

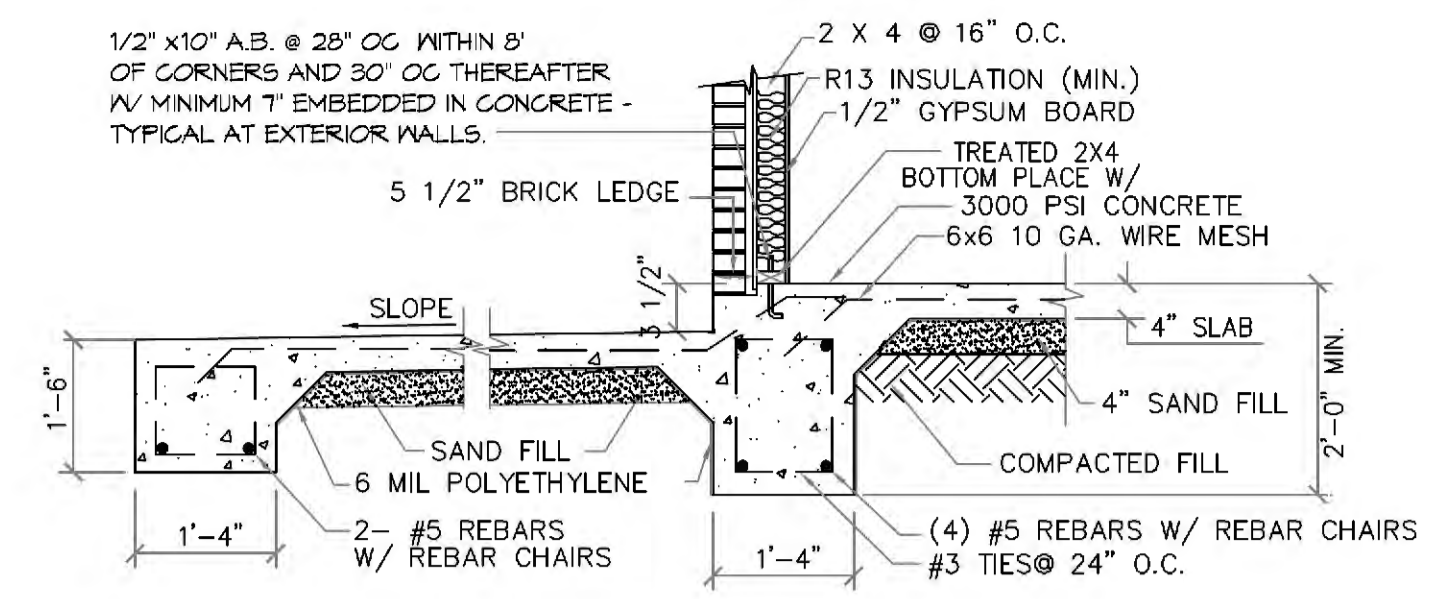
PLOT PLAN

SCALE: 1" = 30'-0"

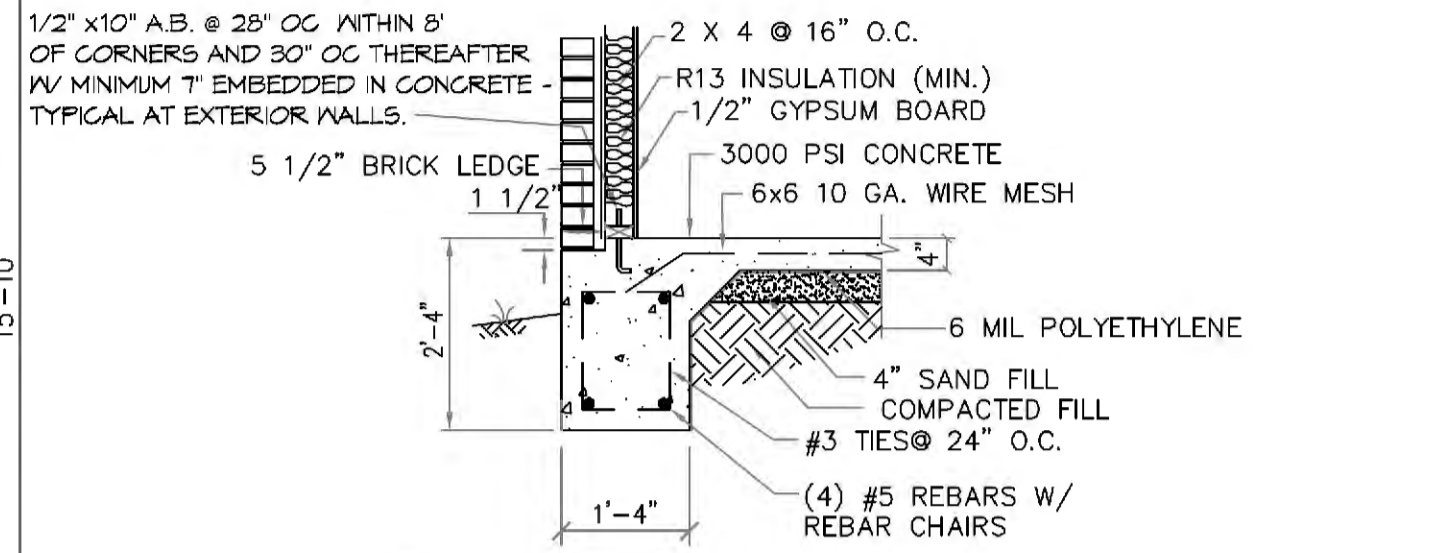
NOTE:
 CEILING JOISTS SPANS ARE BASED ON 2012 INTERNATIONAL RESIDENTIAL CODE (I.R.C.) SOUTHERN YELLOW PINE #2 LUMBER SPANS TABLE R802.4(2) (UNHABITABLE ATTICS WITH LIMITED STORAGE)
 HEADER SIZES SHOULD BE BASED ON I.R.C. 2012 - TABLE R502.5

DESIGN AND LAYOUT OF TRIM JOISTS TO BE PROVIDED BY TRIM JOIST MANUFACTURER
 NOTE: ALL LUMBER TO BE #2 SOUTHERN PINE

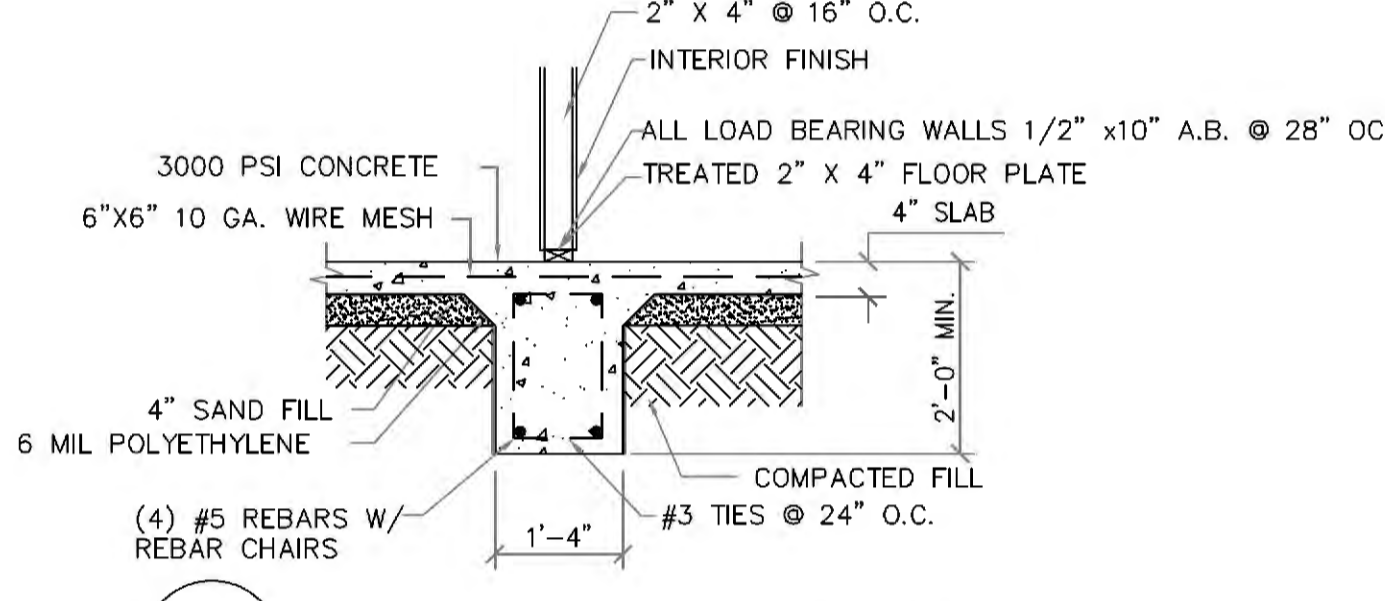
NOTE:
 ALL EXTERIOR GRADE BEAMS TO EXTEND BELOW UNDISTURBED SOIL A MINIMUM OF 12".



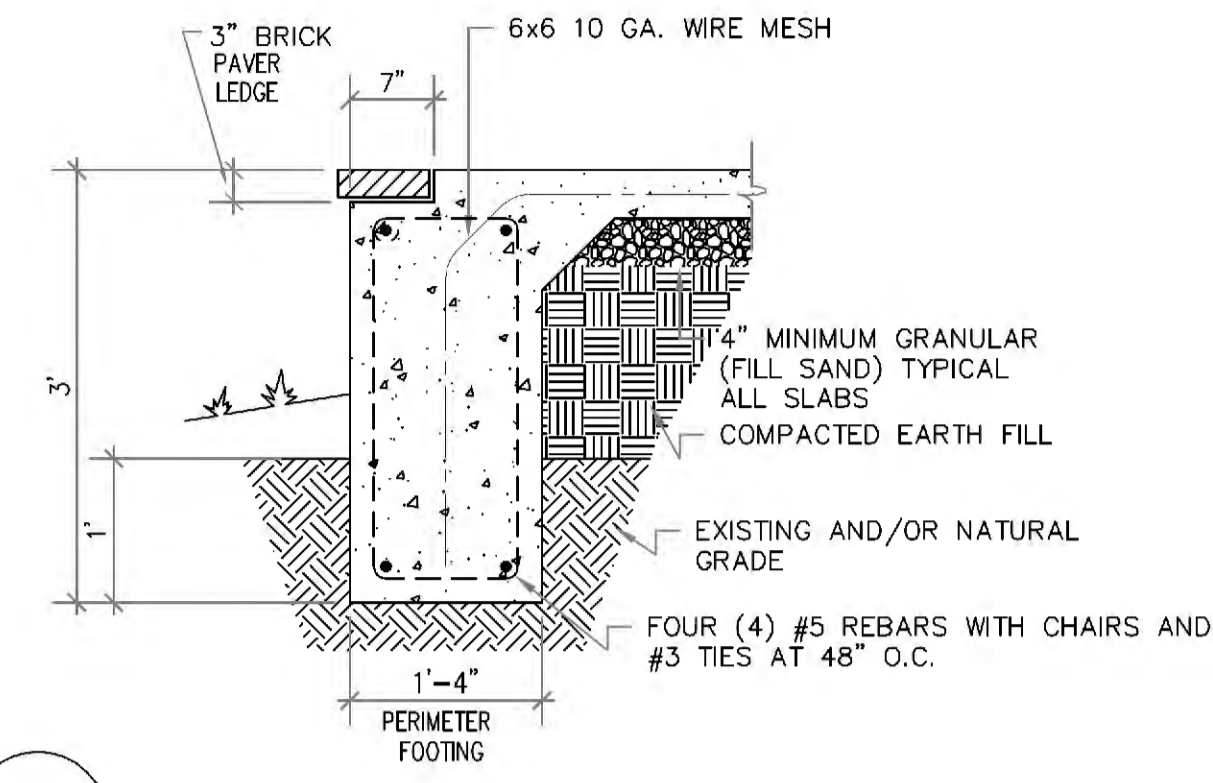
1 COVERED PORCH FOOTING
 SCALE: 1/2" = 1'
 BRICK EXT. WALL



