

MAIN LEVEL FLOOR PLAN
SCALE 1/4"=1'-0"

AREA	
MAIN LEVEL LIVING AREA	1493
UPPER LEVEL LIVING AREA	307
PORCHES	1800
GARAGE	UNDER HOUSE
PORCHES	559
TOTAL AREA UNDER B/M	2359

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IRC 2021
WFCM
140 MPH WIND SPEED
EXPOSURE: B
DESIGN MEETS THE PRESCRIPTIVE ENERGY CODE REQUIREMENTS
CLIMATE ZONE: 2
MANUAL J CALCULATIONS BY OTHERS

RESIDENCE IS NOT LOCATED IN A WINDBORNE DEBRIS PROTECTION REGION

Thermal Component Criteria (U-FACTOR AND R-VALUE)
(MAX. SHGC = 0.35 FOR GLAZINGS)

MAXIMUM GLAZING (PENETRATION) U-FACTOR OVER	MIN. INSULATION R-VALUE		
	CLGS.	WALLS	FLOORS
0.15	R-30	R-13	R-13

FURR OUT 2x RAFTERS AS REQUIRED FOR BATT INSULATION AT CATHEDRAL CEILINGS OR USE SPRAYED FOAM INSULATION IF ACCEPTABLE.

- NOTES**
- CONTRACTOR SHALL SELECT WINDOW & DOOR PRODUCTS MEETING THE ENERGY EFFICIENCY REQUIREMENTS OF THE BUILDING CODE (BASED ON IRC 2021 CLIMATE ZONE 2 - U-FACTOR-0.15 MAX. SHGC-0.40 MAX.)
 - CONTRACTOR SHALL SELECT WINDOW & DOOR PRODUCTS MEETING WIND DESIGN PRESSURE REQUIREMENTS OF R603 (GARAGE DOOR SHALL BE RATED TO MEET WIND LIMITATIONS AS PER R 3012D)
 - PER R3011 DOORS BETWEEN GARAGE & RESIDENCE SHALL BE 20-MINUTE FIRE RATED DOORS (INCLUDING ATTIC STAIRS). ALSO PER R3025.1 SELF CLOSING.
 - SAFETY GLAZING (TEMPERED GLASS) IS REQUIRED AT LOCATIONS IDENTIFIED IN R508.4 EX. GLAZING WITHIN 24" OF DOORS & OVER TUBS)
 - PER R309.2 GARAGE SHALL BE SEPARATED FROM RESIDENCE BY NOT LESS THAN 1/2" GYPSUM BOARD APPLIED TO THE GARAGE SIDE OF WALLS AND CEILING. GARAGES BENEATH HABITABLE ROOMS ABOVE SHALL BE SEPARATE BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT.
 - RAIL INDICATES GUARD RAIL AT PORCHES & GUARDRAIL WITH HANDRAIL AT STAIRS
 - OPENING IN THE RESIDENCE SHALL BE PROTECTED BY 20 MIN. RATED DOORS.
 - IF REQUIRED ATTIC ACCESS (IRC-R907) IS LOCATED IN THE GARAGE, THE REQUIRED 1/2" GYPSUM WILL BE APPLIED TO CEILING AND DROP DOWN STAIR MUST BE 20 MIN. RATED.
- PROTECTION OF APPLIANCE IN GARAGE IS REQUIRED.

WINDOW SCHEDULE

MARK	DESCRIPTION	HDR
AA	2040 SH.	8'-0"
BB	3060 SH.	8'-0"
CC	3040 SH.	8'-0"
DD	3056 FIXED GLASS	8'-0"
EE	2040 SH. TEMPERED	8'-0"

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	THICK.	DESCRIPTION
1	3'-0"	8'-0"	1 3/4"	1 LT. FRENCH EXTERIOR
2	3'-0"	8'-0"	1 3/8"	RAISED PANEL INTERIOR
3	2'-8"	8'-0"	1 3/8"	RAISED PANEL INTERIOR
4	2'-4"	8'-0"	1 3/8"	RAISED PANEL INTERIOR
5	1'-6"	8'-0"	1 3/8"	RAISED PANEL INTERIOR
6	6'-0"	8'-0"	1 3/8"	FR. 3080 RAISED PANEL INT.
7	2'-8"	8'-0"	1 3/8"	RAISED PANEL EXTERIOR

MAIN LEVEL FLOOR PLAN

PLANS FOR:
DUNG TRAN
LOT 1-A, SQ. 16, BLUE HAVEN S/D,
ST. TAMMANY PARISH, LA

HOUSE PLANS by
DesignTech
OF LOUISIANA, LLC
St. Tammany Parish, LA.
SLIDELL 985-847-0600

DATE
7-17-23

CODE	LIVING	AREA U. B.	INDEX
A3	1800	2359	13026

DESIGNED BY DMH
FINISHED BY JMC
CHECKED BY ~
SHEET SIZE 24" X 36"

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CABINET ELEVATIONS
SCALE 1/4"=1'-0"

IRC 2021
 WFCM
 140 MPH WIND SPEED
 EXPOSURE: B
 DESIGN MEETS THE PRESCRIPTIVE
 ENERGY CODE REQUIREMENTS
 CLIMATE ZONE: 2
 MANUAL J CALCULATIONS BY OTHERS

RESIDENCE IS NOT LOCATED IN A
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**THERMAL COMPONENT CRITERIA
 (U-FACTOR AND R-VALUE)
 (MAX. SHGC = 0.35 FOR GLAZING)**

MAXIMUM GLAZING (PENETRATION) U-FACTOR 0.15	MIN. INSULATION R-VALUE		
	CLGS.	WALLS	FLOORS
	R-30	R-13	R-13

FURR OUT 2x RAFTERS AS REQUIRED FOR BATT
 INSULATION AT CATHEDRAL CEILINGS OR USE
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**2ND LEVEL
 FLOOR PLAN**

