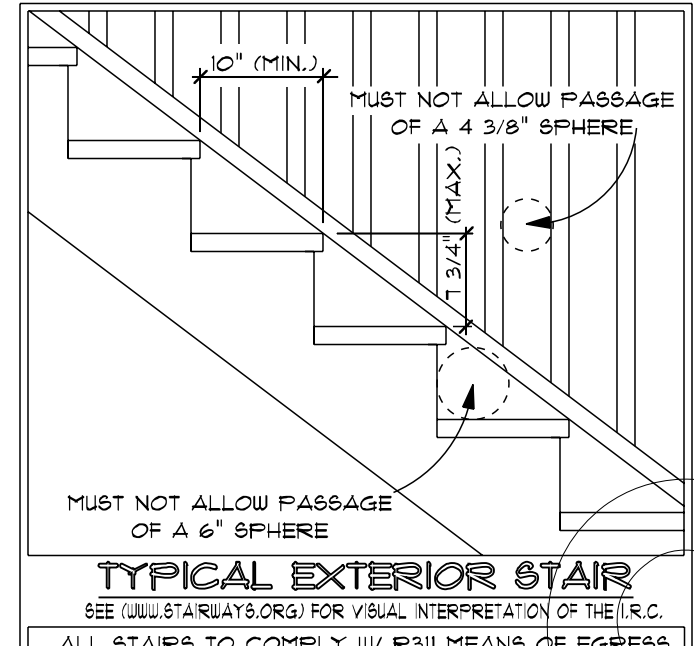
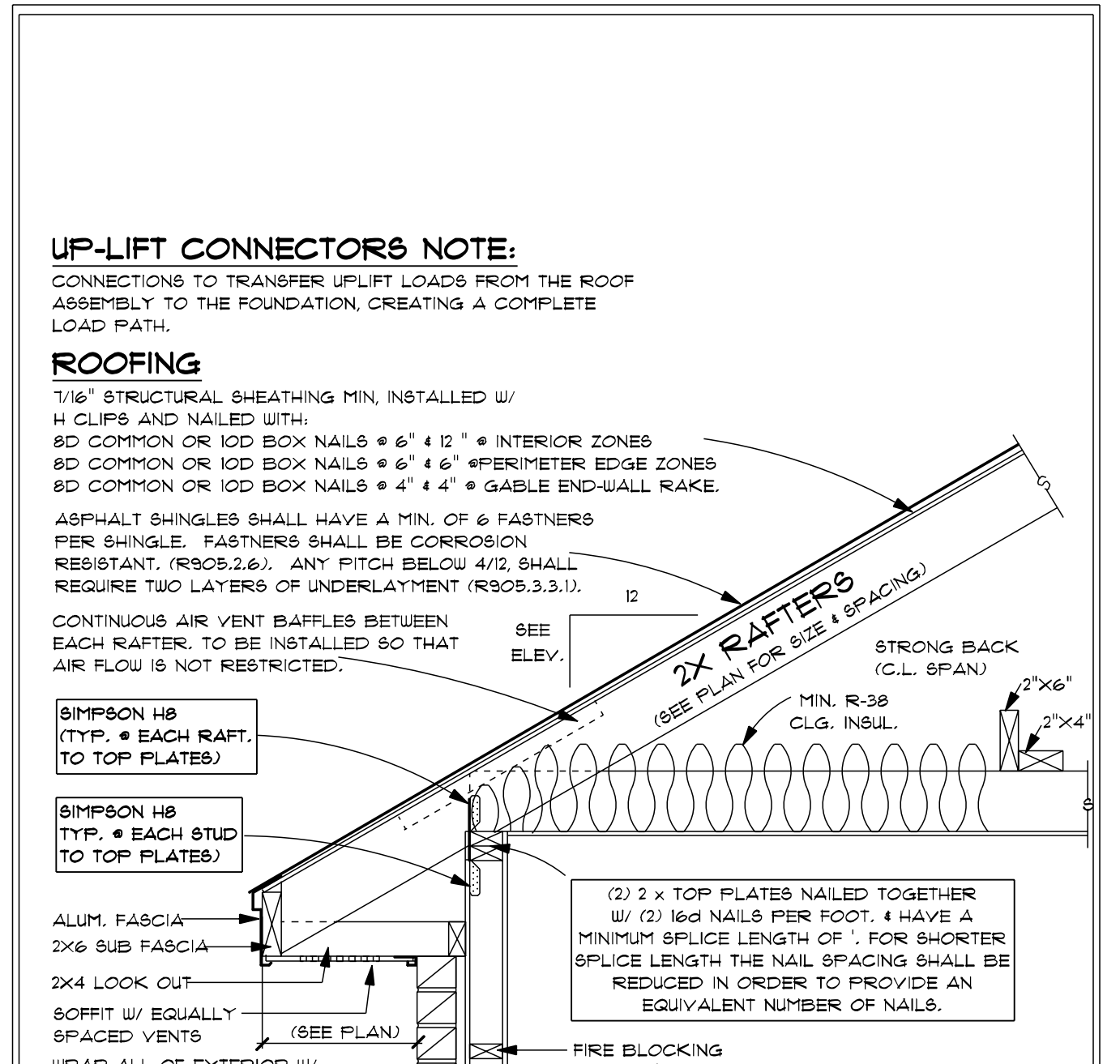
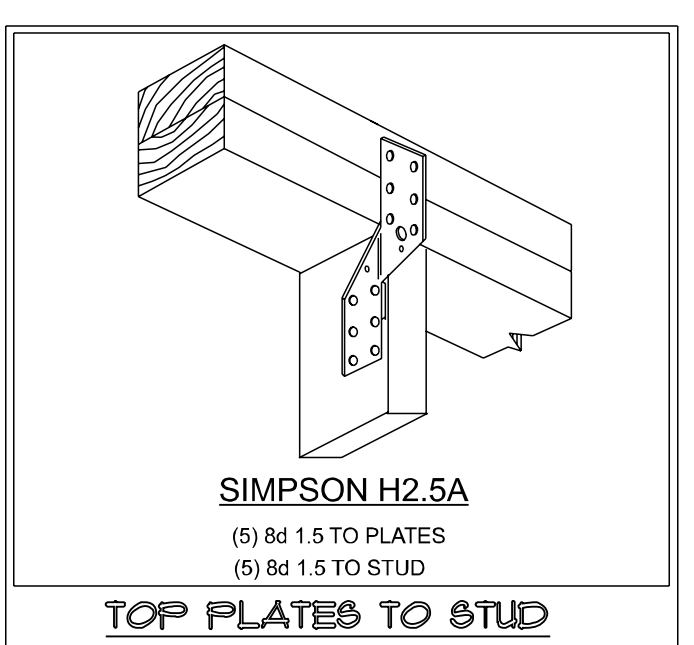
