

IRC 2015
WFCM
80 MPH WIND SPEED
DESIGN MEETS THE PRESCRIPTIVE
ENERGY CODE REQUIREMENTS
CLIMATE ZONE: 2
MANUAL J CALCULATIONS BY OTHERS

RESIDENCE IS NOT LOCATED IN A
WINDBORNE DEBRIS PROTECTION REGION

**THERMAL COMPONENT CRITERIA
(U-FACTOR AND R-VALUE)
(MAX. SHGC = 0.35 FOR GLAZING)**

MAXIMUM GLAZING (PENETRATION) U-FACTOR	MIN. INSULATION R-VALUE		
	CLGS.	WALLS	FLOORS
0.35	R-30	R-5	R-5

FURR OUT 2x RAFTERS AS REQUIRED FOR BATT INSULATION AT CATHEDRAL CEILING OR USE SPRAYED FOAM INSULATION IF ACCEPTABLE.

- NOTES**
- CONTRACTOR SHALL SELECT WINDOW & DOOR PRODUCTS MEETING THE ENERGY EFFICIENCY REQUIREMENTS OF THE BUILDING CODE (BASED ON IRC 2015 CLIMATE ZONE 2 - U-FACTOR-0.75 MAX. SHGC-0.40 MAX.)
 - CONTRACTOR SHALL SELECT WINDOW & DOOR PRODUCTS MEETING WIND DESIGN PRESSURE REQUIREMENTS OF R603 (GARAGE DOOR SHALL BE RATED TO MEET WIND LIMITATIONS AS PER R 3012)
 - PER R3011 DOORS BETWEEN GARAGE & RESIDENCE SHALL BE 20-MINUTE FIRE RATED DOORS (INCLUDING ATTIC STAIRS). ALSO PER R302.51 SELF CLOSING.
 - SAFETY GLAZING (TEMPERED GLASS) IS REQUIRED AT LOCATIONS IDENTIFIED IN R308.4 EX. GLAZING WITHIN 24" OF DOORS & OVER TUBS)
 - PER R309.2 GARAGE SHALL BE SEPARATED FROM RESIDENCE BY NOT LESS THAN 1/2" GYPSUM BOARD AFFLIED TO THE GARAGE SIDE OF WALLS AND CEILING. GARAGES BENEATH HABITABLE ROOMS ABOVE SHALL BE SEPARATE BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD OR EQUIVALENT.
 - RAIL INDICATES GUARD RAIL AT PORCHES & GUARDRAIL WITH HANDRAIL AT STAIRS
 - OPENING IN THE RESIDENCE SHALL BE PROTECTED BY 20 MIN. RATED DOORS.
 - IF REQUIRED ATTIC ACCESS (IRC-R301) IS LOCATED IN THE GARAGE, THE REQUIRED 1/2" GYPSUM WILL BE APPLIED TO CEILING AND DROP DOWN STAIR MUST BE 20 MIN. RATED.
- PROTECTION OF APPLIANCE IN GARAGE IS REQUIRED.

WINDOW SCHEDULE

MARK	DESCRIPTION	HDR
AA	2-3050 VINYL S.H.	6'-8"
BB	2030 VINYL S.H.	6'-8"
CC	3030 VINYL S.H.	6'-8"

DOOR SCHEDULE

MARK	WIDTH	HEIGHT	THICK	DESCRIPTION
1	2'-8"	6'-8"	1 3/4"	1 LT. 2 PANEL EXTERIOR
2	2'-8"	6'-8"	1 3/8"	RAISED PANEL INTERIOR
3	2'-4"	6'-8"	1 3/8"	RAISED PANEL POCKET INT.