PLANS FOR:
 DUNG TRAN
 LOT 1-A, SQ. 16, BLUE HAVEN S/D,
 ST. TAMMANY PARISH, LA

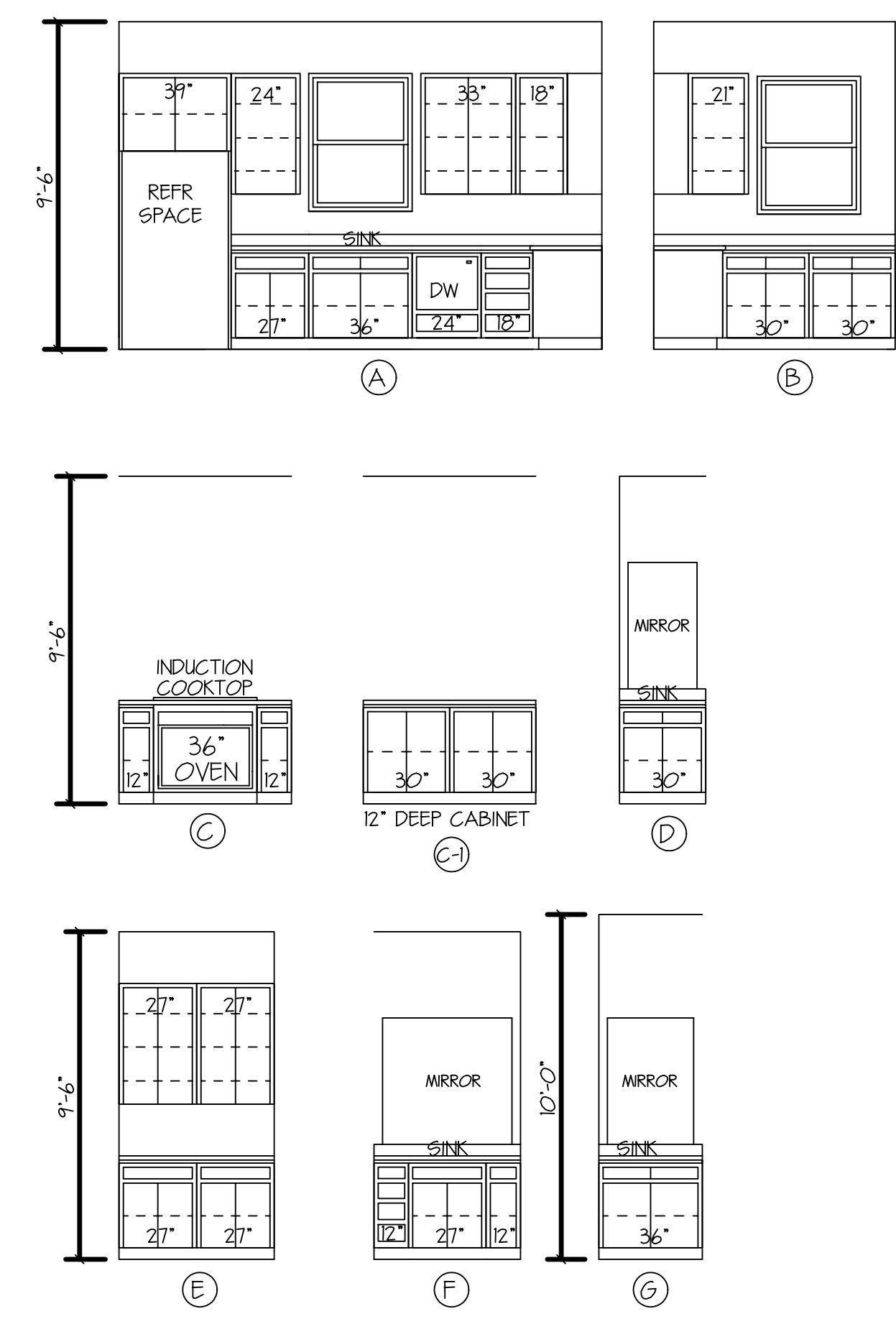
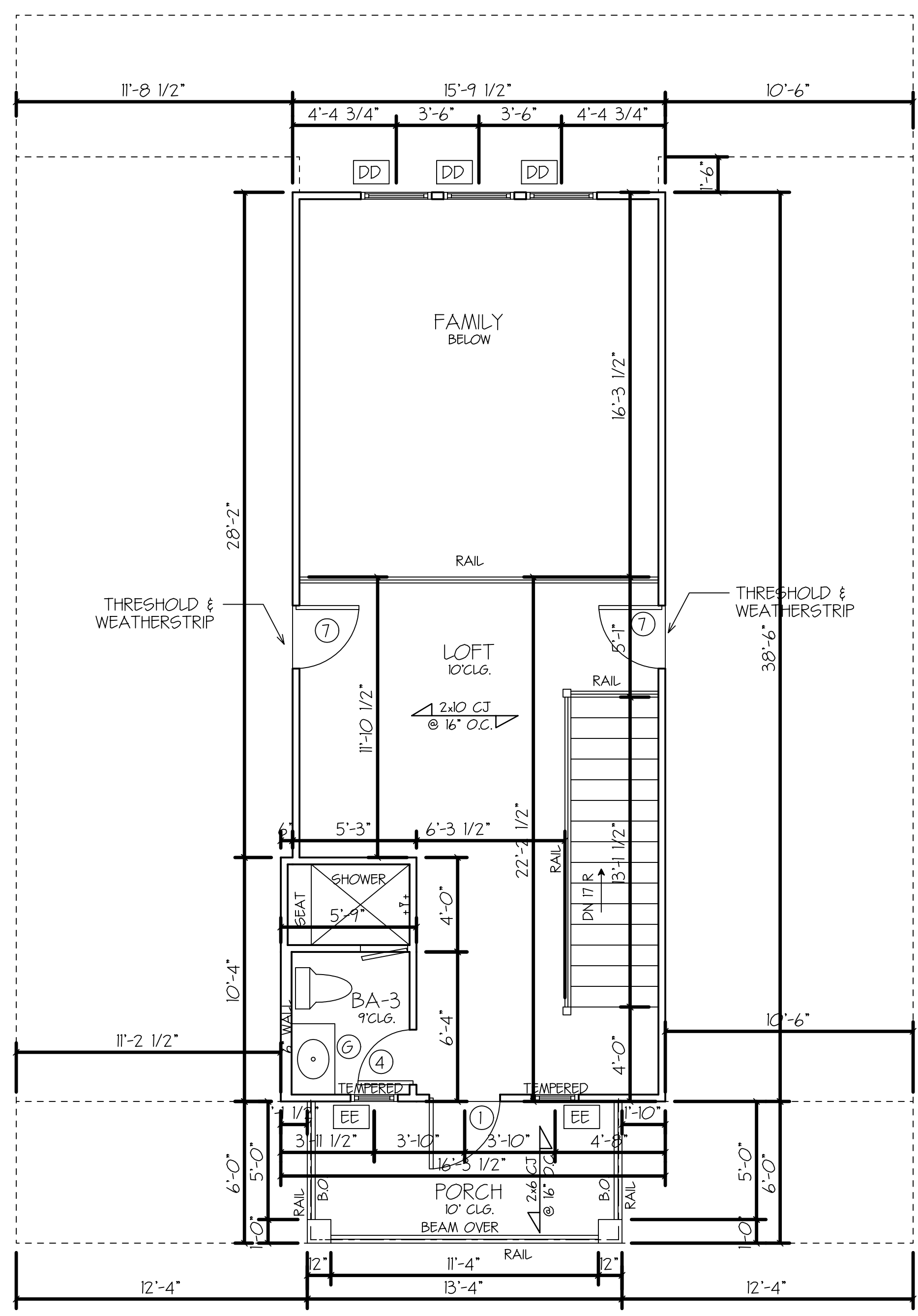
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