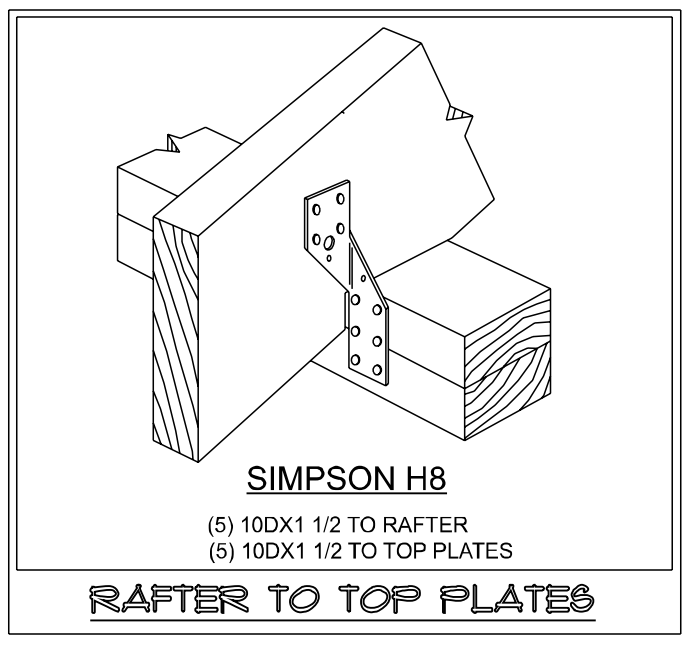
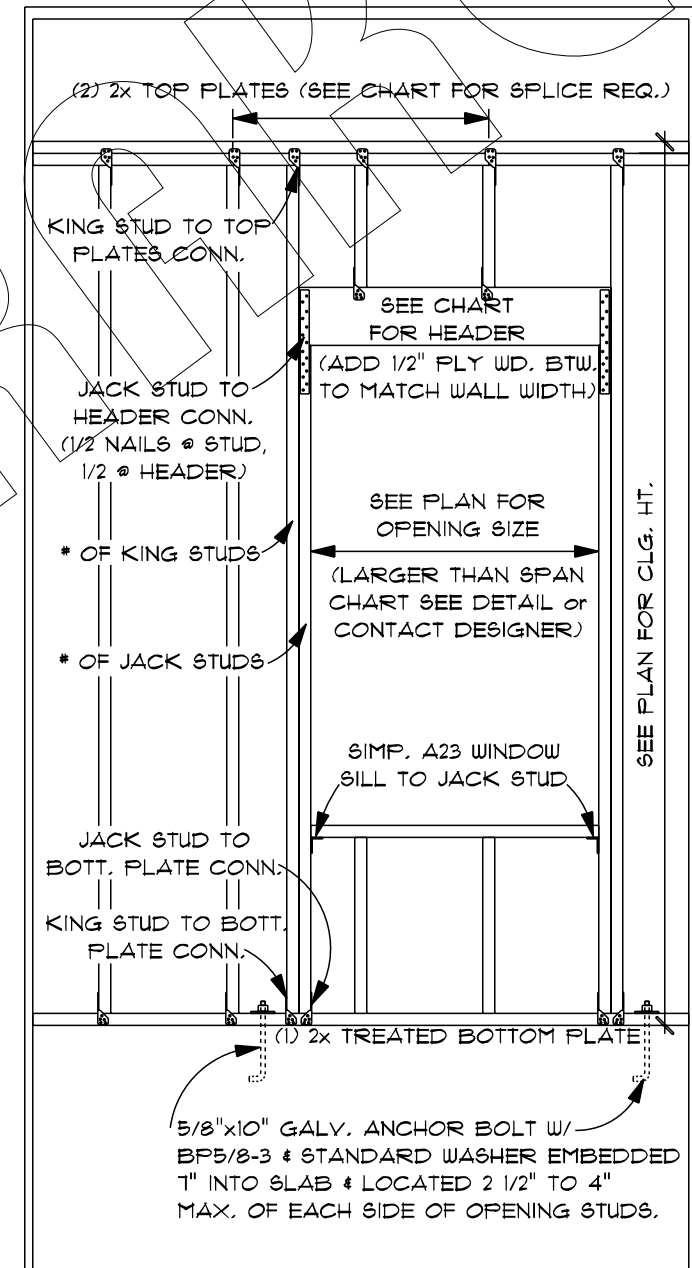
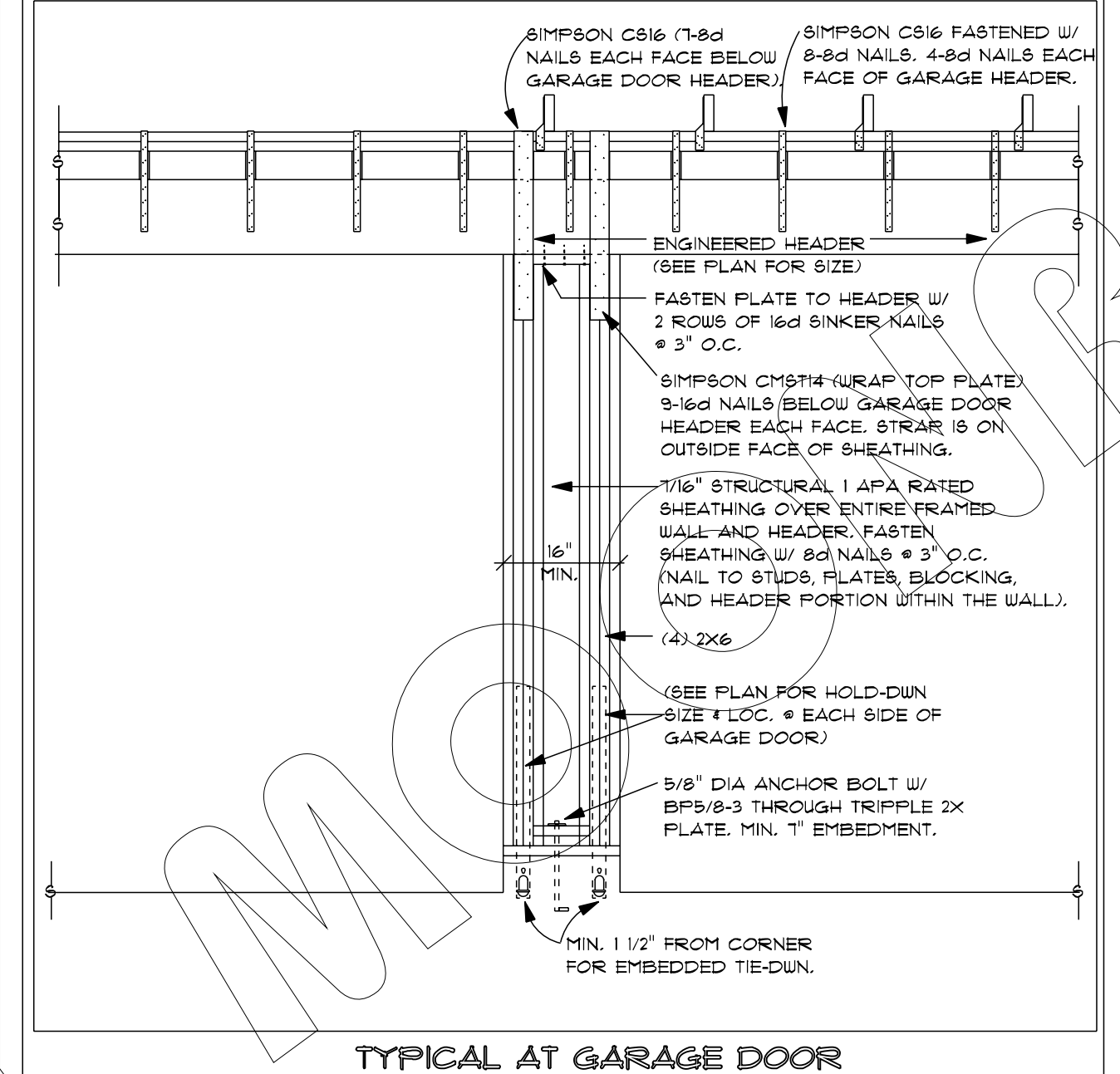