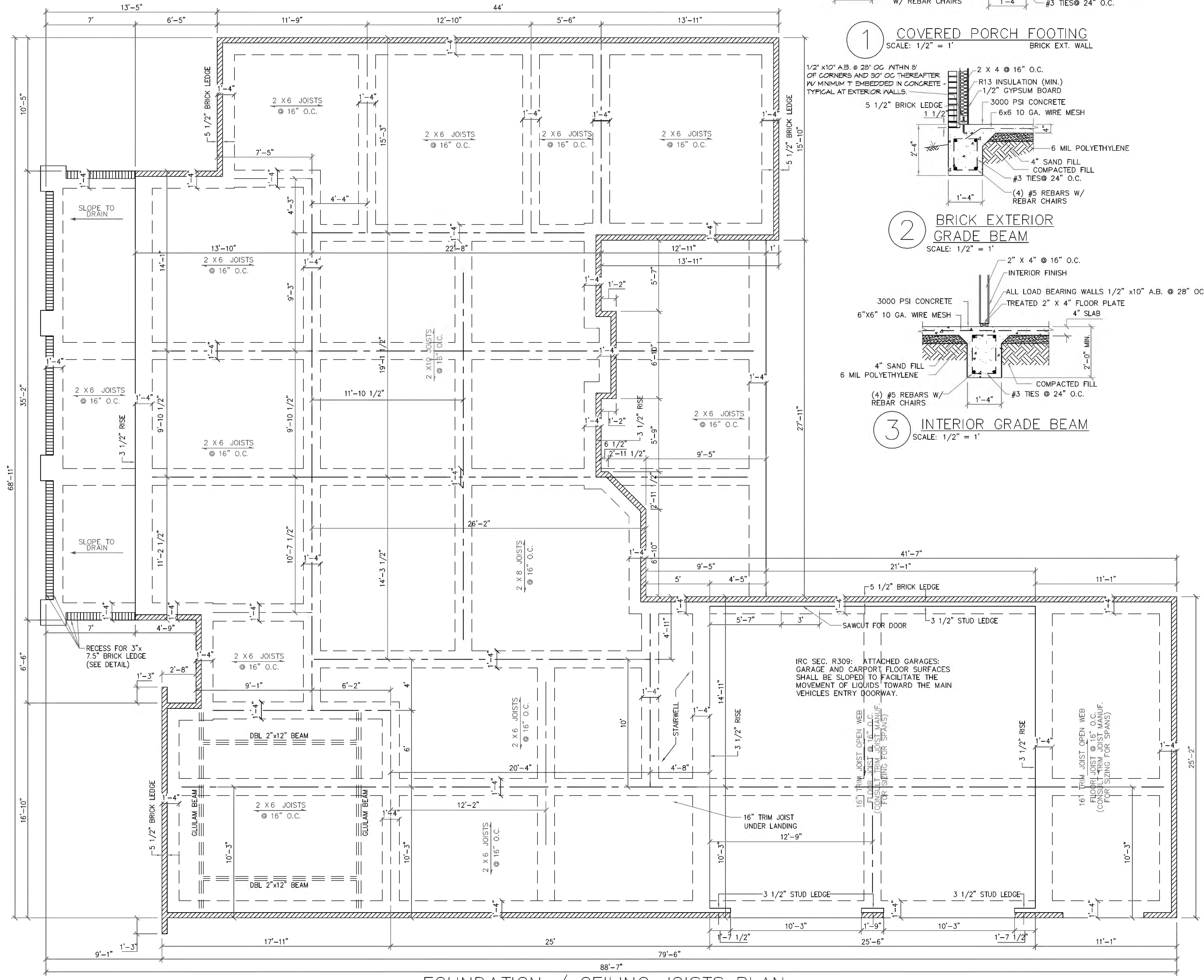
2 BRICK EXTERIOR GRADE BEAM
 SCALE: 1/2" = 1'



3 INTERIOR GRADE BEAM
 SCALE: 1/2" = 1'



4 FOOTING DETAIL - BRICK BAND
 SCALE: 1/2" = 1'



FOUNDATION / CEILING JOISTS PLAN
 SCALE: 1/4" = 1'-0"

CONCRETE NOTES:

- REFER TO BUILDING PLANS FOR DOOR OPENINGS AND EXACT DIMENSIONS.
- USE CONCRETE BRICK SUPPORTS TO MAINTAIN REINFORCING CLEARANCES. DO NOT USE CMU OR FACE BRICK.
- FOUNDATION DESIGN BASED ON A-4 FILL DIRT COMPACTED TO 95% DENSITY (ASTM D-1557). FILL PLACED @ 8" MAX. LIFTS.
- ALL CONCRETE SHALL DEVELOP 3,000 PSI COMPRESSIVE STRENGTH @ 28 DAYS. PLACE CONCRETE W/ MAXIMUM SLUMP OF 6". PROVIDE SLUMP TEST AND CYLINDERS AT BEGINNING AND MIDPOINT OF POUR.
- GRADE 40 DEFORMED REINFORCING.
- ASTM-185 WWF REINFORCING.
- APPLY A LIQUID MEMBRANE CURING CHEMICAL TO ALL CONCRETE SURFACES IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. W.R. GRACE PRODUCT OR EQUAL.
- CONTRACTOR SHALL COORDINATE ALL DOOR LOCATIONS AND OMIT NOTCHES ACCORDINGLY.
- 2" CLEARANCE FOR REBAR, SIDES AND BOTTOM.
- MINIMUM SLAB THICKNESS SHALL BE 4" ON HOUSE AND ANY SIDEWALKS INCLUDING DRIVEWAY.
- FINISH GRADE TO SLOPE AWAY FROM THE HOUSE.
- REFER TO ELECTRICAL PLAN FOR IN-SLAB WIRING AND OUTLET REQUIREMENTS.
- CONTRACTOR SHALL EXCAVATE ALL FOOTINGS TO SOLID, UNDISTURBED SOIL.
- SLABS AND FOOTINGS SHALL BE PLACED MONOLITHICALLY IN A CONTINUOUS POUR. CONSTRUCTION JOINTS FOR THE PURPOSE OF POUR INTERRUPTION SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL BY THE OWNER.
- ALL DRIVEWAY POURS SHALL HAVE THE PROPER CONSTRUCTION AND CONTROL JOINTS AT A DISTANCE NO GREATER THAN 15' WITH A JOINT DOWN THE CENTER. RADIUS BENDS SHALL HAVE A CONTROL JOINT AT THE CENTER OF THEM.

SITE PREPARATION NOTES:

- REMOVE TOP SOIL (6" TO 12") AND DELETERIOUS MATERIAL.
- PROOF ROLL SUBBASE WITH A LOADED 18 YARD DUMP TRUCK. REMOVE ALL "PUMPING AREAS."

FOUNDATION AND SITE WORK NOTES:

- CHECK ELECTRICAL PLAN FOR ANY CONDUIT OR FLOOR RECEPTACLES.
- TERMITE TREAT THE SOIL PRIOR TO POURING CONCRETE AND RETAIN CERTIFICATE FOR OWNER.
- GRADE LOT TO DRAIN AWAY FROM THE FOUNDATION A MINIMUM OF 6 INCHES IN THE FIRST 10 FEET.
- CARPENT AND FRONT PORCH BEAMS ARE NOT SHOWN FOR CLARITY PURPOSES.
- CONTRACTOR SHALL EXCAVATE ALL FOOTINGS TO SOLID, COMPACTED, UNDISTURBED FILL MEETING 90% MODIFIED PROCTOR AS TESTED.
- ALL WELDED WIRE FABRIC SHALL BE 6X6 10/10 WWF.
- POLYETHYLENE VAPOR BARRIER SHALL BE 6 MIL THICKNESS.

#	DESCRIPTION	REVISIONS	DATE



FOUNDATION AND SITE WORK
ALAN & LAURA ALVAREZ
 555 NORTH CALEB DRIVE
 SLIDELL, LA
 JOB NO: 2019 DATE: 05-30-2019
 DRAWN BY: CAD CHECKED BY: BMM

SHEET TITLE:
FOUNDATION PLAN
 DRAWING NUMBER:
S101
 SHEET No: 1 of 2

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RESIDENCE OF
ALAN & LAURA NOVAK
558 N. CALEB DRIVE
SLIDELL, LOUISIANA

Project
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1019 N. Range Ave., Suite C
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70726
Phone: (225) 791-2912
CUSTOM HOME PLANS
Website: www.maddenhomedesign.com
Plans Drawn By Steven Madden
Professional Building Designer

Project No.: The Tuscaloosa
DATE: May 24, 2018
DRAWN BY: Steven Madden
DESIGNED BY: Steven Madden
REVISED:

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Sheet Title

FLOOR PLAN

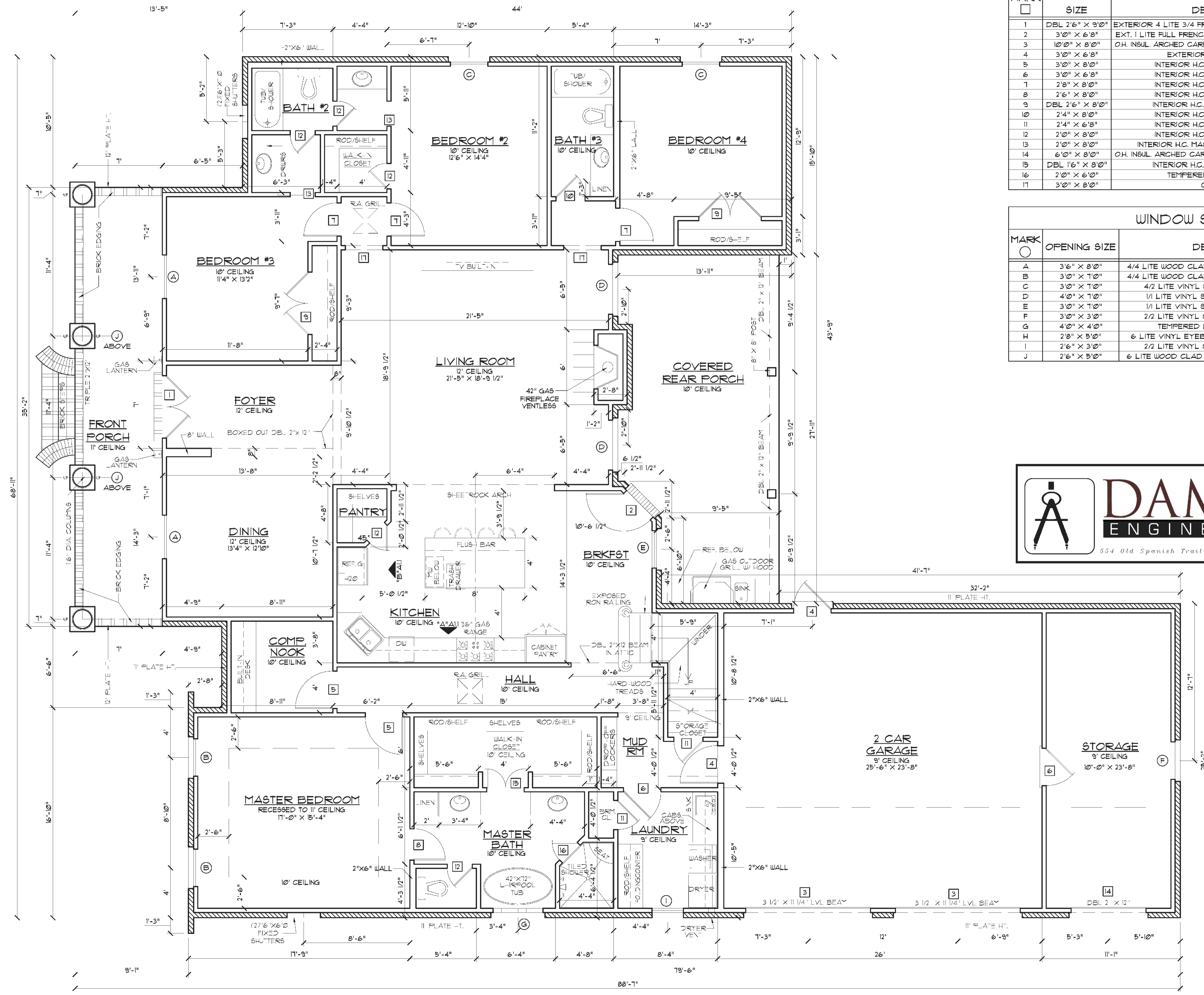
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DOOR SCHEDULE			
MARK	SIZE	DESCRIPTION	QTY.
1	DBL 2'6" X 8'0"	EXTERIOR 4 LITE 3/4 FRENCH SOLID WOOD EYEBROW DOORS	1 PAIR
2	3'0" X 6'8"	EXT. 1 LITE FULL FRENCH SOLID WOOD DOOR W/ 12" TRANSOM	1
3	10'0" X 8'0"	O.H. INSUL. ARCH'D CARRIAGE STYLE GARAGE DOOR W/ OPENER	2
4	3'0" X 6'8"	EXTERIOR METAL & PANEL DOOR	3
5	3'0" X 8'0"	INTERIOR H.C. MASONITE & PANEL DOOR	2
6	3'0" X 6'8"	INTERIOR H.C. MASONITE & PANEL DOOR	3
7	2'8" X 8'0"	INTERIOR H.C. MASONITE & PANEL DOOR	3
8	2'6" X 8'0"	INTERIOR H.C. MASONITE & PANEL DOOR	1
9	DBL 2'6" X 8'0"	INTERIOR H.C. MASONITE & PANEL DOORS	2 PAIR
10	2'4" X 8'0"	INTERIOR H.C. MASONITE & PANEL DOOR	1
11	2'4" X 6'8"	INTERIOR H.C. MASONITE & PANEL DOOR	3
12	2'0" X 8'0"	INTERIOR H.C. MASONITE & PANEL DOOR	5
13	2'0" X 8'0"	INTERIOR H.C. MASONITE & PANEL DOOR	2
14	6'0" X 8'0"	O.H. INSUL. ARCH'D CARRIAGE STYLE ROLL-UP GARAGE DOOR	1
15	DBL 16" X 8'0"	INTERIOR H.C. MASONITE & PANEL DOORS	1 PAIR
16	2'0" X 6'0"	TEMPERED GLASS SHOWER DOOR	1
17	3'0" X 8'0"	CASED OPENING	2