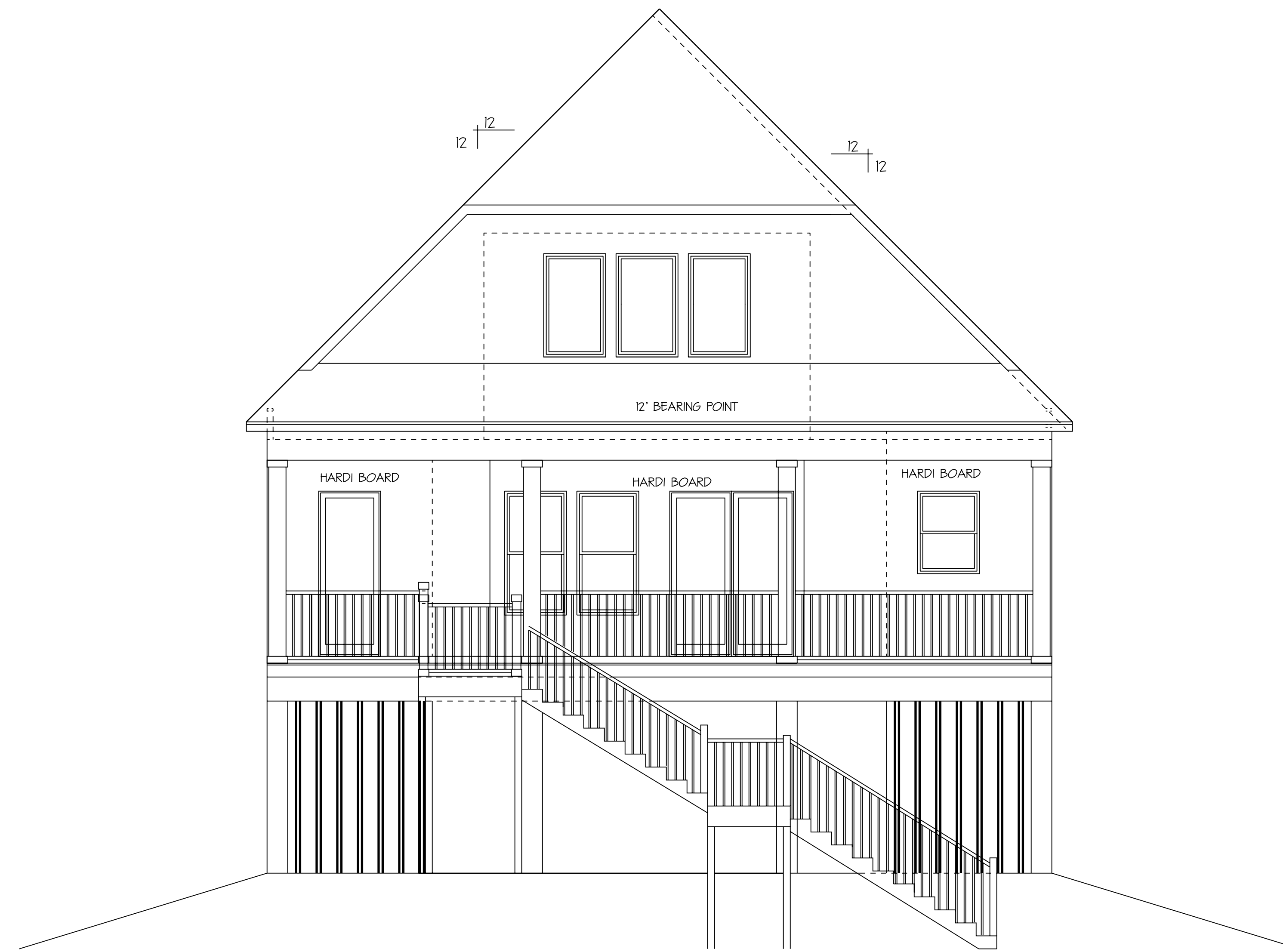
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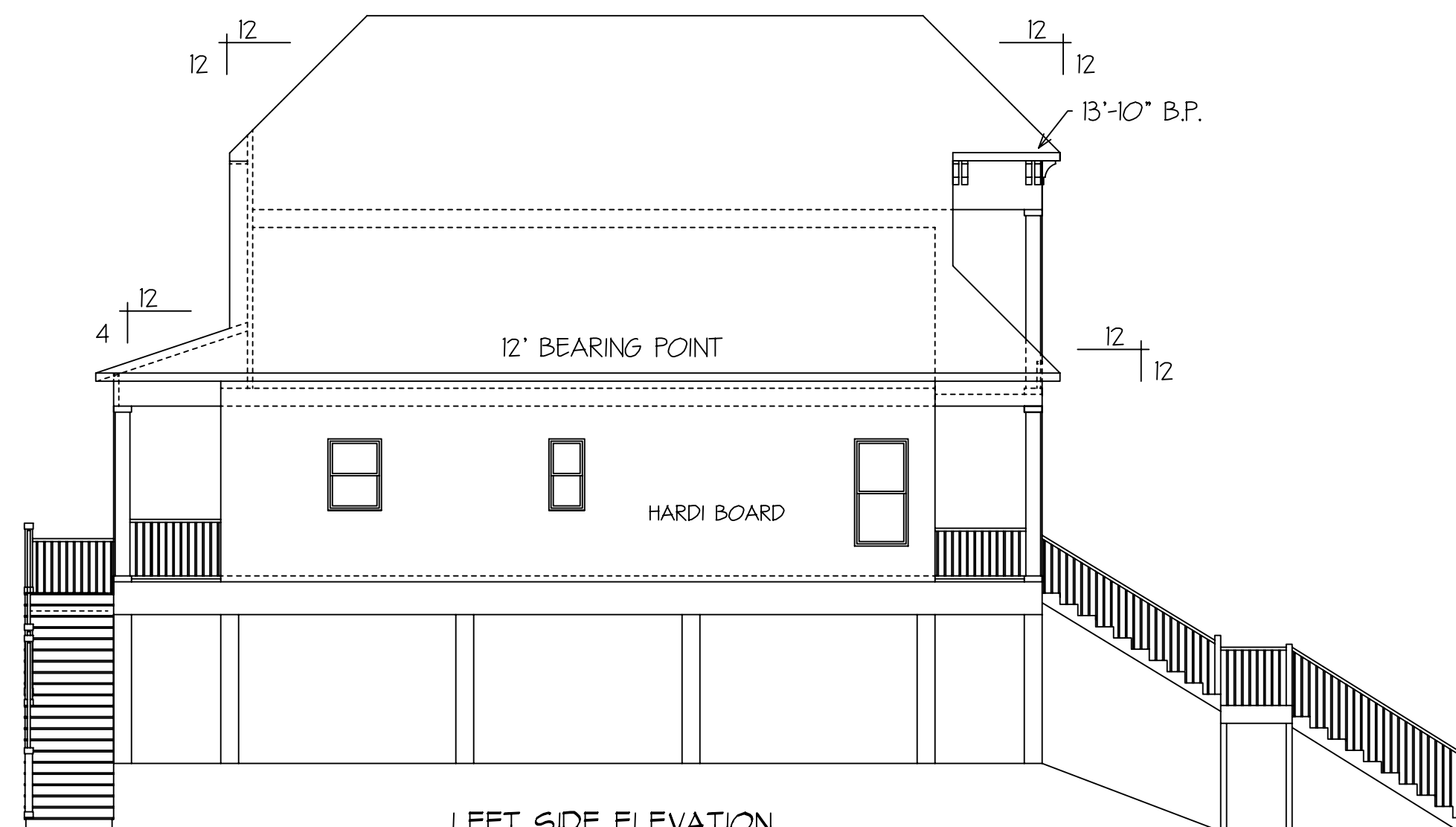
CABINET ELEVATIONS
 SCALE 1/4"=1'-0"