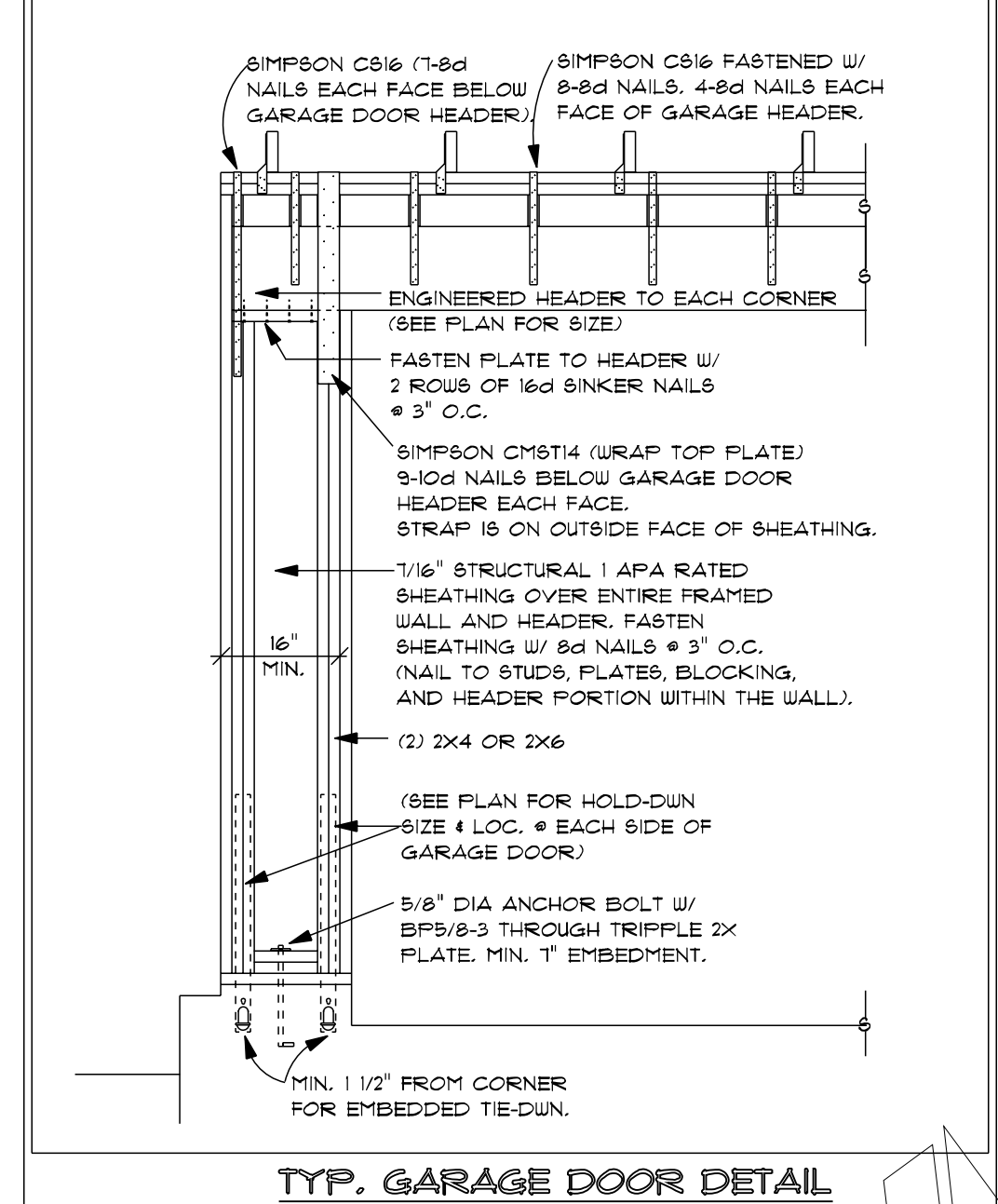
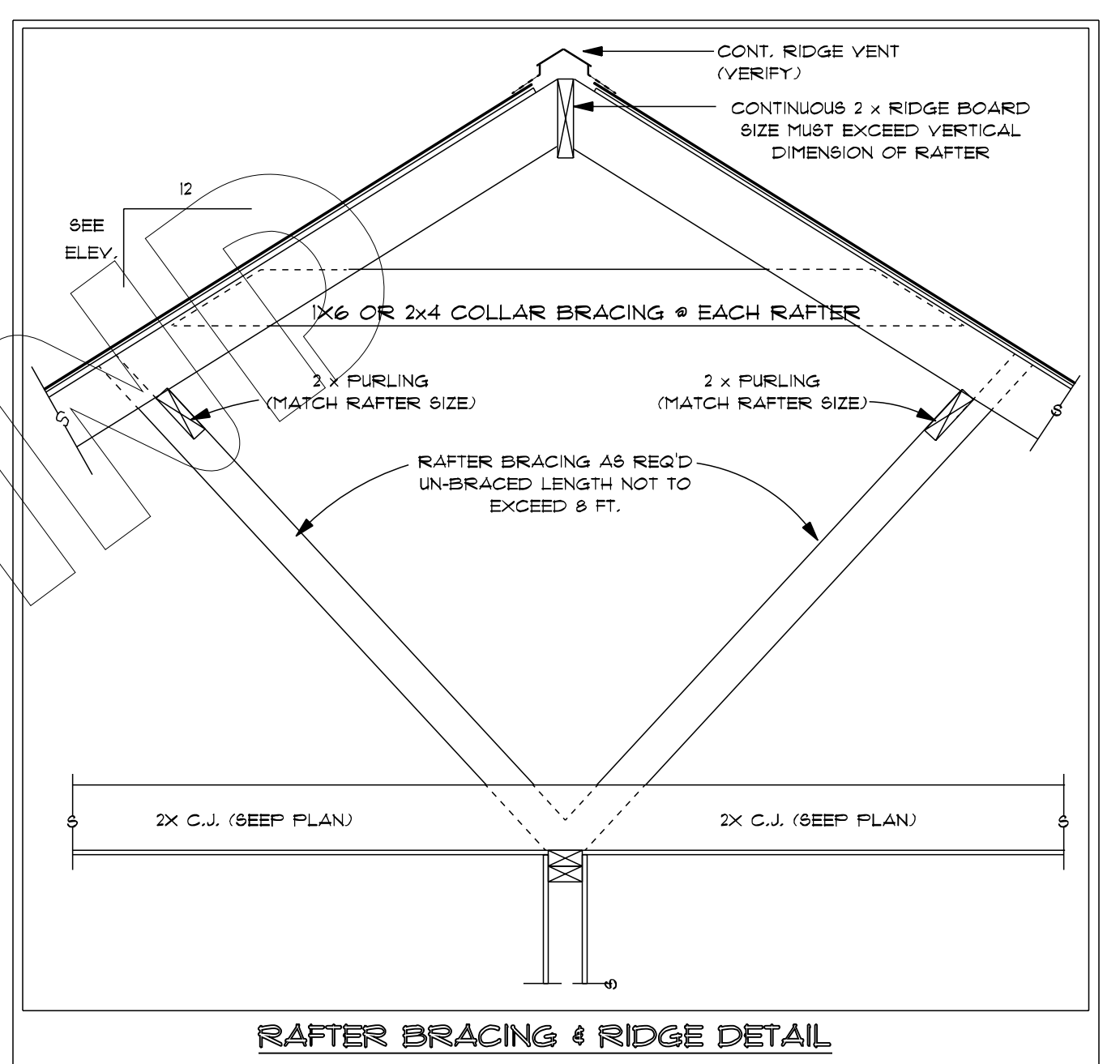
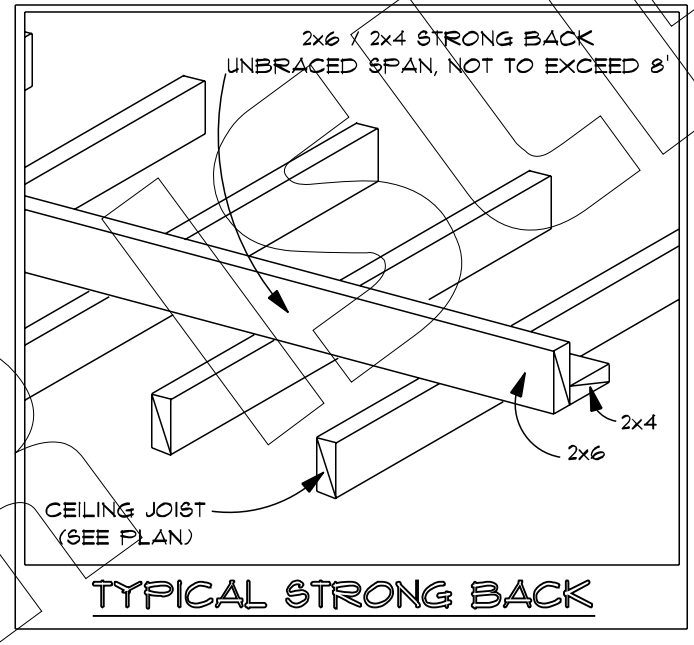