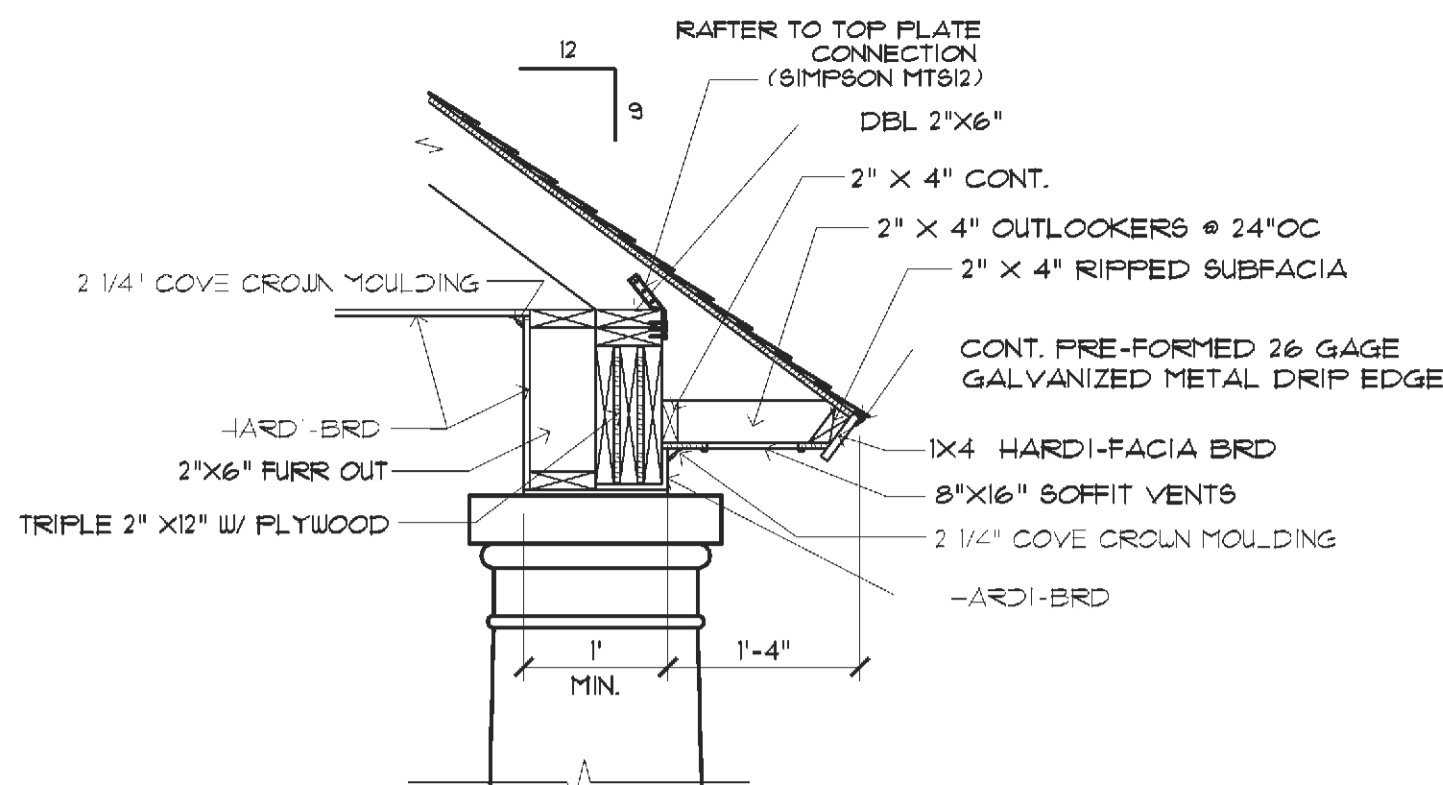
WINDOW SCHEDULE			
MARK	OPENING SIZE	DESCRIPTION	QTY.
A	3'6" X 8'0"	4/4 LITE WOOD CLAD S.H. EYEBROW INSULATED WINDOW	2
B	3'0" X 7'0"	4/4 LITE WOOD CLAD S.H. EYEBROW INSULATED WINDOW	2
C	3'0" X 7'0"	4/2 LITE VINYL SINGLE HUNG INSULATED WINDOW	2
D	4'0" X 7'0"	1/1 LITE VINYL SINGLE HUNG INSULATED WINDOW	2
E	3'0" X 7'0"	1/1 LITE VINYL SINGLE HUNG INSULATED WINDOW	1
F	3'0" X 3'0"	2/2 LITE VINYL SINGLE HUNG INSULATED WINDOW	1
G	4'0" X 4'0"	TEMPERED DECORATIVE GLASS - FIXED	1
H	2'8" X 5'0"	6 LITE VINYL EYEBROW CASEMENT INSULATED WINDOW	2
I	2'6" X 3'0"	2/2 LITE VINYL SINGLE HUNG INSULATED WINDOW	1
J	2'6" X 5'0"	6 LITE WOOD CLAD FIXED EYEBROW INSULATED WINDOW	2

SQUARE FOOTAGE	
1ST FLOOR LIVING	2855
BONUS ROOM	522
TOTAL LIVING	3351
FRONT PORCH	246
REAR PORCH	323
GARAGE/STORAGE	821
TOTAL SQ. FOOTAGE	4821

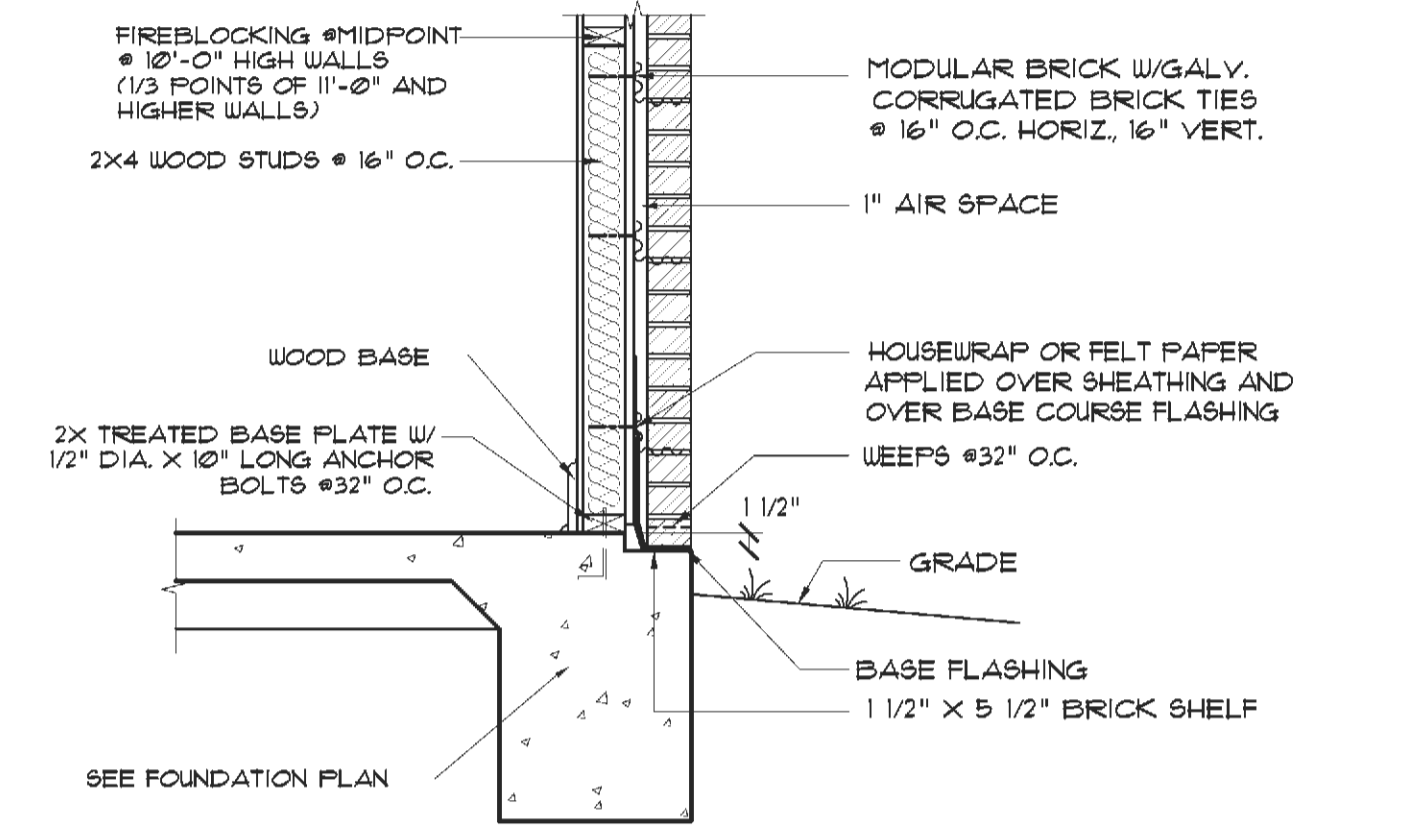
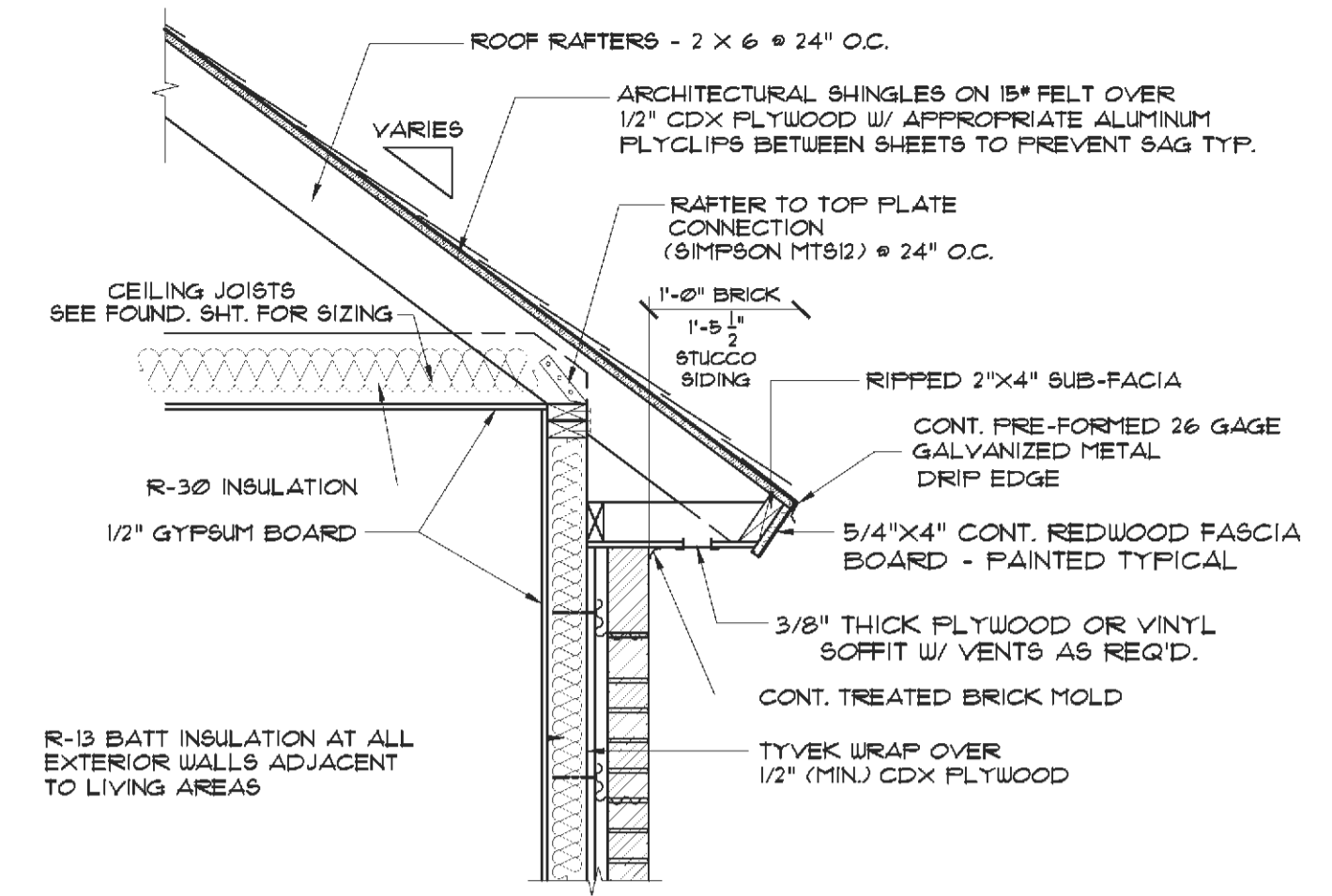
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554 Old Spanish Trail Slidell, LA 70458 (985) 649-5832