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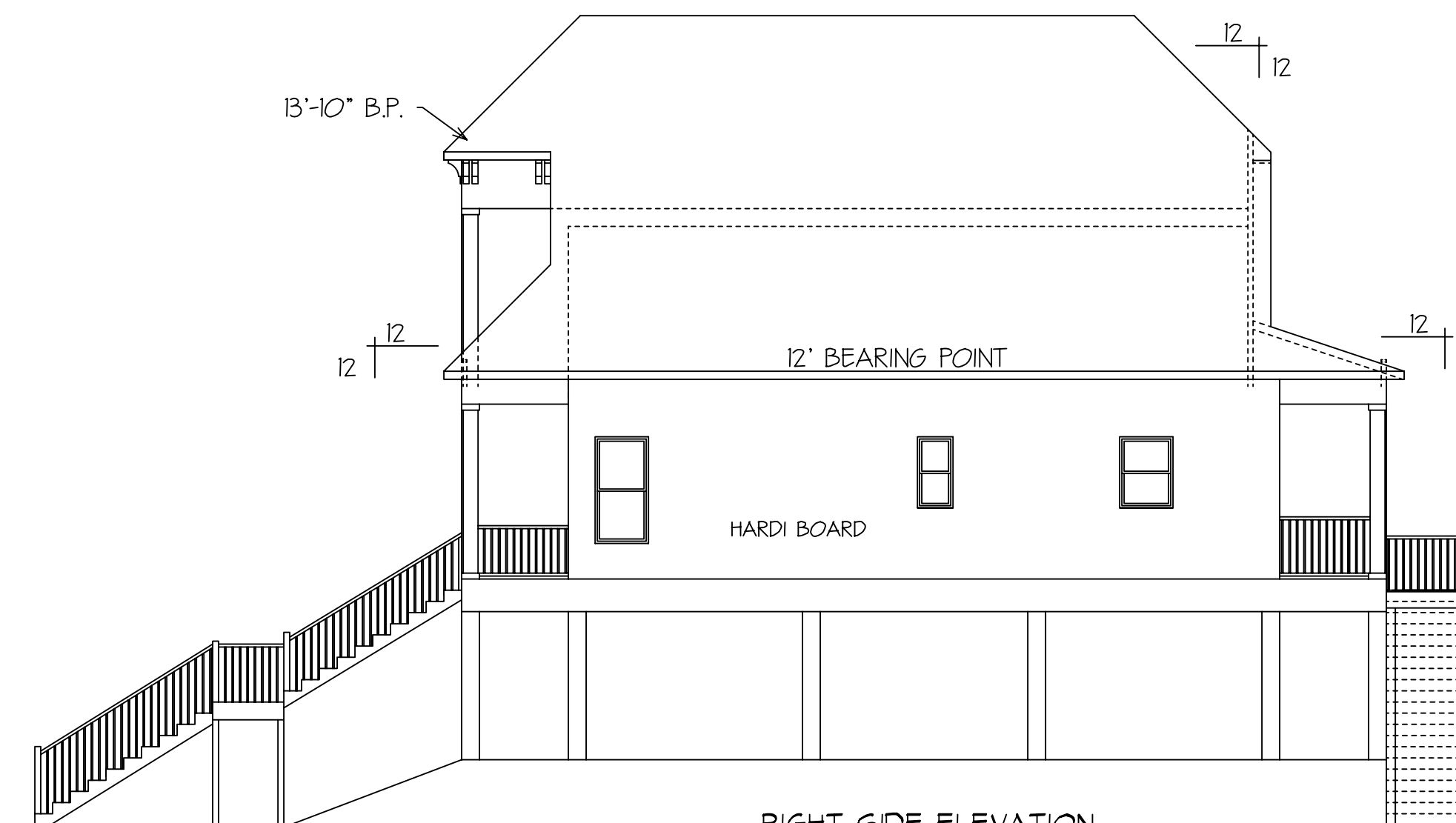
A-2