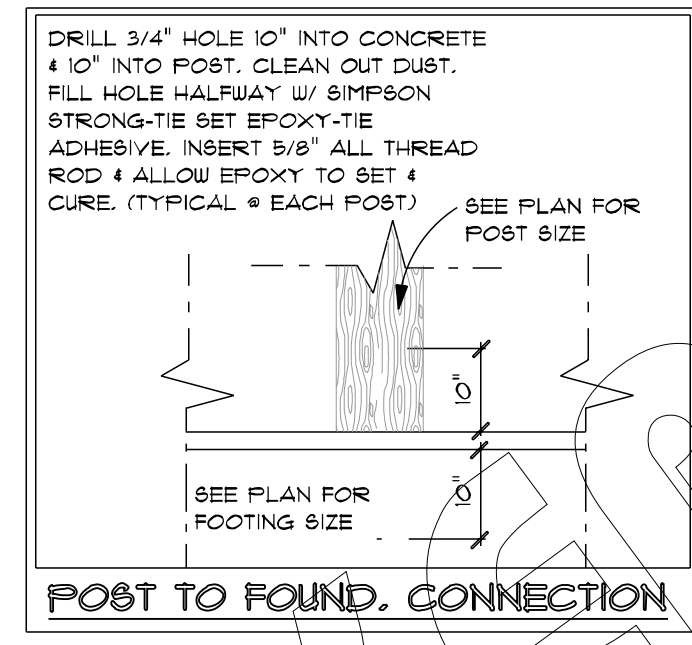
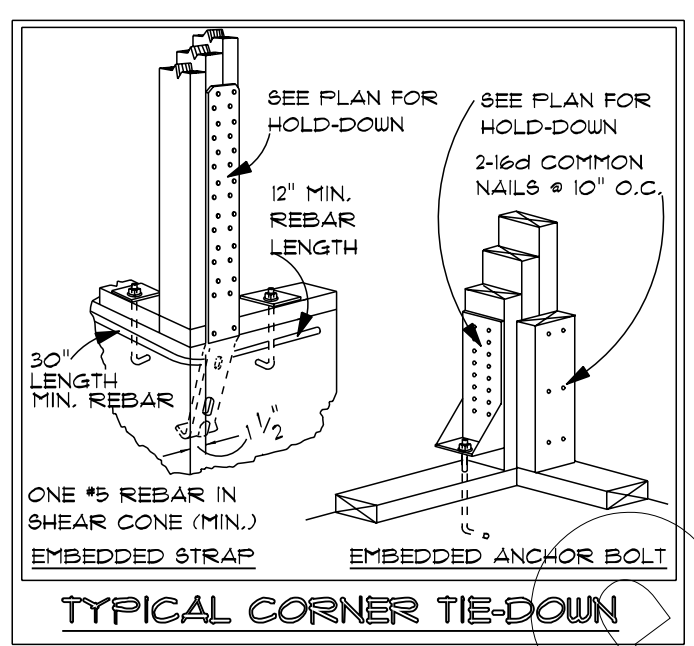
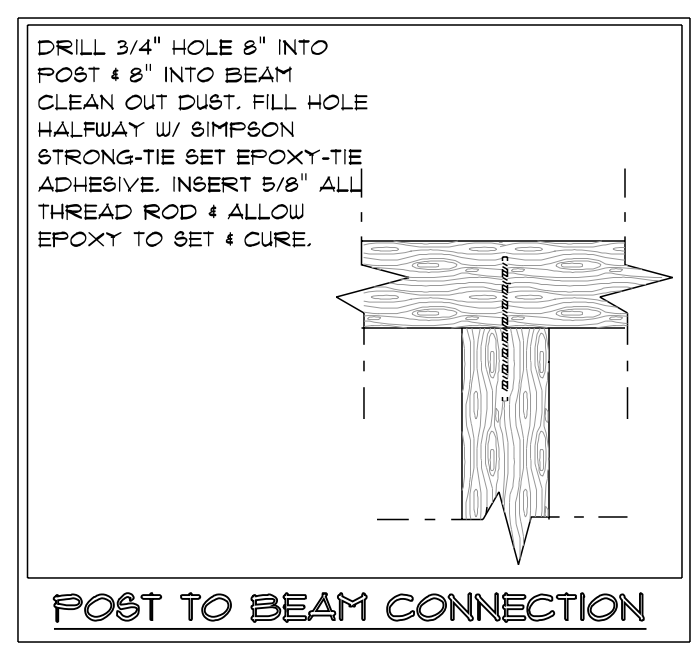