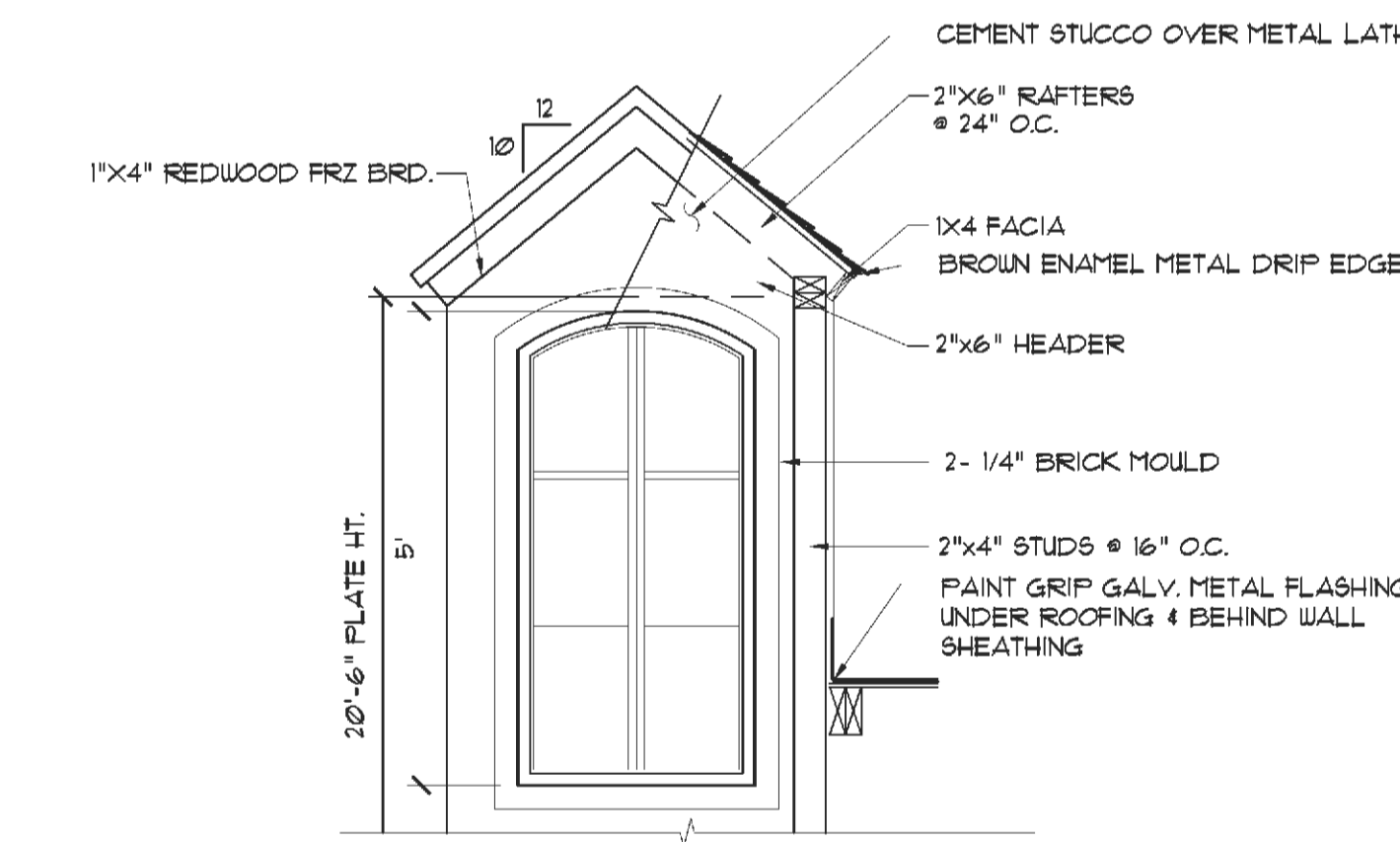
FLOOR PLAN
SCALE: 1/4" = 1'-0"



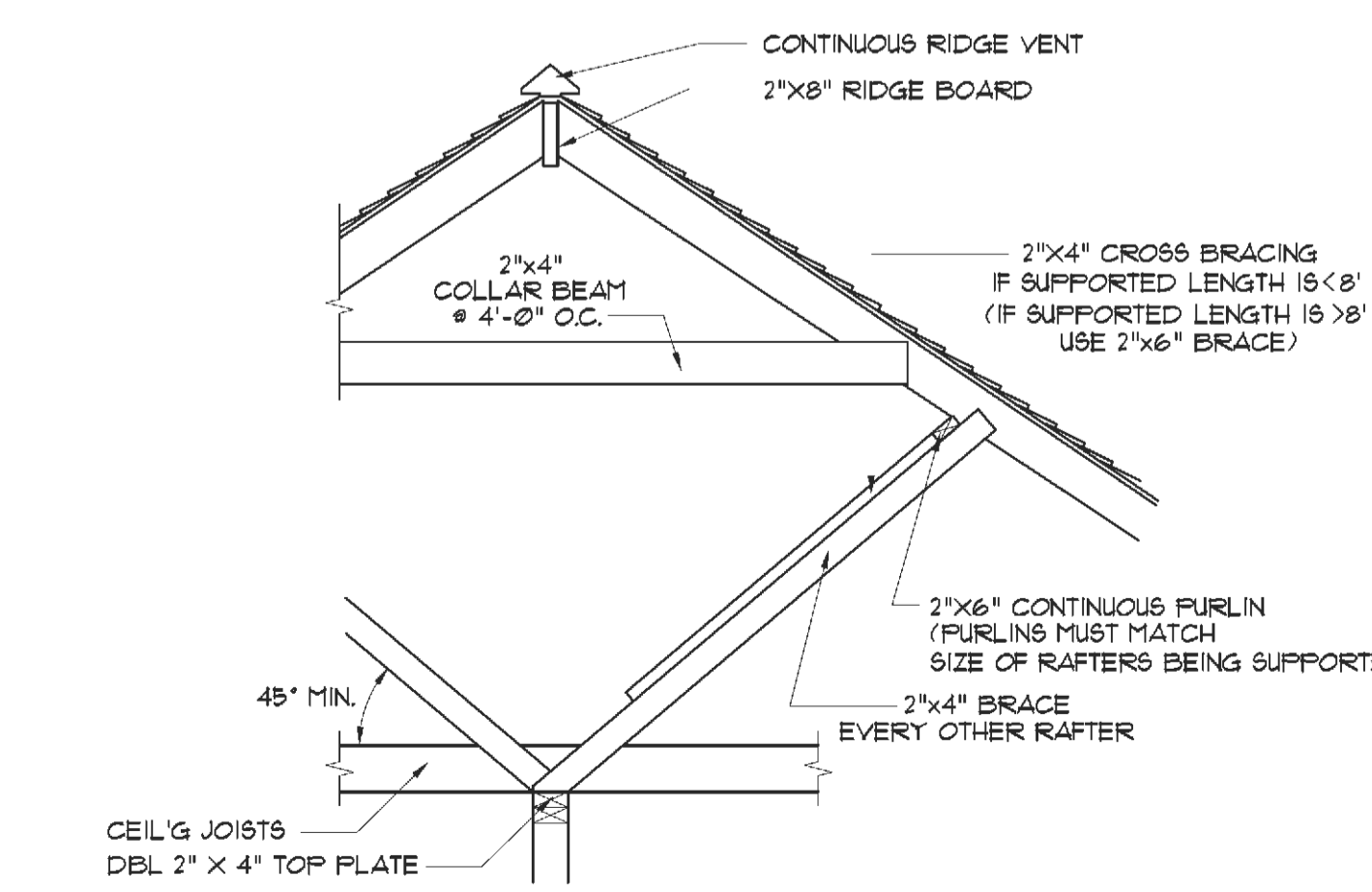
PORCH BEAM DETAIL
SCALE: 3/4" = 1'-0"



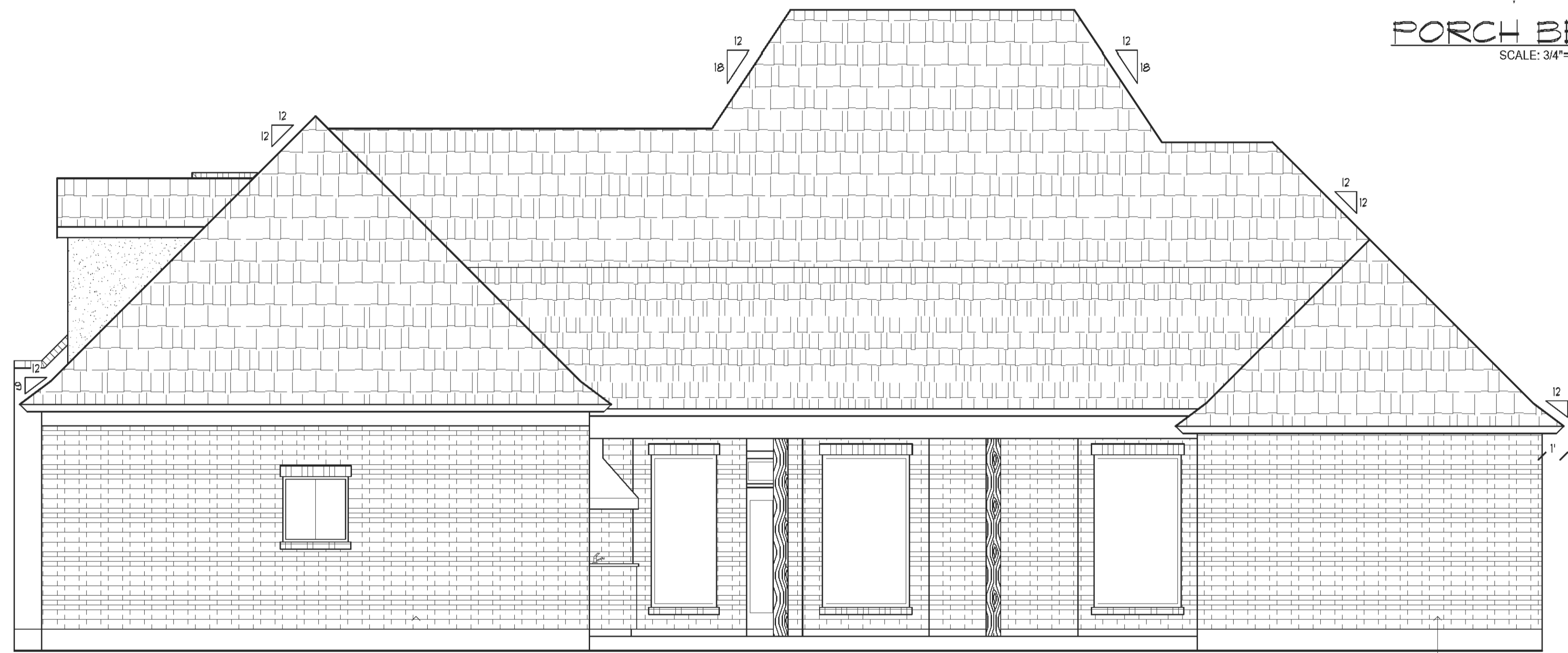
TYPICAL WALL SECTION - BRICK
SCALE: 3/4" = 1'-0"