REAR ELEVATION
SCALE - 1/8" = 1'-0"



LEFT SIDE ELEVATION
SCALE - 1/8" = 1'-0"



RIGHT SIDE ELEVATION
SCALE - 1/8" = 1'-0"

ADDITIONAL ELEVATIONS

PLANS FOR:
DUNG TRAN
LOT 1-A, SQ. 16, BLUE HAVEN S/D,
ST. TAMMANY PARISH, LA

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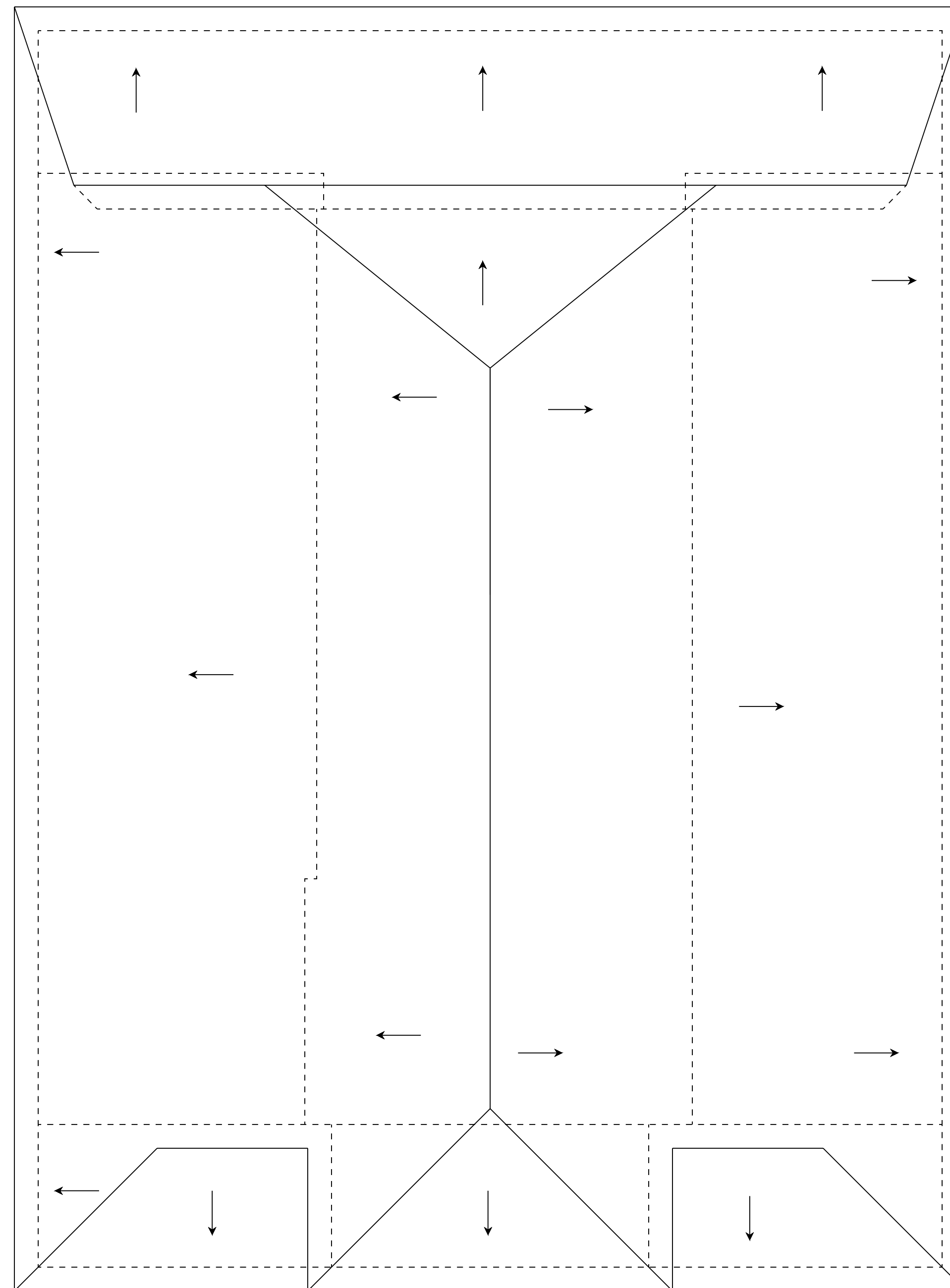
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A-4

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ROOF PLAN
SCALE 1/4" = 1'-0"

IRC REQUIREMENTS FOR ROOF COVERINGS

R905.2.2. SLOPE: ASPHALT SHINGLES SHALL BE USED ONLY ON ROOF SLOPES OF TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) OR GREATER. FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12) DOUBLE UNDERLAYMENT APPLICATION IS REQUIRED IN ACCORDANCE WITH SECTION R905.2.7.

