

**Dammon Engineering Inc.**

1095 Florida Ave.  
Slidell, LA 70458  
(985) 649-5832  
Fax: (985) 641-5950

1694

**FAX COVER SHEET**

FAX NUMBER TRANSMITTED TO: 228-435-6188  
TO: MIKE HORNBERK  
FROM: CHUCK DAMMON  
CLIENT/MATTER: \_\_\_\_\_  
REFERENCE: ~~LA~~ LA QUINTA  
DATE: 9-19-07 NO. OF PAGES INCLUDING COVER SHEET: 8

COMMENTS:  
MIKE PLEASE SEE THE  
ATTACHED.  
THANKS  
Chuck

IF YOU EXPERIENCE ANY PROBLEMS RECEIVING THIS FAX, PLEASE CALL (985) 649-5832,  
OR FAX (985) 641-5950

# DAMMON ENGINEERING, INC.

dammonengineering.com

*CONSULTING*

*DESIGN*

*STUDIES*

*EXPERT WITNESS*

1095 Florida Ave.  
Slidell, LA 70458

P.O. Box 2830  
Slidell, LA 70459

985-649-5832  
FAX 985-641-5950

September 19, 2007

City Of Biloxi Building Code Plan Review  
Biloxi Building Code Office  
676 Dr. Martin Luther King Blvd.  
Biloxi, MS.  
Attn: Michael Hornbeck

Ref: La Quinta Inn Suites  
Cedar Lake Road  
Biloxi, MS.

Dear Mr. Hornbeck

The enclosure behind the toilets shall be capped off in the attic using two layers of 5/8" type "X" sheet rock. The enclosure behind the bathtubs shall be enclosed from the top using three layers of 5/8" type "X". Per detail LL sheet a-7. All piping penetrating a rated assembly shall be fire caulked using the appropriate type of fire caulking for that penetration. All penetrations shall be fire caulked using Grabber IFC and is approved for 4" PVC pipe, with a point of contact from 0 in. to 3/4 in. All arches in the units shall have 5/8" type "X" sheet installed on it to complete the fire rating assembly for that area.

The original submitted plans for this bldg were classified as a R-1 occupancy. We have changed the occupancy classification to R-2 due to the fact that each unit has a microwave and refrigerator and allows for extended stays uses. Please see the attached letters.

Please call me with any questions you may have.

Thank you,

Chuck Dammon





**909 Hidden Ridge \* Suite 600  
Irving, Texas 75038  
Phone: 214-492-6600**

**September 17, 2007**

**To Whom It May Concern:**

**This property is a Inns & suites prototype and can offer extended stay rates at owner/management discretion. Their rates for extended stays as of this date are between \$2,500-\$3,000 monthly.**

**If you have any questions, please do not hesitate to contact me.**

**Sincerely,**

**Steven D. Clinkenbeard  
Director-Franchise Services  
Region 62  
Office: 931-729-0192  
Fax: 931-729-1465  
Cell: 615-419-1377**

**Wake up on the bright side**



510

La Quinta: Spanish for  
"Long term stays welcome."