DORMER DETAIL
SCALE: 1/2" = 1'



TYPICAL ROOF BRACING DETAIL
SCALE: 1/2" = 1'



REAR ELEVATION
SCALE: 1/4" = 1'-0"



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

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558 N. CALEB DRIVE
SLIDELL, LOUISIANA

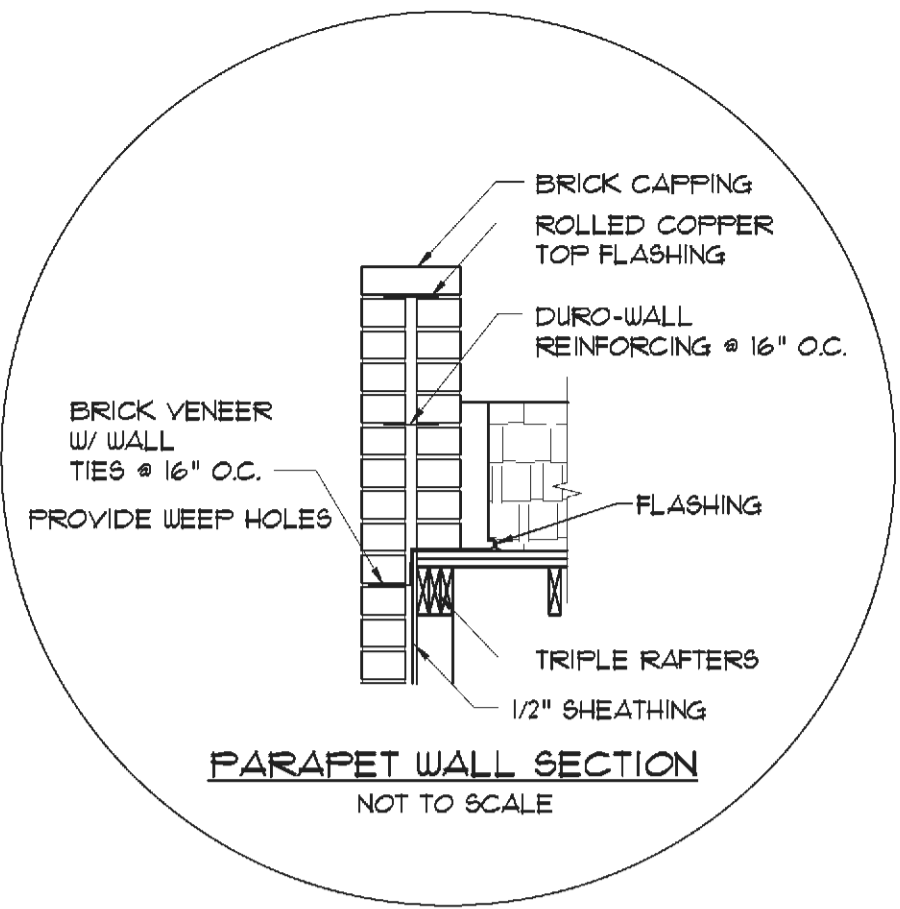
Project
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70726
Phone: (225) 791-2912
CUSTOM HOME PLANS
Website: www.maddenhomedesign.com
Plans Drawn By Steven Madden
Professional Building Designer

Project No.: The Tuscaloosa
DATE: May 24, 2018
DRAWN BY: Steven Madden
DESIGNED BY: Steven Madden
RLY GLD:

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Sheet Title
ELEVATIONS

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□ Preliminary Dwg.
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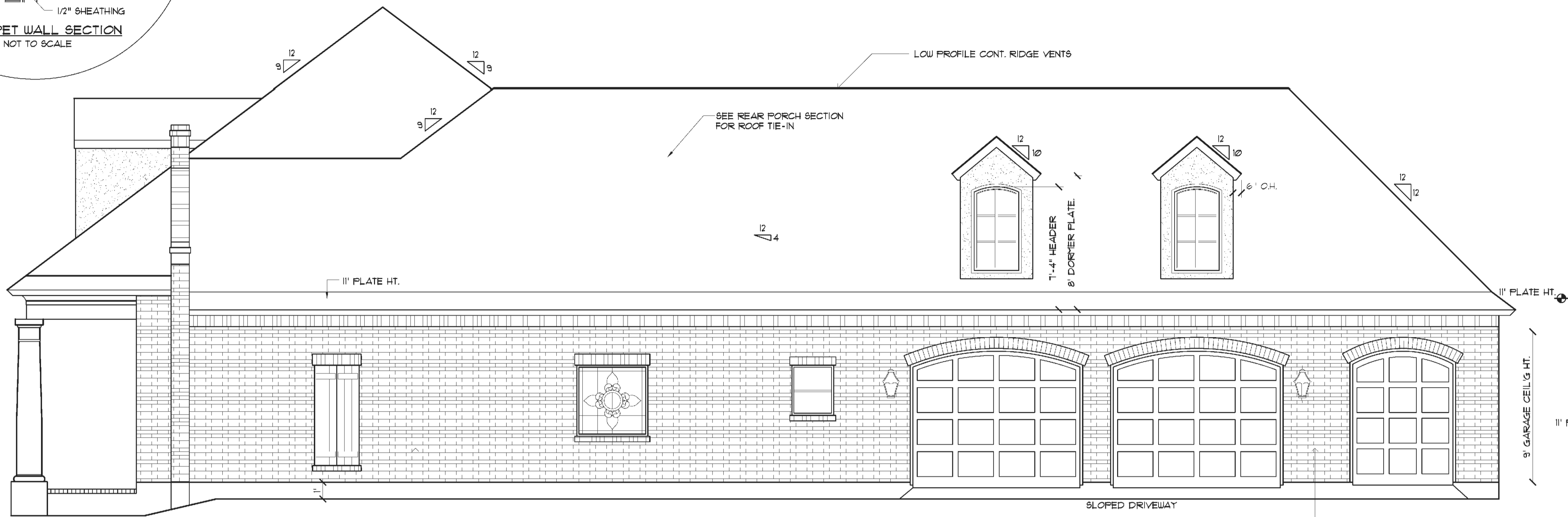
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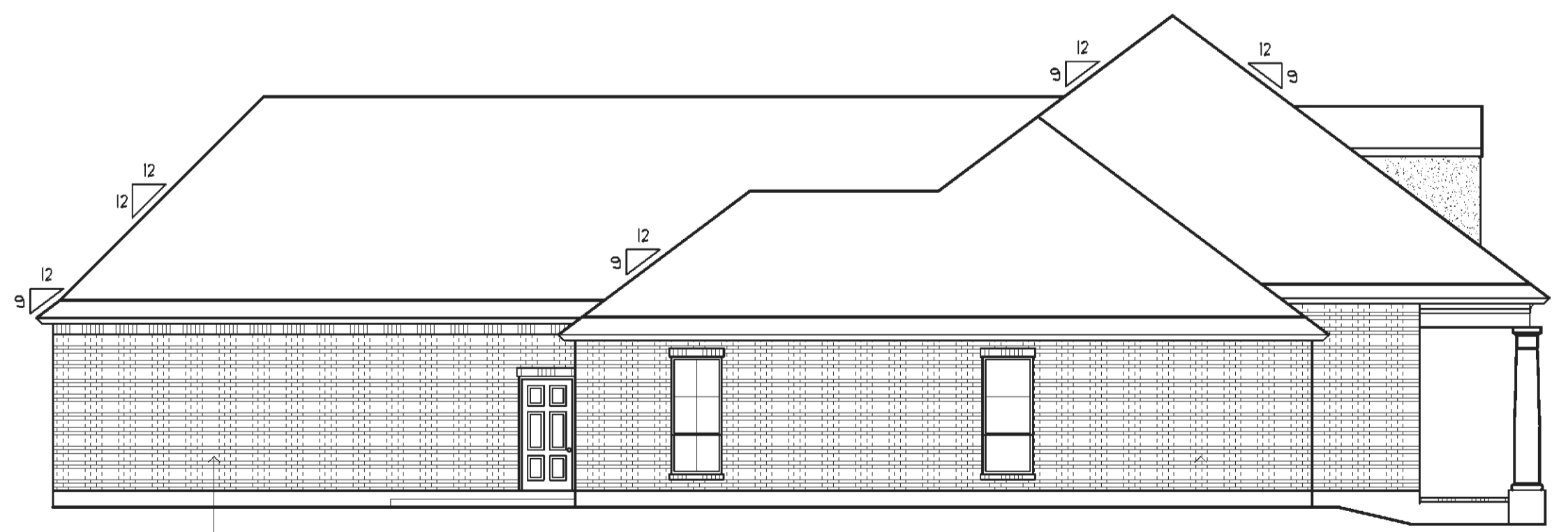
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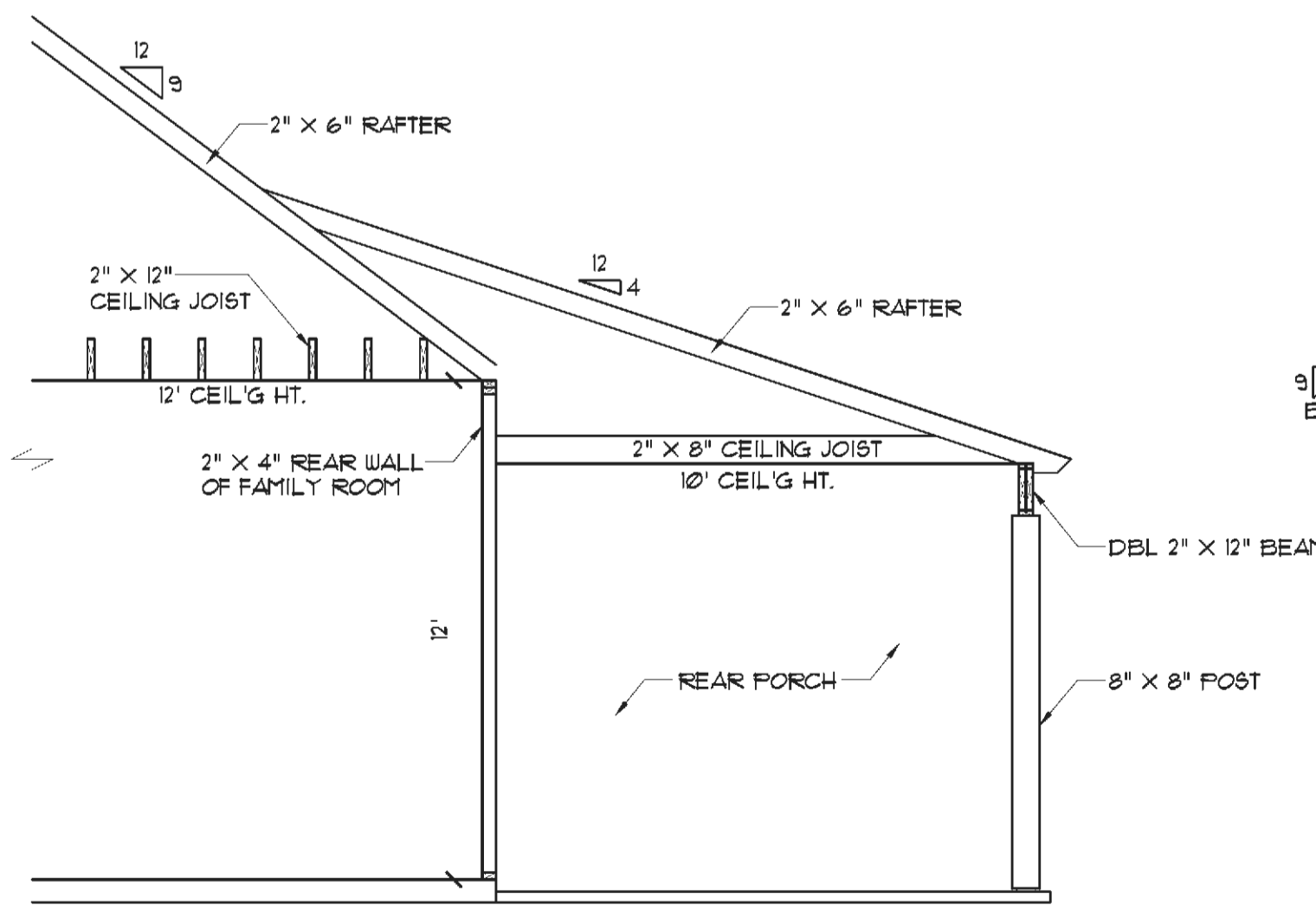
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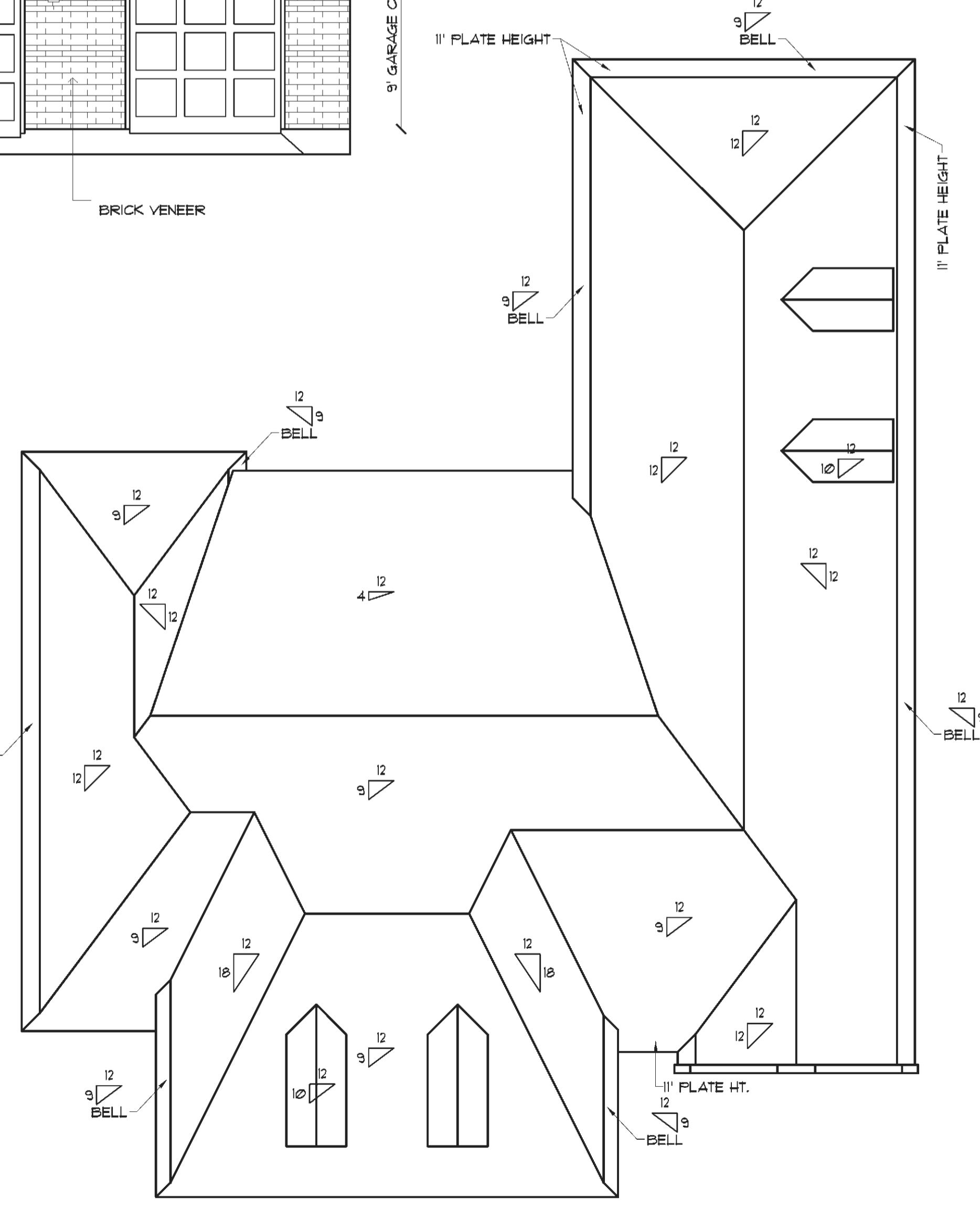
RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"