R905.2.6. ATTACHMENT: ASPHALT SHINGLES SHALL HAVE THE MINIMUM NUMBER OF FASTENERS REQUIRED BY THE MANUFACTURER. FOR NORMAL APPLICATION, ASPHALT SHINGLES SHALL BE SECURED TO THE ROOF WITH NOT LESS THAN FOUR FASTENERS PER STRIP SHINGLE OR TWO FASTENERS PER INDIVIDUAL SHINGLE. WHERE THE ROOF SLOPE EXCEEDS 20 UNITS VERTICAL IN 12 UNITS HORIZONTAL (20:12), SPECIAL METHODS OF FASTENING ARE REQUIRED. FOR ROOFS LOCATED WHERE THE BASIC WIND SPEED PER FIGURE R301.2(4) IS 10 MPH OR HIGHER, SPECIAL METHODS OF FASTENING ARE REQUIRED. SPECIAL FASTENING METHODS SHALL BE TESTED IN ACCORDANCE WITH ASTM D3661, CLASS F. ASPHALT SHINGLE WRAPPERS SHALL BEAR A LABEL INDICATING COMPLIANCE WITH ASTM D3661, CLASS F.

R905.2.7. UNDERLAYMENT APPLICATION: FOR ROOF SLOPES FROM TWO UNITS VERTICAL IN 12 UNITS HORIZONTAL (2:12) UP TO FOUR UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12), UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 1/4-INCH STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. STARTING AT THE EAVE, APPLY 36-INCH WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEETS 1 1/2 INCHES, AND FASTENED SUFFICIENTLY TO HOLD IN PLACE. FOR ROOFS OF 4 UNITS VERTICAL IN 12 UNITS HORIZONTAL (4:12) OR GREATER, UNDERLAYMENT SHALL BE ONE LAYER APPLIED IN THE FOLLOWING MANNER: UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION, PARALLEL TO AND STARTING FROM THE EAVE AND LAPPED 2 INCHES, FASTENED SUFFICIENTLY TO HOLD IN PLACE. END LAPS SHALL BE OFFSET BY 6 FEET.

R905.2.7.2. UNDERLAYMENT AND HIGH WIND: UNDERLAYMENT APPLIED IN AREAS SUBJECT TO HIGH WINDS (GREATER THAN 10 MPH PER FIGURE R301.2 (4)) SHALL BE APPLIED WITH CORROSION RESISTANT FASTENERS IN ACCORDANCE WITH MANUFACTURERS INSTALLATION INSTRUCTIONS. FASTENERS ARE TO BE APPLIED ALONG THE OVERLAP NOT FARTHER THAN 36 INCHES (914 MM) ON CENTER.

ROOFING NOTES

- 1 ROOF SHEATHING
ALL ROOF SHEATHING SHALL BE 15/32" EXPOSURE 1, 24/0 APA RATED PANELS. FASTEN WITH 4" NAILS AT 6" O.C. AT ALL FRAMING MEMBERS. USE 8d RING SHANK NAILS WITHIN 5'-0" OF ROOF EDGES.
- 2 ROOF UNDERLAYMENT
ROOF UNDERLAYMENT SHALL BE 15# FELT. UNDERLAYMENT (IF ROOF SLOPE IS LESS THAN 5:12, (2) LAYERS OF FELT IS REQUIRED), SHALL BE INSTALLED WITH CORROSION RESISTANT FASTENERS SPACED AT 36" O.C., MAX.
- 3 ROOFING
ROOF COVERING SHALL BE ASPHALT SHINGLES, UNLO. SHINGLES SHALL HAVE A 25 YEAR (MIN) LIFE. SHINGLES SHALL BE INSTALLED PER MANUFACTURER SPECIFICATIONS (6 NAILS/SHINGLE). SHINGLES SHALL BE CLASS H SHINGLES.
- 4 ROOF BRACING
SUPPORT RAFTERS AS REQUIRED TO LIMIT SPANS WITH PURLIN OF EQUAL SIZE. RAFTER SUPPORT PURLINS WITH 2x BRACING AT 4FT MAX SPACING. NOT ALL PURLINS & BRACING SHOWN.

ROOF PLAN

PLANS FOR:
DUNG TRAN
LOT 1-A, SQ. 16, BLUE HAVEN S/D.
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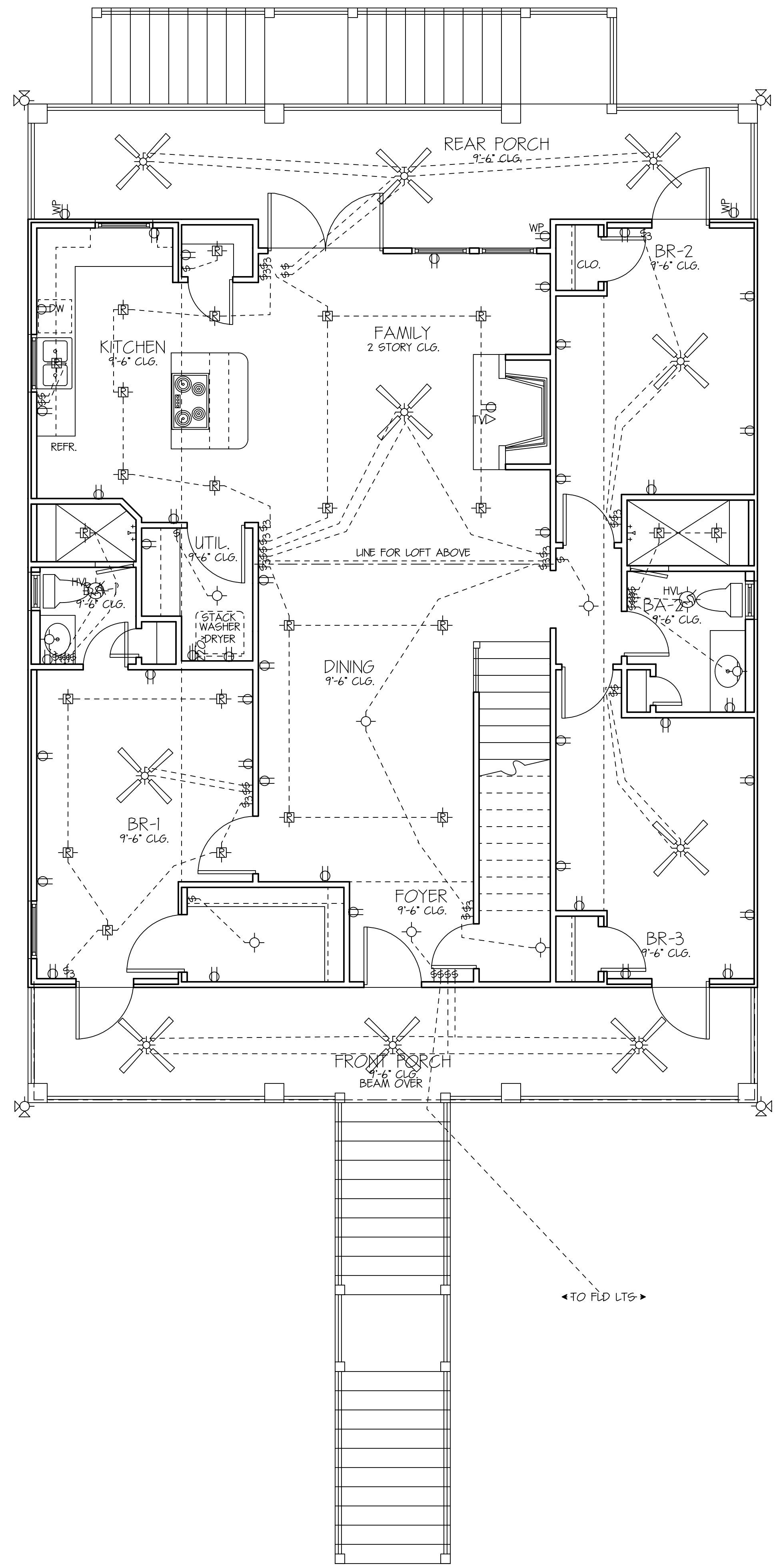
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1ST LEVEL ELECTRICAL PLAN
SCALE 1/4"=1'-0"