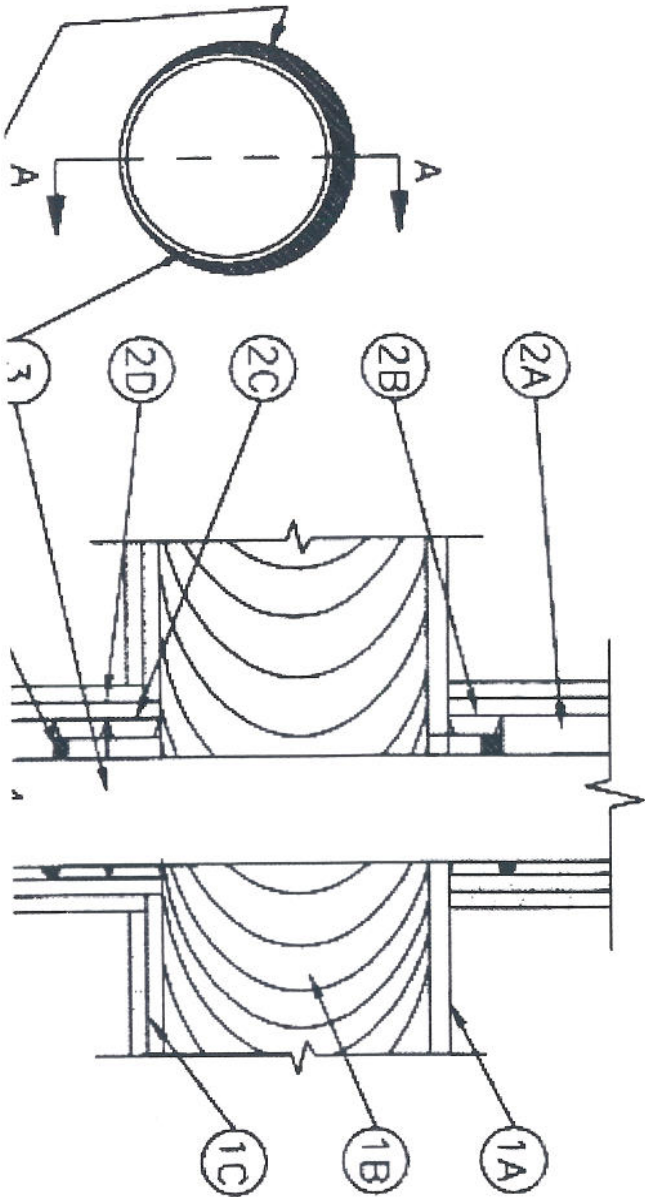
I-10 WEST • EXIT 266



Framed Construction		Penetrants							GrabberGard Products			Hourly Rating	
		No Penetrants	Metallic Pipe/Conduit	Non-Metallic Pipe	Electrical Cables	Cable Trays	Insulated Pipe	Mechanical Ducts	Multiple Items	I F C	E F C		E F S
Floors	F-C-1119								✓			1	
	F-C-1120								✓			2	
	F-C-1121								✓			1	
	F-C-1122									✓		1	
	F-C-1123									✓		2	
	F-C-1124									✓		1	
	F-C-2283								✓			1	
	F-C-2284								✓			1	
	F-C-2285								✓			1	
	F-C-2286								✓			1	
	F-C-2287									✓		1	
	F-C-2288									✓		1	
	F-C-2289									✓		1	
	F-C-2290									✓		1	
	F-C-3079								✓			1	
	F-C-3080									✓		1	
Walls	W-L-1338								✓			1, 2, 3 & 4	
	W-L-1342									✓		1, 2, 3 & 4	
	W-L-2384								✓			1, 2, 3 & 4	
	W-L-2387									✓		1, 2, 3 & 4	
	W-L-3245								✓			1 & 2	
	W-L-3247									✓		1 & 2	
	W-L-4046								✓			1 & 2	
	W-L-4047									✓		1 & 2	
	W-L-5217								✓			1 & 2	
	W-L-5218								✓			1, 2, 3 & 4	
	W-L-5219									✓		1 & 2	
	W-L-7107								✓			1 & 2	
	W-L-7108								✓			1 & 2	
	W-L-7109									✓		1 & 2	
	W-L-7110									✓		1 & 2	



System No. F-C-2286  
F Rating - 1 Hr  
T Rating - 1 Hr



2286 F-C-2286

## F-C-2286

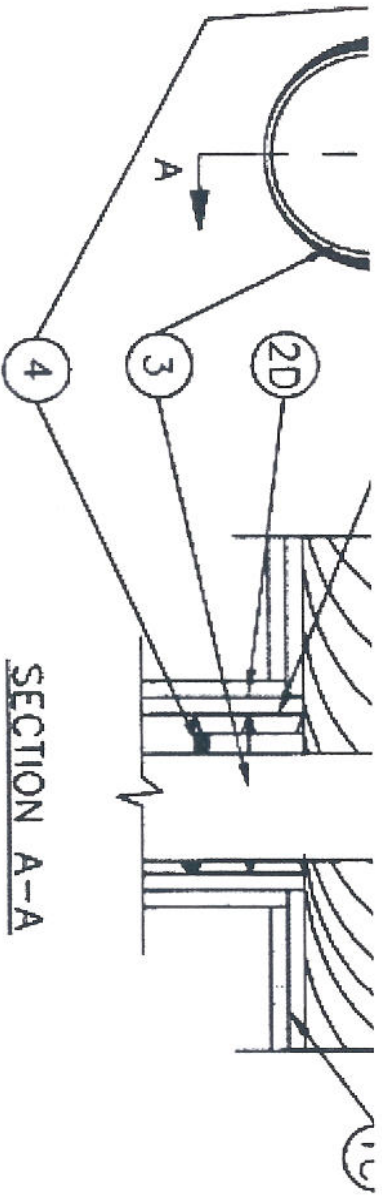
3. **Nonmetallic Penetrant**<sup>++</sup> – One non-metallic pipe to be installed either concentrically or eccentrically within the firestop system. The annular space between penetrant and periphery of opening shall be min 0 in. (point contact) to max 3/4 in. Pipe to be rigidly supported on both sides of floor or wall assembly. The following types and sizes of nonmetallic pipes or conduits may be used:
  - A. **Polyvinyl Chloride (PVC) Pipe** – Nom 4 in. diam (or smaller) Schedule 40 solid core or cellular core PVC pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
  - B. **Acrylonitrile Butadiene Styrene (ABS) Pipe** – Nom 4 in. diam (or smaller) Schedule 40 cellular or solid core ABS pipe for use in vented (drain, waste or vent) piping systems.
  - C. **Chlorinated Polyvinyl Chloride (CPVC) Pipe** – Nom 4 in. diam (or smaller) SDR17 CPVC pipe for use in closed (process or supply) or vented (drain, waste or vent) piping systems.
  - D. **Rigid Nonmetallic Conduit**<sup>+</sup> – Nom 4 in. diam (or smaller) Schedule 40 PVC conduit installed in accordance with Article 347 of the National Electrical Code (NFPA No. 70).
  