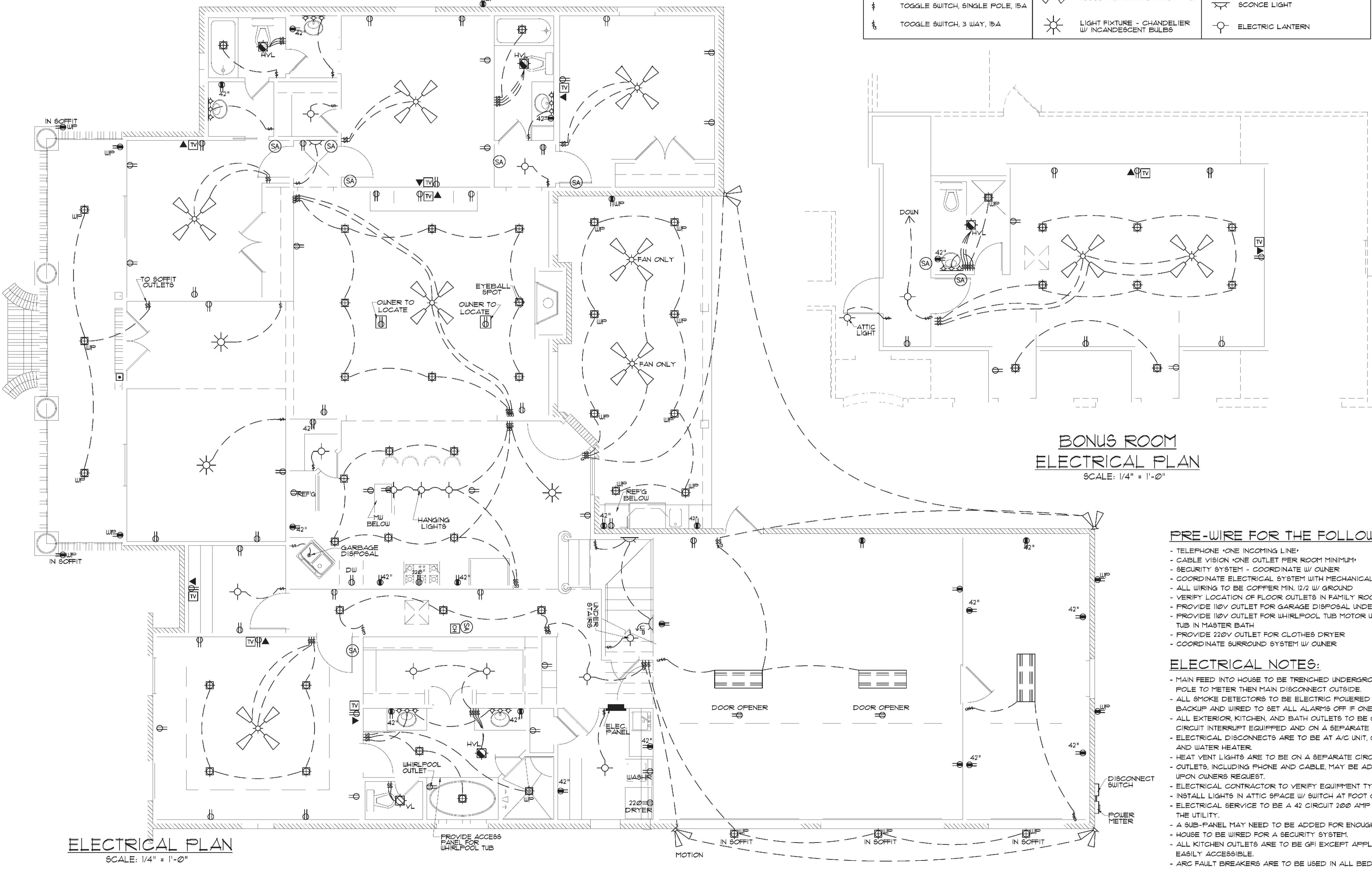


REAR PORCH SECTION
SCALE: 1/4"=1'-0"

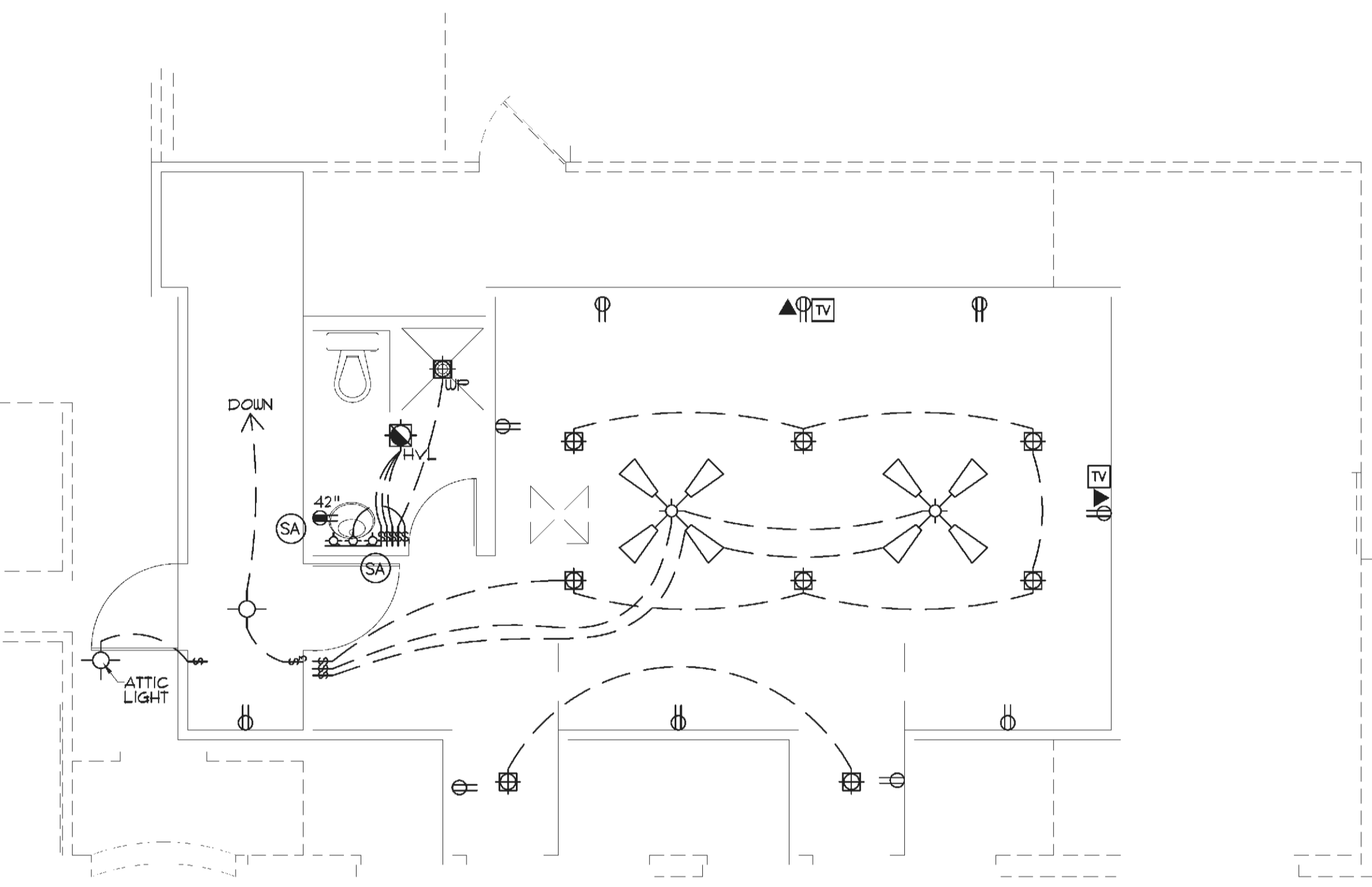


ROOF PLAN
SCALE: 1/8"=1'-0"