LIGHTING LEGEND			
	CEILING LIGHT		220 V OUTLET
	RECESS CAN		SMOKE DETECTOR
	FLOOD LIGHT		CARBON MONOXIDE DETECTOR
	FAN WITH LIGHT KIT		HEATER/VENT/LIGHT
	FLUORESCENT LIGHT		VENT/LIGHT
	OUTLET		CAMERA
			WATERPROOF OUTLET

ELECTRICAL NOTES

NEC21052 EACH GARAGE SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET FOR EACH CAR SPACE AND THE CIRCUIT SHALL NOT SUPPLY ANY OUTLETS OUTSIDE OF THE GARAGE.

NEC2108 GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL.

(A) DWELLING UNITS, ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED IN (B) THROUGH (G) SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION FOR PERSONNEL.

(B) BATHROOMS.

(C) GARAGES, AND ALSO ACCESSORY BUILDINGS THAT HAVE A FLOOR LOCATED AT OR BELOW GRADE, LEVEL NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS, AND AREAS OF SIMILAR USE.

(D) OUTDOORS.

(E) CRAWL SPACES, AT OR BELOW GRADE LEVEL.

(F) UNFINISHED BASEMENTS, FOR PURPOSES OF THIS SECTION, UNFINISHED BASEMENTS ARE DEFINED AS PORTIONS OR AREAS OF THE BASEMENT NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS AND THE LIKE.

(G) KITCHENS, WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACES.

(H) LAUNDRY, UTILITY, AND WET BAR SINKS, WHERE THE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK.

(I) BOATHOUSES.

NEC21012 ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION

(A) DEFINITION: ARC-FAULT CIRCUIT-INTERRUPTER: AN ARC-FAULT CIRCUIT INTERRUPTER IS A DEVICE INTENDED TO PROVIDE PROTECTION FROM THE EFFECTS OF ARC FAULTS BY RECOGNIZING CHARACTERISTICS UNIQUE TO ARCING AND BY FUNCTIONING TO DE-ENERGIZE THE CIRCUIT WHEN AN ARC FAULT IS DETECTED.

(B) DWELLING UNITS, ALL 120-VOLT, SINGLE PHASE, 15- AND 20-AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.

EACH GARAGE SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET FOR EACH CAR SPACE AND THE CIRCUIT SHALL NOT SUPPLY ANY OUTLET OUTSIDE OF THE GARAGE NEC 21052.

NEC24024 LOCATION IN OR ON PREMISES

(A) ACCESSIBILITY: OVERCURRENT DEVICES SHALL BE READILY ACCESSIBLE AND SHALL BE INSTALLED SO THAT THE CENTER OF THE GRIP OF THE OPERATING HANDLE OF THE SWITCH OR CIRCUIT BREAKER, WHEN IN ITS HIGHEST POSITION, IS NOT MORE THAN 6 FEET 7 INCHES ABOVE THE FLOOR OR WORKING PLATFORM.

(B) OCCUPANCY: EACH OCCUPANT SHALL HAVE READY ACCESS TO ALL OVERCURRENT DEVICES PROTECTING THE CONDUCTORS SUPPLYING THAT OCCUPANCY.

(C) NOT EXPOSED TO PHYSICAL DAMAGE: OVERCURRENT DEVICES SHALL BE LOCATED WHERE THEY WILL NOT BE EXPOSED TO PHYSICAL DAMAGE.

(D) NOT IN VICINITY OF EASILY IGNITABLE MATERIAL: OVERCURRENT DEVICES SHALL NOT BE LOCATED IN THE VICINITY OF EASILY IGNITABLE MATERIAL, SUCH AS IN CLOTHES CLOSETS.

(E) NOT LOCATED IN BATHROOMS: IN DWELLING UNITS AND GUEST ROOMS OR GUEST SUITES OF HOTELS AND MOTELS, OVERCURRENT DEVICES, OTHER THAN SUPPLEMENTARY OVERCURRENT PROTECTION, SHALL NOT BE LOCATED IN BATHROOMS.

NEC40612: TAMPER PROOF RECEPTACLES SHALL BE INSTALLED IN ALL AREAS LESS THAN 44" ABOVE THE FLOOR.