CLARKE'S DESIGN SERVICE, LLC.
 1537 THIRD STREET SLIDELL, LA 70458
 WWW.CLARKESDESIGN.COM (985) 641-0531



JOELLE & DALE DEBAUTTE
 LOT 364, MOONRAKER ISLAND, PH. 3A
 ST. TAMMANY PARISH, LA.

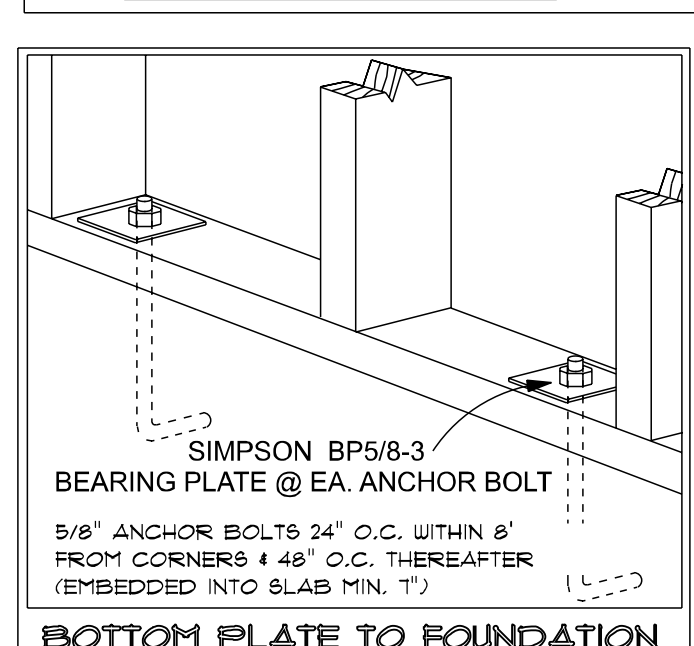
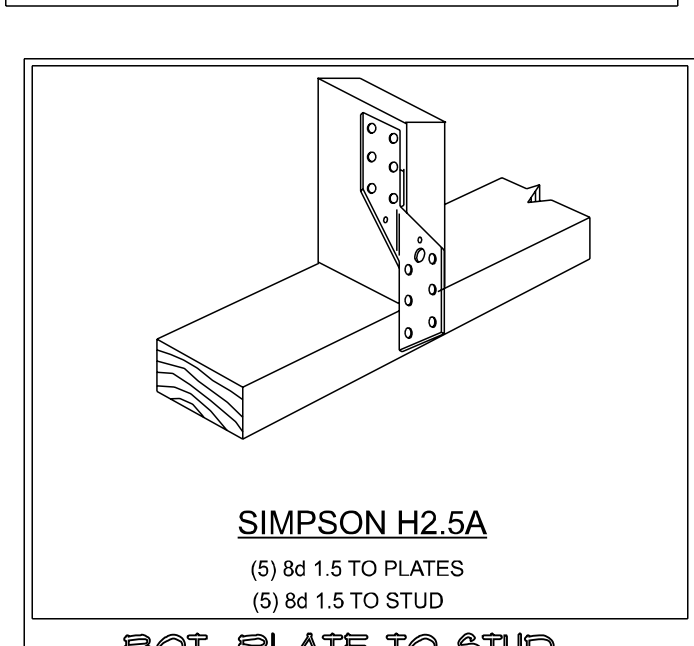
SHEET DESCRIPTION:
CONNECTION DETAILS



TYPICAL JOIST HANGERS

LUMBER SIZE	FLR. / C.I.	CONCEALED HANGER	HEAVY DUTY FLANGE	HEAVY DUTY HANGER
2x6	LU826	LC26Z	HU26Z (2700)	16d
DOUBLE 2x6	LU826-2	LC26Z-2	HU26Z-2 (1785)	16d
2x8	LU828	LC28Z	HU28Z (2965)	16d
DOUBLE 2x8	LU828-2	LC28Z-2	HU28Z-2 (2085)	16d
2x10	LU830	LC30Z	HU30Z (4295)	16d
DOUBLE 2x10	LU830-2	LC30Z-2	HU30Z-2 (3635)	16d
2x12	LU832	LC32Z	HU32Z (5115)	16d
DOUBLE 2x12	LU832-2	LC32Z-2	HU32Z-2 (4275)	16d

NOTE: THE LISTED HANGERS ABOVE ARE JOIST HANGERS USED FOR STANDARD APPLICATION. EXTRA CORROSION RESISTANT HANGERS MAY BE AVAILABLE. A HANGER IS NOT TO BE USED FOR UNUSUAL CONDITIONS. DIFFERENT HANGERS MAY BE NEEDED WHEN DOWNWARD LOADS EXCEED THAT WHICH IS DISCUSSED IN THE HANGER MANUFACTURER'S LITERATURE TO BE INSTALLED IN ACCORDANCE WITH SIMPSON MANUF. REQUIREMENTS.