ELECTRICAL SYMBOL LEGEND					
	CABLE OUTLET		ELEC. DOOR BELL		LED RECESSED LIGHT
	TELEPHONE/ ETHERNET OUTLET		DOORBELL CHIME		LIGHT FIXTURE - FLOURESCENT
	RECEPTACLE, 15A, 125V, 2 POLE 3 WIRE, GROUNDED, DUPLEX		DIMMER SWITCH		SMOKE ALARM - 110V ELEC. W/ CARBON MONOXIDE DETECTOR
	FLOOR DUPLEX RECEPTACLE		LIGHT FIXTURE, INCANDESCENT CEILING MOUNTED		VANITY LIGHT
	GROUND-FAULT-CIRCUIT-INTERLUPT RECEPTACLE-USE SQUARE D QUICK GUARD FOR W/P LOCATIONS		LIGHT FIXTURE, INCANDESCENT EXTERIOR FLOODS		HEAT/VENT/LIGHT
	RECEPTACLE, 50A, 220V, 2 POLE 3 WIRE, GROUNDED		CEILING FAN W/ LIGHT- PROVIDE SEPERATE SWITCHES FOR F & L		VENT/LIGHT ONLY
	TOGGLE SWITCH, SINGLE POLE, 15A		LIGHT FIXTURE - CHANDELLIER W/ INCANDESCENT BULBS		SCONCE LIGHT
	TOGGLE SWITCH, 3 WAY, 15A		ELECTRIC LANTERN		



ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"



BONUS ROOM ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

PRE-WIRE FOR THE FOLLOWING:

- TELEPHONE (ONE INCOMING LINE)
- CABLE VISION (ONE OUTLET PER ROOM MINIMUM)
- SECURITY SYSTEM - COORDINATE W/ OWNER
- COORDINATE ELECTRICAL SYSTEM WITH MECHANICAL CONTRACTOR
- ALL WIRING TO BE COPPER MIN. 12/2 W/ GROUND
- VERIFY LOCATION OF FLOOR OUTLETS IN FAMILY ROOM
- PROVIDE 110V OUTLET FOR GARAGE DISPOSAL UNDER KITCHEN SINK
- PROVIDE 110V OUTLET FOR WHIRLPOOL TUB MOTOR UNDER WHIRLPOOL TUB IN MASTER BATH
- PROVIDE 220V OUTLET FOR CLOTHES DRYER
- COORDINATE SURROUND SYSTEM W/ OWNER

ELECTRICAL NOTES:

- MAIN FEED INTO HOUSE TO BE TRENCHED UNDERGROUND FROM SUPPLY POLE TO METER THEN MAIN DISCONNECT OUTSIDE.
- ALL SMOKE DETECTORS TO BE ELECTRIC POWERED WITH BATTERY BACKUP AND WIRED TO SET ALL ALARMS OFF IF ONE IS TRIPPED.
- ALL EXTERIOR, KITCHEN, AND BATH OUTLETS TO BE GROUND FAULT CIRCUIT INTERRUPT EQUIPPED AND ON A SEPARATE CIRCUIT.
- ELECTRICAL DISCONNECTS ARE TO BE AT A/C UNIT, CONDENSING UNIT, AND WATER HEATER.
- HEAT VENT LIGHTS ARE TO BE ON A SEPARATE CIRCUIT.
- OUTLETS, INCLUDING PHONE AND CABLE, MAY BE ADDED OR CHANGED UPON OWNERS REQUEST.
- ELECTRICAL CONTRACTOR TO VERIFY EQUIPMENT TYPE AND SIZE.
- INSTALL LIGHTS IN ATTIC SPACE W/ SWITCH AT FOOT OF DISP. STAIRS
- ELECTRICAL SERVICE TO BE A 42 CIRCUIT 200 AMP MAIN LOCATED IN THE UTILITY.
- A SUB-PANEL MAY NEED TO BE ADDED FOR ENOUGH CIRCUITS.
- HOUSE TO BE WIRED FOR A SECURITY SYSTEM.
- ALL KITCHEN OUTLETS ARE TO BE GFI EXCEPT APPLIANCE OUTLETS NOT EASILY ACCESSIBLE.
- ARC FAULT BREAKERS ARE TO BE USED IN ALL BEDROOMS.
- IF GAS FIRED APPLIANCES ARE USED IN HOME, CARBON MONOXIDE ALARMS ARE NEEDED (IRC R315).

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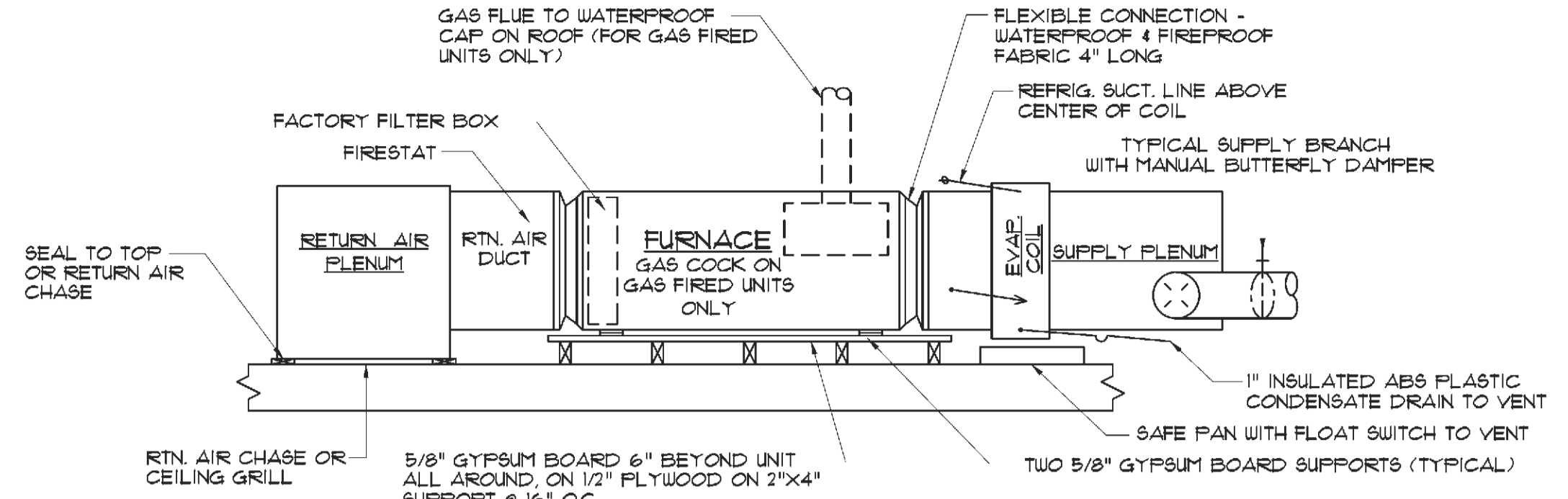
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NOTE:
CONFIRM WATER HEATERS
SIZES AND TYPES



HVAC ELEVATION DETAIL - HORIZONTAL TYPE
SCALE: NONE

HVAC NOTES

HEATER: GAS FURNACE
A/C UNIT "A": 3 TONS, 36,000 B.T.U. COOLING, 3 HP.
RETURN AIR: 24" X 24" FILTER GRILLES
A/C UNIT "B": 3.5 TONS, 42,000 B.T.U. COOLING, 3.5 HP.
RETURN AIR: 24" X 24" FILTER GRILLES

HEATER: ELECTRIC
A/C UNIT "C": 1.5 TONS, 18,000 B.T.U. COOLING, 1.5 HP.
RETURN AIR: 24" X 24" FILTER GRILLES

COMPRESSOR MOTOR W/ FRACTIONAL HP BLOWER MOTOR

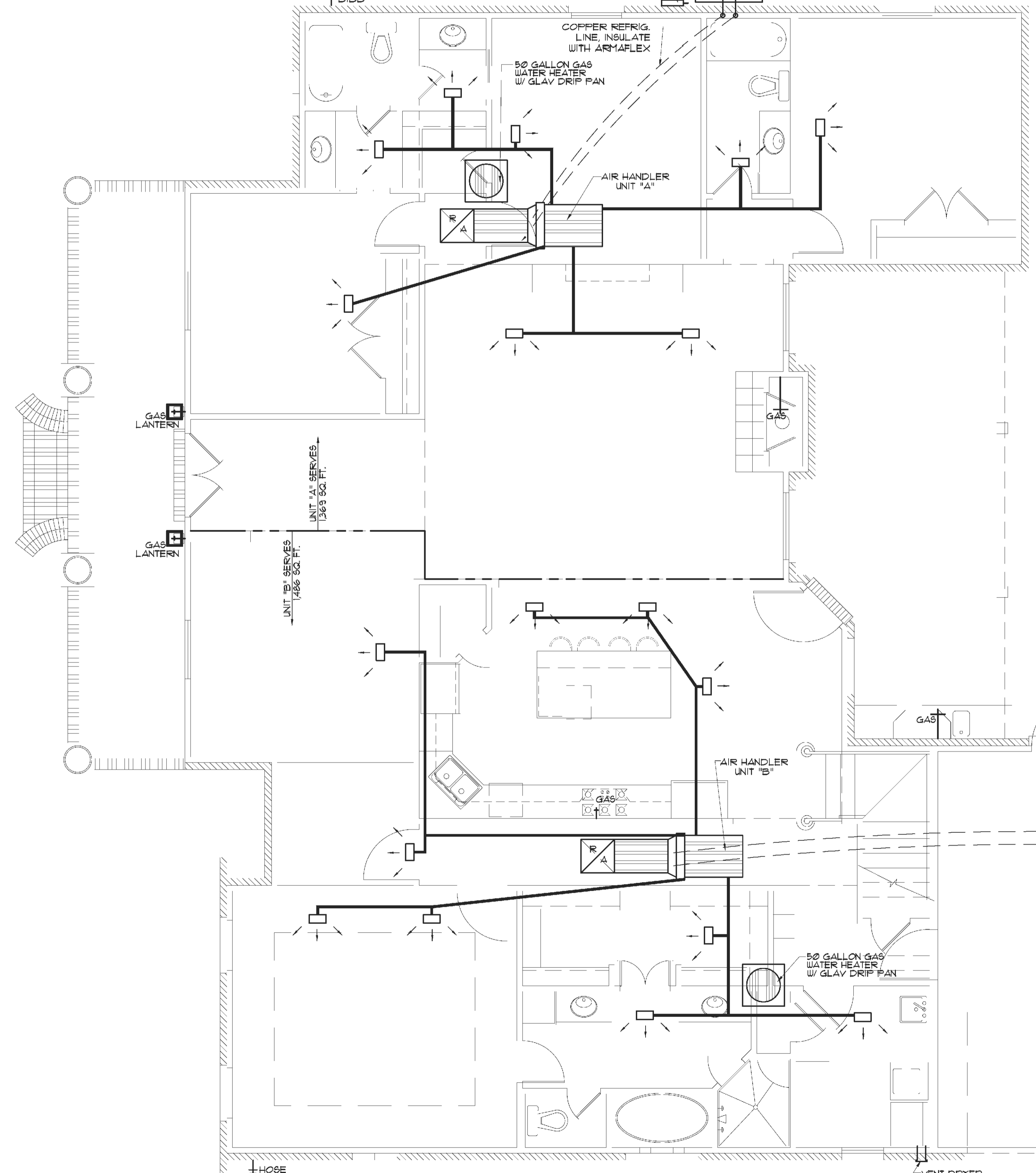
REGISTERS: THREE WAY THROW - 10" X 6" OR 12" X 6" COIL DRAIN CONNECTED TO PLUMBING WITH 1/2" P-TRAP 4'-0" MIN. ATTIC SPACE AT UNIT PROVIDE SOLID CATWALK FROM DISP. S/WAY TO UNIT AND WATER HEATER.

PROVIDE GALV. METAL FAN AND CUTOFF UNDER UNIT AND W/H - DRAIN TO SEWER LINE.