FLOOR PLAN

PLANS FOR:
STEPHEN & CANDY PIHET
38247 NORTH 2ND AVENUE
ST. TAMMANY PARISH, LA

DesignTech Residential Planners, Inc.
St. Tammany Parish, LA.
COVINGTON 985-871-7211 SLIDELL 985-847-0600

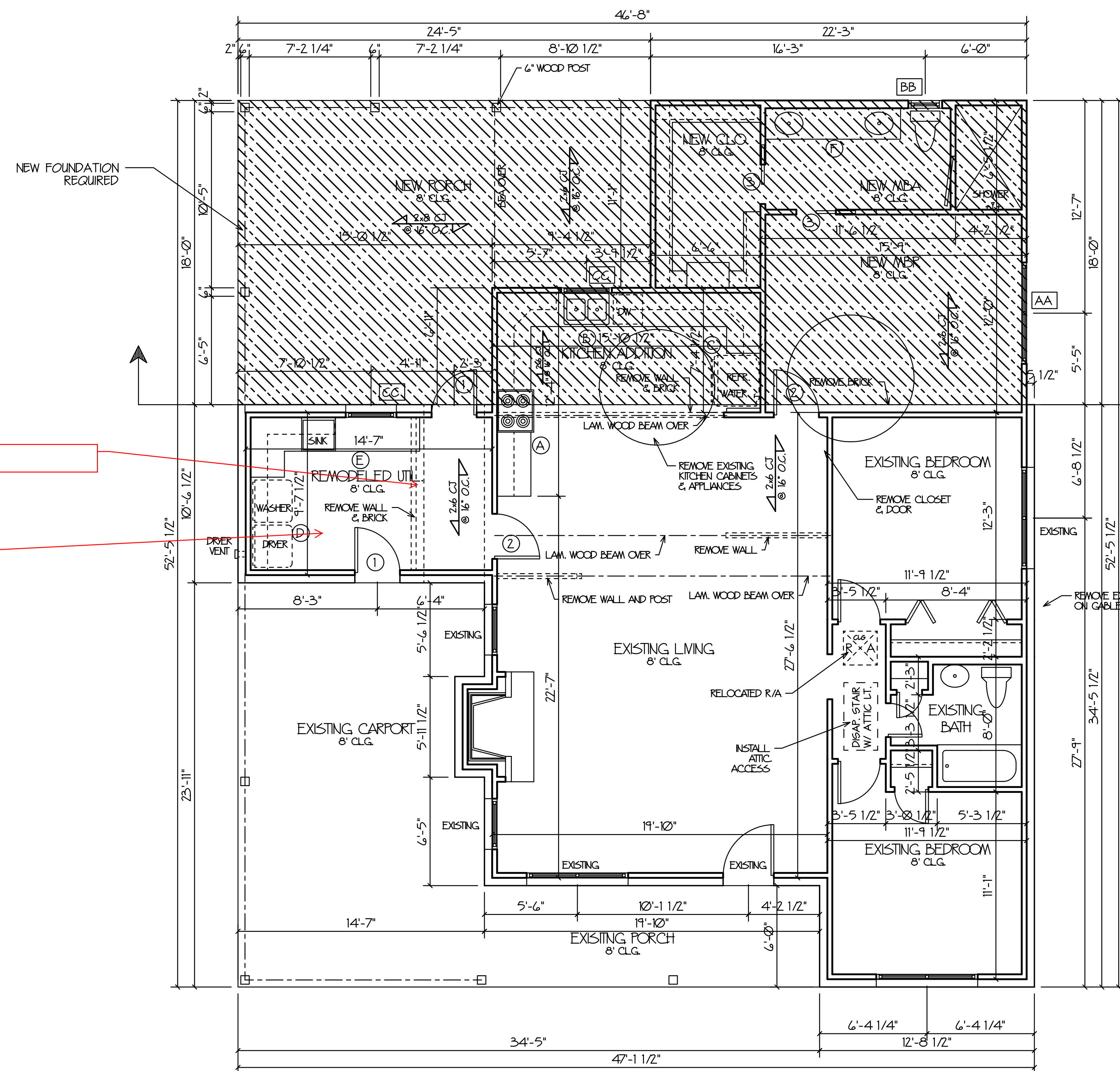
CODE	LIVING	AREA U. B.	INDEX
R	833	1208	1270