TYPICAL EXTERIOR STAIR
 SEE (WWW.STAIRWAYS.ORG) FOR VISUAL INTERPRETATION OF THE I.R.C.
 ALL STAIRS TO COMPLY W/ R311 MEANS OF EGRESS
 R311.5.1 WIDTH: STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN
 CLEAR ABOVE PERMITTED HANDRAIL & BELOW REQUIRED
 HEADROOM HT.
 R311.5.2 HEADROOM: MUST MAINTAIN MIN. 6'8" OF HEADROOM,
 MEASURED VERTICALLY FROM THE SLOPED PLANE ADJOINING
 THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE
 LANDING OR PLATFORM.
 R311.5.3 TREADS & RISERS: MAX. 1 3/4" MAX. RISER HT. 10" MIN.
 TREAD DEPTH, ENDERS' TREAD SHALL BE A MIN. 6" @ 10"
 MEASURED 1" BACK THE GREATEST RISER HT. OR TREAD DEPTH
 SHALL NOT EXCEED THE SMALLER BY MORE THAN 3/8"
 R311.5.4 LANDINGS FOR STAIRWAYS: THERE SHALL BE A FLOOR
 OR LANDING AT THE TOP & BOTTOM OF EACH STAIRWAY. 10" MAX.
 RISE BETWEEN FLOOR LEVELS @ LANDINGS. WIDTH OF LANDING
 SHALL MATCH STAIR WIDTH. MIN. 36" LANDING DEPTH IN
 DIRECTION OF TRAVEL.
 R311.5.6 HANDRAILS: HAND RAILS SHALL BE PROVIDED ON AT
 LEAST ONE SIDE OF EACH STAIR W/ FOUR OR MORE RISERS.
 HANDRAIL HEIGHT SHALL BE MIN. 34" @ MAX. 38" MEASURED
 FROM SLOPE PLANE OF TREAD NOSING OR RAMP SURFACE.

TYPICAL GUARD RAILING
 SEE (WWW.STAIRWAYS.ORG) FOR VISUAL INTERPRETATION OF THE I.R.C.
 ALL STAIRS TO COMPLY W/ R312 GUARDS
 R312.1 GUARDS: PORCHES, BALCONIES, RAMPS OR RAISED FLOOR
 SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR
 GRADE BELOW SHALL HAVE GUARDS MIN. 36" IN HEIGHT. OPEN
 SIDES OF STAIRS SHALL HAVE GUARDS MIN. 34" IN HEIGHT
 MEASURED FROM TREAD PLANE.
 R312.2 GUARD OPENING LIMITATIONS: REQUIRED GUARDS ON OPEN
 SIDES OF STAIRWAYS, RAISED FLOOR AREAS, BALCONIES &
 PORCHES SHALL HAVE GUARDS WHICH DO NOT ALLOW PASSAGE
 OF A 4" SPHERE (GUARDS @ SIDE OF STAIR MAX. 4 3/8" SPHERE).

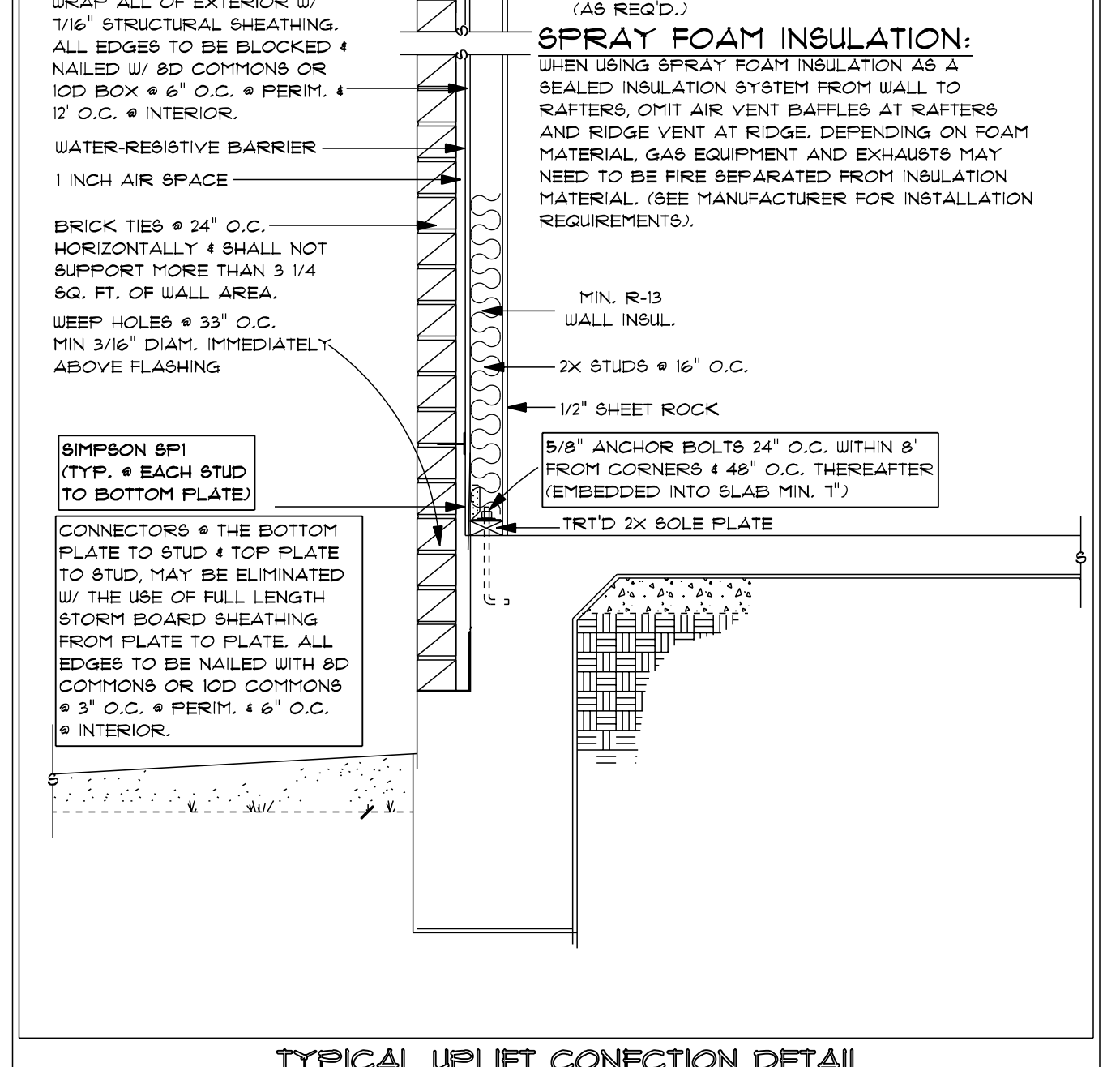
TYPICAL INTERIOR STAIR
 SEE (WWW.STAIRWAYS.ORG) FOR VISUAL INTERPRETATION OF THE I.R.C.
 ALL STAIRS TO COMPLY W/ R311S
 R311.5.1 WIDTH: STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN
 CLEAR ABOVE PERMITTED HANDRAIL & BELOW REQUIRED
 HEADROOM HT.
 R311.5.2 HEADROOM: MUST MAINTAIN MIN. 6'8" OF HEADROOM,
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 ALL STAIRS TO COMPLY W/ R312 GUARDS
 R312.1 GUARDS: PORCHES, BALCONIES, RAMPS OR RAISED FLOOR
 SURFACES LOCATED MORE THAN 30" ABOVE THE FLOOR OR
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 SIDES OF STAIRS SHALL HAVE GUARDS MIN. 34" IN HEIGHT
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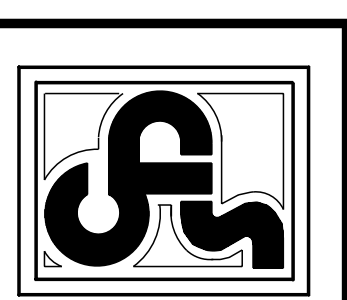
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DOUBLE 2x12	LU832-2	LC32Z-2	HU32Z-2 (4275)	16d