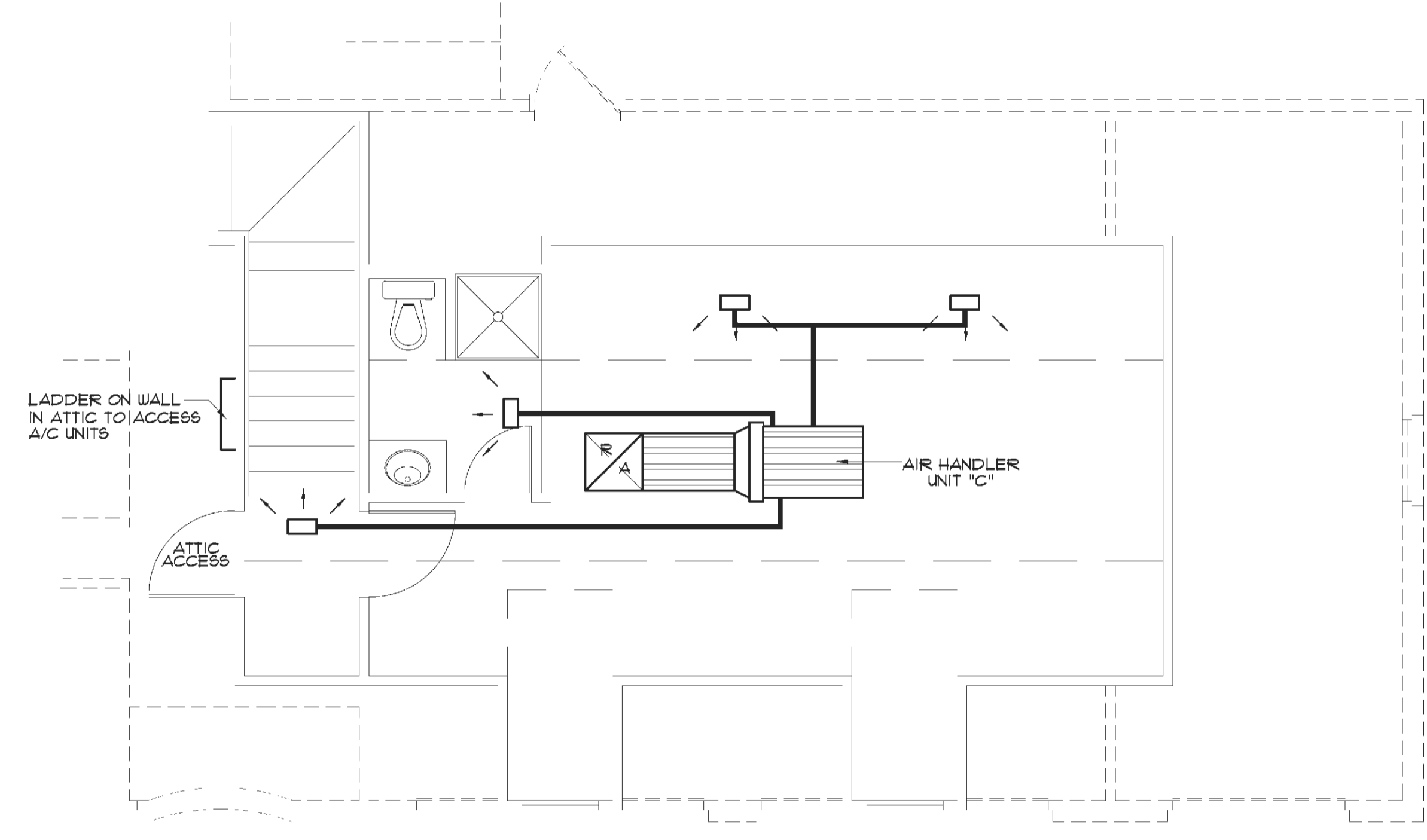
* HVAC CONTRACTOR TO SIZE DUCTS AND BALANCE SYSTEM.
* HVAC CONTRACTOR TO VENT THE FOLLOWING: HEATER VENT LIGHTS IN MASTER BATH AND BATHS, STOVE HOOD IN KITCHEN.

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MECHANICAL PLAN
SCALE: 1/4" = 1'-0"



BONUS ROOM MECHANICAL PLAN
SCALE: 1/4" = 1'-0"

SUGGESTED HEAT & AIR NOTES

- MECHANICAL SUBCONTRACTOR TO INSTALL HVAC SYSTEM, ACCORDING TO NATIONAL, STATE AND CITY CODE.
- MECHANICAL SUBCONTRACTOR TO VERIFY HVAC DESIGN LOADS.
- OWNER TO SELECT PLUMBING FIXTURES WITH CONTRACTOR.
- DRAWINGS OF SYSTEM ARE SCHEMATIC AND SHOULD BE CONFIRMED BY SUBCONTRACTOR.
- DUCTS AS SHOWN 26 GAUGE 6/1 INSULATE W/ 2" FIBERGLASS INSULATION.
* MIN. DUCT SIZE 8" DIAMETER
* MIN. DIFF. SIZE 10" DIAMETER WITH AIR VOLUME REG.
- PLACE DAMPER CONTROLS IN ALL DUCT RUNS.
- THERMOSTAT MIN. HONEYWELL - WALL MOUNTED
- MIN. CLEARANCE AT UNIT TO BE 4'-0"
- PROVIDE 3/4" PLYWOOD, 24" MIN. WIDE CATWALK TO ALL MECHANICALS IN ATTIC. CATWALK - GREATER THAN 20' NEED 6' HEADROOM - MAX. 50' LENGTH. MAINTAIN PROPER CLEARANCE AT UNITS SERVICE AREA
- CLEARANCE OF ALL HEAT PRODUCING APPLIANCES TO BE GREATER THAN 18" ABOVE OR 6" TO THE SIDE.
- SEC. R315: CARBON MONOXIDE ALARMS - REQUIRED IN THE SMOKE ALARMS
- A/C DRAIN TO 1-1/2" P-TRAP
- PROVIDE 30" MIN. WIDE WORKING PLATFORM TO ACCESS SIDE OF HVAC. ATTIC DECKED WORK AREA MIN. 30" X 30"
- HVAC SYSTEM SHALL COMPLY WITH SEC 12 NFPA: 101-1991.
- HVLS, VLS, HV6 & GAS RANGE HOODS MUST VENT OUTSIDE. BATHROOM EXHAUST VENTS TO THE OUTSIDE OR PROVIDE MINIMUM 15 SQUARE FEET OPENABLE AREA.
- DRYER MUST BE VENTED TO THE EXTERIOR OF THE RESIDENCE, IN COMPLIANCE WITH THE MECHANICAL CODE. DRYER VENT LENGTH (MAX. LENGTH 25' - 5' FOR 90 DEGREE TURN, - 25' FOR 45 DEGREE TURN OR PER MANUFACTURER) AND DISCHARGE LOCATION. ALL PLANS NOT SHOWING DRYER VENT THROUGH EXTERIOR WALL/ROOF MUST GET PLANS APPROVED BY MECHANICAL INSPECTOR. VENTING THROUGH THE GARAGE IS NOT ALLOWED BY THE INTERNATIONAL RESIDENTIAL BUILDING CODE.

RESIDENCE OF
ALAN & LAURA NOVAK
558 N. CALEB DRIVE
SLIDELL, LOUISIANA

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Project No.: The Tuscaloosa
DATE: May 24, 2018
DRAWN BY: Steven Madden
DESIGNED BY: Steven Madden
RLY GLD:

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MECHANICAL PLAN

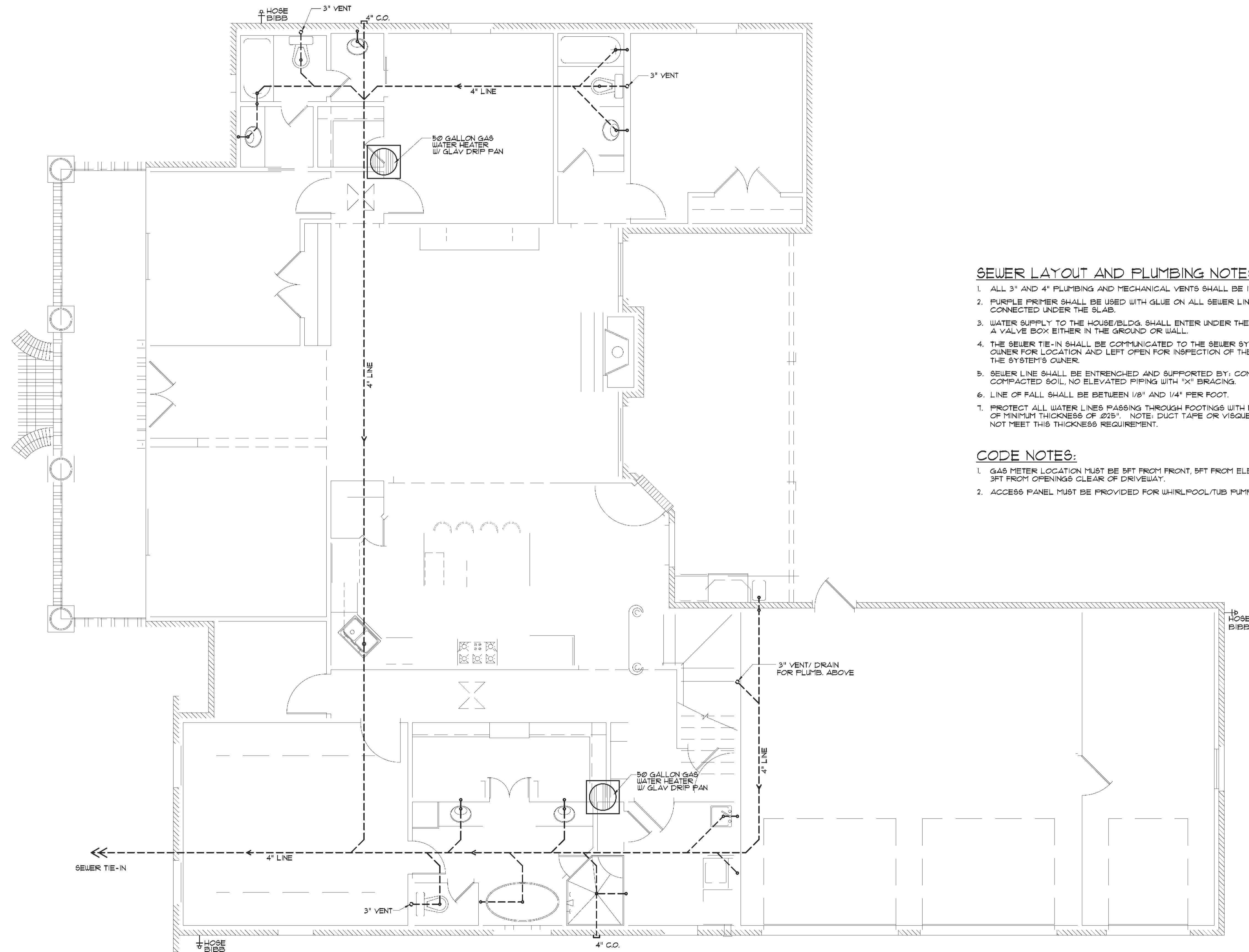
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CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR VERIFYING ALL DIMENSIONS AND CONDITIONS ON THE JOB. THE CONTRACTOR SHALL BE NOTIFIED AND CONSENT TO ANY VARIATION FROM THE DIMENSIONS SET FORTH HEREIN. EVERY EFFORT HAS BEEN MADE TO SPECIFY STRUCTURAL DATA AND CONDITIONS RESPONSIBLE FOR VARIATIONS IN THE FIELD AND SHALL BE BUILT IN ACCORDANCE WITH THE NATIONAL RESIDENTIAL CODE 2012.



SEWER LAYOUT AND PLUMBING NOTES

1. ALL 3" AND 4" PLUMBING AND MECHANICAL VENTS SHALL BE IN 6" WALLS.
2. PURPLE PRIMER SHALL BE USED WITH GLUE ON ALL SEWER LINE JOINTS CONNECTED UNDER THE SLAB.
3. WATER SUPPLY TO THE HOUSE/BLDG. SHALL ENTER UNDER THE SLAB WITH A VALVE BOX EITHER IN THE GROUND OR WALL.
4. THE SEWER TIE-IN SHALL BE COMMUNICATED TO THE SEWER SYSTEM'S OWNER FOR LOCATION AND LEFT OPEN FOR INSPECTION OF THE TIE IN BY THE SYSTEM'S OWNER.
5. SEWER LINE SHALL BE ENTRENCHED AND SUPPORTED BY CONTINUOUS COMPACTED SOIL, NO ELEVATED PIPING WITH "X" BRACING.
6. LINE OF FALL SHALL BE BETWEEN 1/8" AND 1/4" PER FOOT.
7. PROTECT ALL WATER LINES PASSING THROUGH FOOTINGS WITH MATERIAL OF MINIMUM THICKNESS OF 225". NOTE: DUCT TAPE OR VISQUEEN DOES NOT MEET THIS THICKNESS REQUIREMENT.

CODE NOTES:

1. GAS METER LOCATION MUST BE 5FT FROM FRONT, 5FT FROM ELECTRIC, 3FT FROM OPENINGS CLEAR OF DRIVEWAY.
2. ACCESS PANEL MUST BE PROVIDED FOR WHIRLPOOL/TUB PUMP & SUPPLY AREA.

PLUMBING/SEWER PLAN
SCALE: 1/4" = 1'-0"

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