IRC M 1505 AFFLUENCE ACCESS REQUIREMENTS

- MUST BE WITHIN 20 FEET OF ATTIC ACCESS
- MINIMUM 24 INCH WIDE SOLID WALKING SURFACE WITH HEADROOM OF 30 INCHES IS TO BE PROVIDED
- 30" X 30" SERVICE LOCATION IS REQUIRED AT UNIT
- ATTIC LIGHTING REQUIRED WITH LIGHT SWITCH AT ATTIC ENTRY

MECHANICAL VENTILATION TEST REQUIRED

IRC 202 SECTION R303.4 REQUIRES A BLOWER DOOR TEST COMPL. WITH SECTION N 102.4.12 FOR EACH DWELLING UNIT. A WRITTEN REPORT BY A THIRD PARTY INSPECTOR SHALL BE PROVIDED TO THE BUILDING INSPECTOR FOR APPROVAL.

IRC M 1503.4 MAKEUP AIR REQUIRED

EXHAUST HOOD SYSTEMS CAPABLE OF 400 CUBIC FEET PER MINUTE (CFM 3/4) SHALL BE MECHANICAL OR NATURALLY PROVIDED WITH MAKEUP AIR AT A RATE APPROXIMATELY EQUAL TO THE EXHAUST AIR RATE. SUCH MAKEUP AIR SYSTEMS SHALL BE EQUIPPED WITH NOT LESS THAN ONE DAMPER. EACH DAMPER SHALL BE A GRAVITY DAMPER OR AN ELECTRICALLY OPERATED DAMPER THAT AUTOMATICALLY OPENS WHEN THE EXHAUST SYSTEM OPERATES. DAMPERS SHALL BE ACCESSIBLE FOR INSPECTION, SERVICE, REPAIR AND REPLACEMENT WITHOUT REMOVING PERMANENT CONSTRUCTION OR ANY OTHER DUCTS NOT CONNECTED TO THE DAMPER BEING INSPECTED, SERVICED, REPAIR, OR REPLACED.

1ST LEVEL ELECTRICAL PLAN

PLANS FOR:
DUNG TRAN
LOT 1-A, SQ. 16, BLUE HAVEN S/D,
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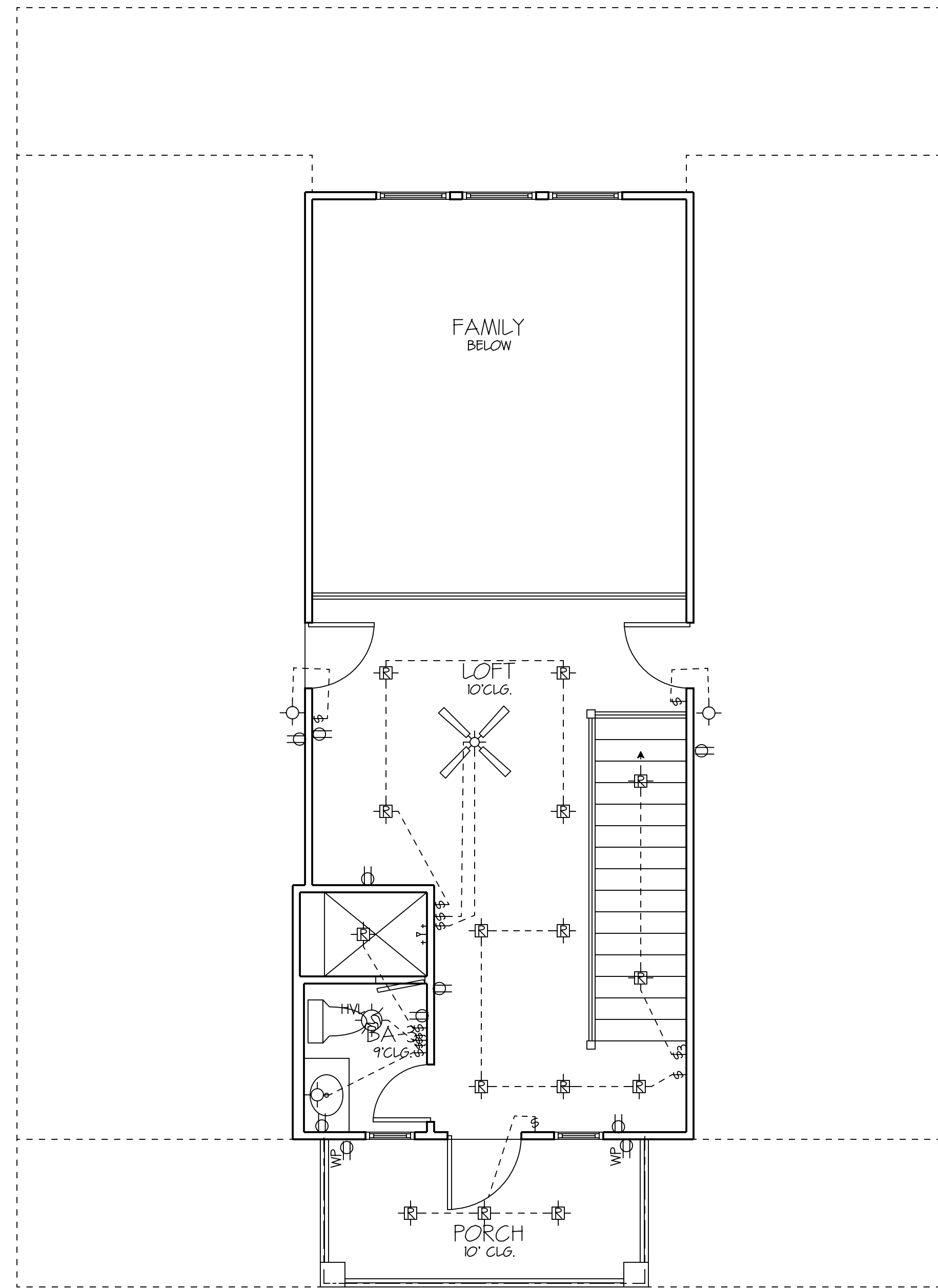
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2ND LEVEL ELECTRICAL PLAN

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