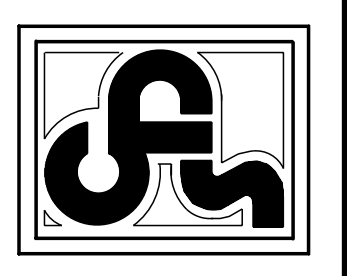
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NOTE:
 ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE BEGINNING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURACY AND OR CONSTRUCTION BEGINS.



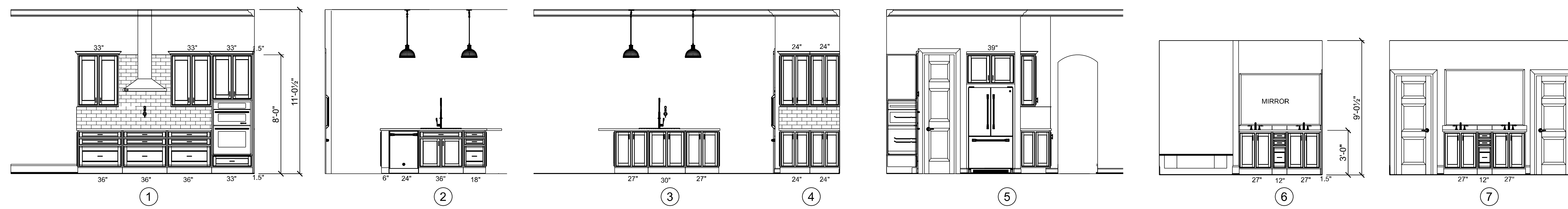
PROJECT DESIGNERS:
CLARKE'S DESIGN SERVICE, LLC.
 1537 THIRD STREET SLIDELL, LA 70458
 WWW.CLARKEDESIGN.COM (985) 641-0531



JOELLE & DALE DEBAUTTE
 LOT 364, MOONRAKER ISLAND, PH. 3A
 ST. TAMMANY PARISH, LA.

DATE: 08-04-20
 CODE: 74
 PLAN AREA: 2074
 AREA U.B.: 3565
 SHEET NO.: 0725

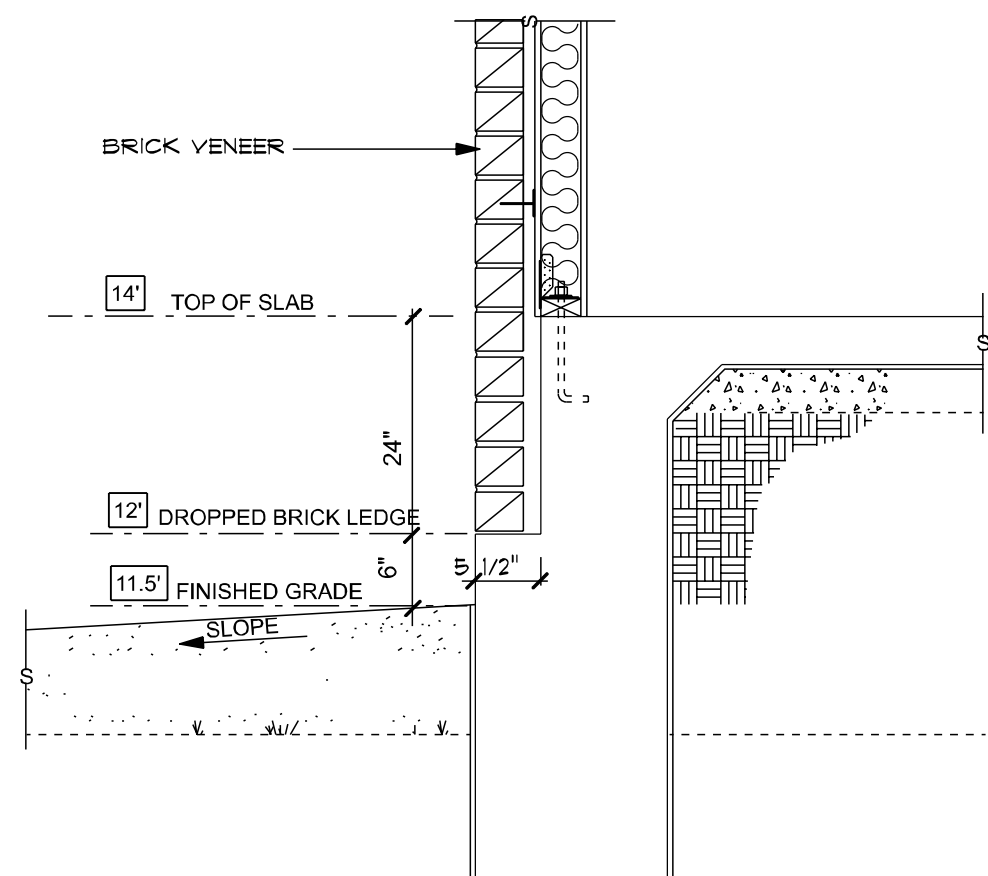
SHEET DESCRIPTION:
 CABINET ELEVATIONS
 8 OF 9



CABINET ELEVATIONS

SCALE = 1/4" = 1'-0"
 (CABINET SIZES MAY VARY DUE TO DISCREPANCIES IN ACTUAL BLDG. DIMENSIONS. SPACE FOR CABINETS SHALL BE MEASURED AFTER FRAMING AND CABINET LAYOUT SHALL BE MODIFIED ACCORDINGLY.)