DESIGNED BY DMH FINISHED BY JMC CHECKED BY DMH

DATE: 6-17-20

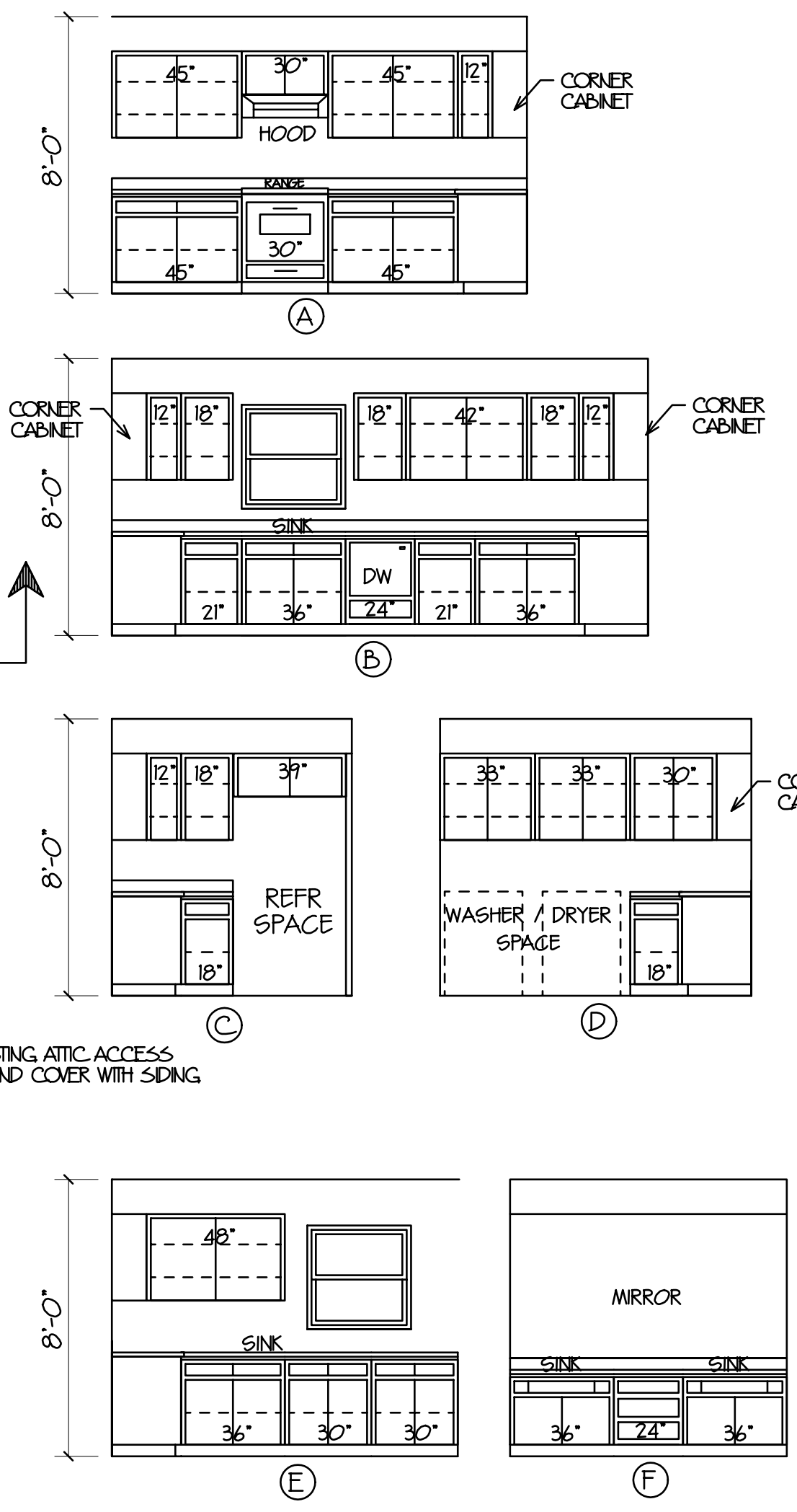
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this is the area of concern

Does this area need a foundation



AREA

REMODELED LIVING AREA	353
ADDITION LIVING AREA	480
TOTAL LIVING AREA	833
GARAGE	N/A
PORCHES	375
TOTAL AREA UNDER B/M	1208

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