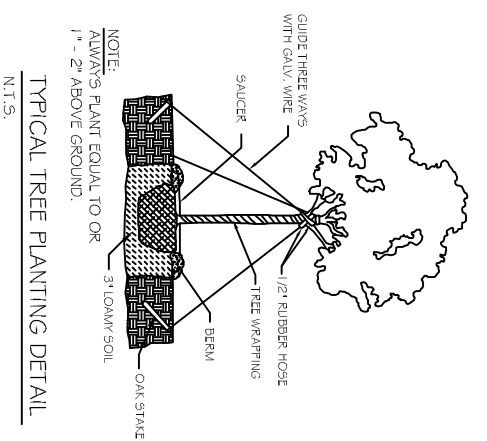
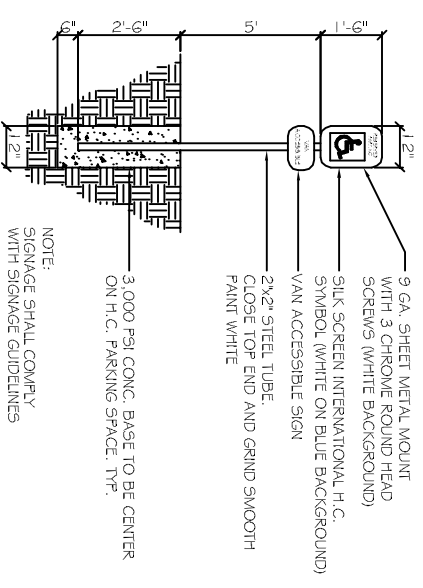


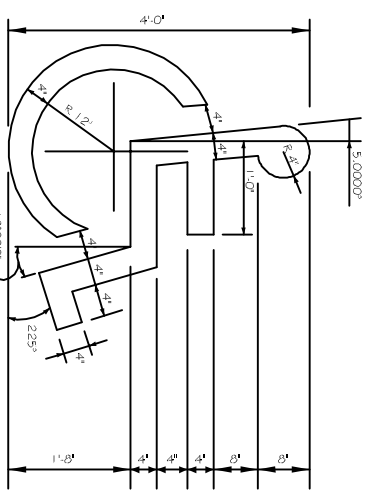
PROPOSED BUILDING
NEW 3,311 SQ. FT.
SLAB ON GRADE
WOOD CONSTRUCTION
9' EAVE HEIGHT



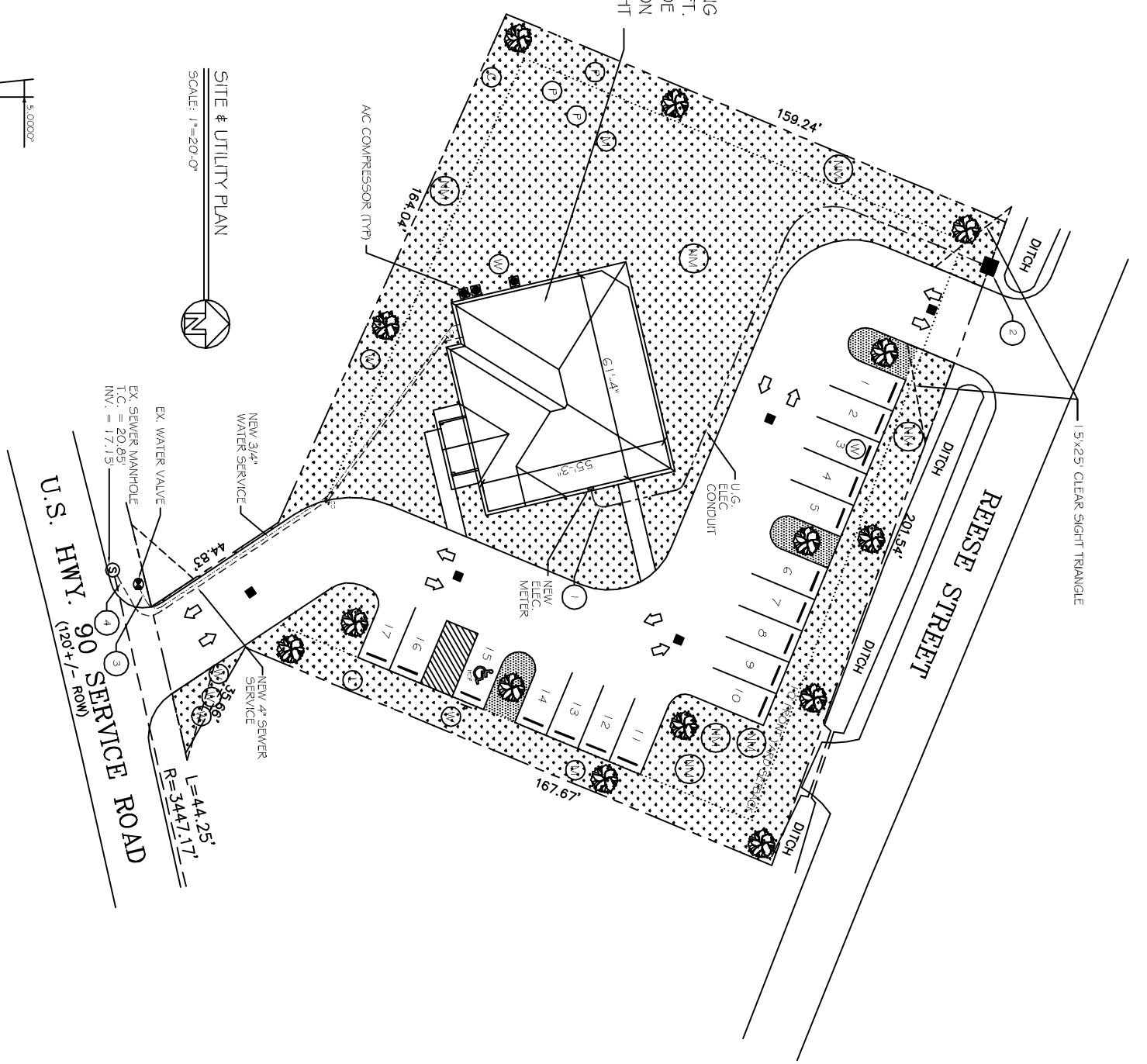
TYPICAL TREE PLANTING DETAIL
N.T.S.