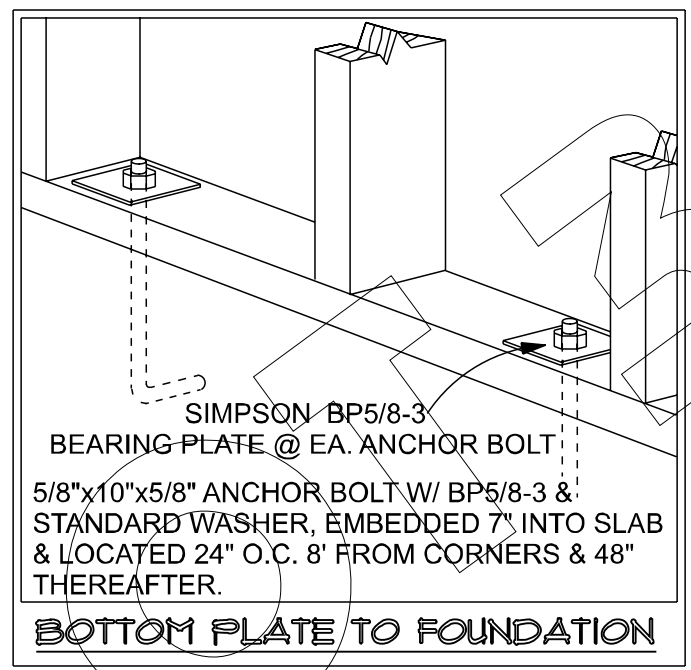




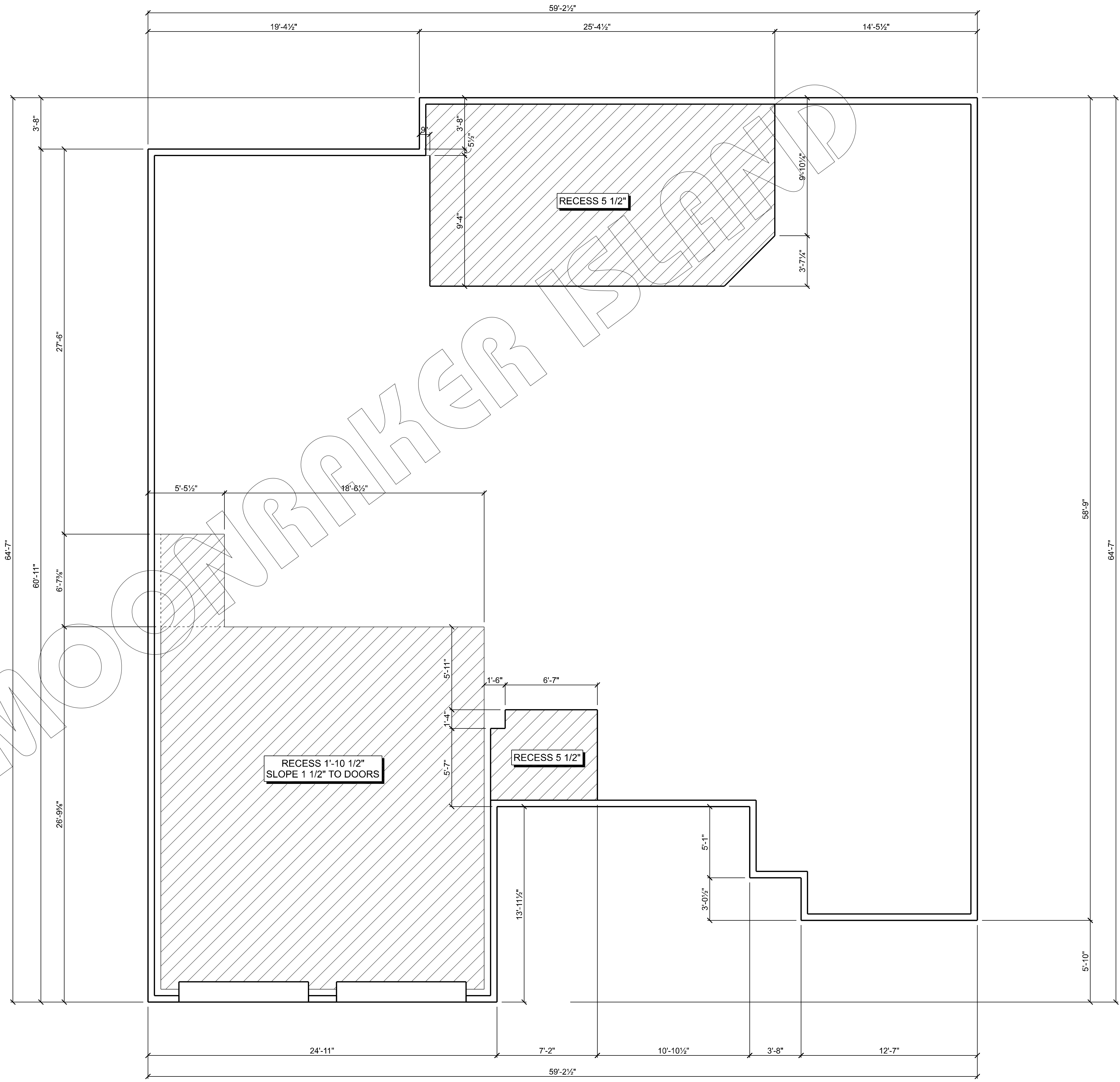
TYPICAL EXTERIOR BRICK

SCALE = 3/4"=1'-0"

NOTE:
SEE PLANS BY OTHERS FOR
ENGINEERED FOUNDATION

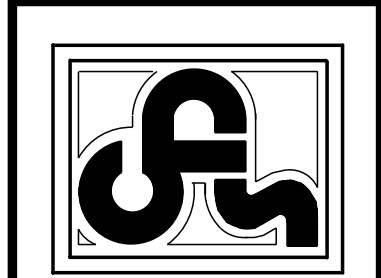


BOTTOM PLATE TO FOUNDATION

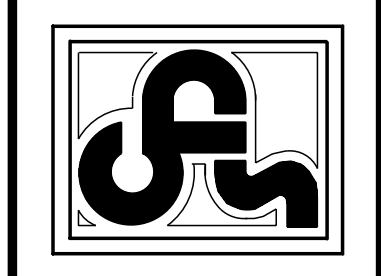


FORMSETTER PLAN
SCALE = 1/4"=1'-0"

NOTE:
THIS PLAN WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND I AM A LICENSED PROFESSIONAL ARCHITECT IN THE STATE OF MISSISSIPPI. I AM NOT PROVIDING CONTRACT ADMINISTRATION SERVICES. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR ACCURACY AND/OR COMPLETION OF CONSTRUCTION.



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JOELLE & DALE DEBAUTTE
LOT 364, MOONRAKER ISLAND, PH. 3A
ST. TAMMANY PARISH, LA.

DATE	CODE	LIV AREA	AREA U.B.	INDEX
08-04-20	A4	2374	3363	6725

SHEET DESCRIPTION:
FORMSETTER PLAN
9 OF 9