HCP PARKING SIGN DETAIL
N.T.S.



HANDICAP SYMBOL DETAIL
N.T.S.



SITE & UTILITY PLAN
SCALE: 1"=20'-0"

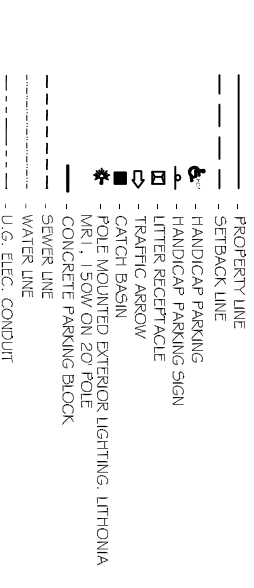
BAY ST. LOUIS ADOPTED ZONING ORDINANCES (SECTION 809):

SECTION 809.2 PERIMETER LANDSCAPED AREA:
A. SIZE: A 10' WIDE LANDSCAPED STRIP SHALL BE PROVIDED ALONG ALL COMMON PROPERTY LINES AND ADJACENT TO THE STREET RIGHT-OF-WAY.
B. MATERIALS: ONE TREE FOR EVERY 50' OF LINEAR FRONTAGE. TREES SHALL HAVE A MINIMUM OF 2" DIAMETER.

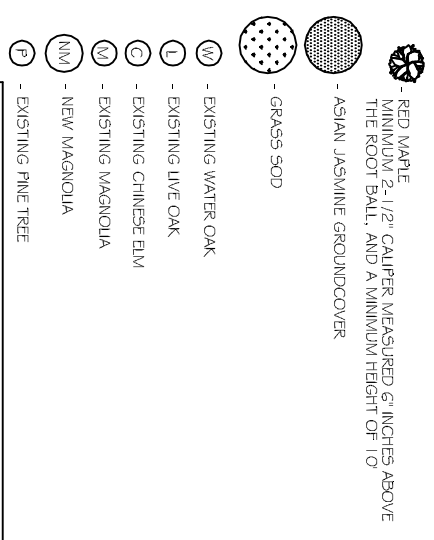
SECTION 809.3 INTERIOR LANDSCAPED AREAS:
A. AT LEAST 8% OF THE GROSS AREA OF THE INTERIOR PARKING LOT AREA SHALL BE LANDSCAPED.
C. TREES SHALL BE REQUIRED AT A MINIMUM RATIO OF ONE SHADE TREE FOR EVERY 3,500 SQ. FT. OF TOTAL VEHICULAR USE AREA.
D. TREES SHALL BE AT LEAST 10' IN HEIGHT AND 2-1/2" IN DIAMETER MEASURED 6" ABOVE THE BASE.
E. INTERIOR LANDSCAPED AREAS SHALL BE A MINIMUM OF 90 SQ. FT. FOR EACH SHADE TREE.

UTILITY NOTES: #

1. SCH. 80 PVC CONDUIT WHERE PIPE IS EXPOSED OUTSIDE OF BUILDING WALL. TRANSITION BACK TO SCH. 40 PVC @ 90° PVC ELBOW BELOW GRADE. ALL 90° FITTINGS TO BE 3/4" LONG SWEEP TYPE.
2. 120/240V 3Ø 225A SERVICE FROM UTIL. CO. FEEDER BY UTIL. CO. FIELD LOCATE TRANSFORMER AND COORDINATE WITH ELEC. COMPANY REGARDING ELECTRICAL SERVICE CONNECTION.
3. THE NEW WATER SERVICE INTO EXISTING WATER MAIN ON U.S. HWY. 90 SERVICE ROAD. FIELD VERIFY LOCATION AND COORDINATE WITH PROVIDER REGARDING SERVICE CONNECTION.
4. THE NEW SEWER SERVICE INTO EXISTING SEWER MANHOLE ON U.S. HWY. 90 SERVICE ROAD. FIELD VERIFY LOCATION AND COORDINATE WITH PROVIDER REGARDING SERVICE CONNECTION.



LANDSCAPING LEGEND



PARKING REQUIREMENTS

2 PARKING SPACES FOR EACH OFFICE, PLUS ONE SPACE FOR EACH EMPLOYEE. PLUS ONE SPACE FOR EACH 300 SQ. FT. OF GROSS FLOOR AREA.

BUILDING 500 SQ. FT. 3311
15 REQUIRED
17 PROVIDED

DAMMON
ENGINEERING, INC.
Architects & Engineers

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CHIEF ENGINEER: EMMETT DAMMON, P.E.
CHIEF ARCHITECT: ROBERT WILTSE
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SLIDELL, LA 70458

AUSTIN RAHAM
ORTHODONTICS

LOT 27.85
101 REESE STREET
BAY ST. LOUIS, MISSISSIPPI

JOB No: 2147 DATE: 08-06-2012
DRAWN BY: BSN CHECKED BY: BSN

REVISIONS		DATE
#	DESCRIPTION	

SHEET No: 03 OF 15

C-2

SITE AND UTILITY PLAN