4. **Fill, Void or Cavity Material**<sup>\*</sup> – **Sealant** – Min 3/4 in. thickness of fill material applied within the annulus, flush with top surface of floor or top surface of sole plate. Min 1 in. thickness of fill material applied within the annulus, flush with bottom surface of lower top plate. Min 1/2 in. diam bead of fill material applied at the penetrant/plate interfaces at point contact locations on both sides of assembly.

**John Wagner & Associates Inc.** – GrabberGard IFC

+ Bearing the UL Listing Mark

++ Vented piping systems described in the UL Fire Resistance Directory are limited to closed piping systems based on the Canadian building code requirements.

\* Bearing the UL Classification Marking



1. **Floor-Ceiling Assembly** – The 1 hr fire-rated wood joist floor-ceiling assembly shall be constructed of the materials and in the manner specified in the individual L500 Series Floor-Ceiling Designs in the UL Fire Resistance Directory as summarized below:
  - A. **Flooring System** – Lumber or plywood subfloor with finish floor of lumber plywood or **Floor Topping Mixture\*** as specified in the individual Floor-Ceiling Design. Max diam of opening is 5 in.
  - B. **Wood Joists\*** – Nom 10 in. deep (or deeper) lumber, steel or combination lumber and steel joists, trusses or **Structural Wood Members\*** with bridging as required and with ends firestopped.
  - C. **Gypsum Board\*** – Thickness, type, number of layers and fasteners as specified in the individual Floor-Ceiling Design. Wallboard nailed to wood joists. Max diam of ceiling opening is 5 in.
  
2. **Chase Wall** – The through penetrants (Item 3) are routed through a 1 or 2 hour fire-rated single or double wood stud/gypsum wallboard chase wall constructed of the materials and in the manner specified in the individual U300 Series Wall and Partition Designs in the UL Fire Resistance Directory and shall include the following construction features:
  - A. **Studs** – Nom 2 by 4 in., 2 by 6 in. or double 2 by 4 in. lumber studs.
  - R **Sole Plate** – Nom 2 hv 4 2 hv 6 in. or parallel 2 hv 4 in. lumber plates tightly butted. Max diam of opening

## Dammon Engineering

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**From:** Lou Lanza [loulanco@bellsouth.net]  
**Sent:** Thursday, August 30, 2007 5:41 PM  
**To:** Michellewssw@aol.com  
**Cc:** ronnie\_bla@msn.com; ejhernandez01@hotmail.com; 'Chris Potter'; fred@qrcllc.com; dammoneng@bellsouth.net  
**Subject:** RE: FW: biloxi pics aug 2007

Mark,

By all means.....especially regarding the asphalt parking lot of applebees.....(which Lanco did not construct)... not certain what addition you're referring to....but please check into the situation....

Lou Lanza

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**From:** Michellewssw@aol.com [mailto:Michellewssw@aol.com]  
**Sent:** Thursday, August 30, 2007 4:21 PM  
**To:** loulanco@bellsouth  
**Cc:** c.potter@qrcllc.com  
**Subject:** Fwd: FW: biloxi pics aug 2007

Sir,

I am the architect of record on the QRC/ Applebees' project.

Someone, I trust it is not you, as I am assuming you are not a licensed engineer in the State of Mississippi, has designed a substandard and unsafe 'addition to the property owned by QRC and operated as a restaurant. Practicing engineering or modifying engineering drawings is against State and I believe Federal law. I am assuming you would not do that.

You constructed it.

I have asked for the name or names of those professionals whom are responsible for its design and quality control.

If you are not capable of providing that information, I am obligated under State law to mandate a formal complaint as this work is a safety hazard on property owned by QRC, to the State Board of Professional Licensing, the Mississippi Attorney General, and the Biloxi Building Department.

I hope you can be of assistance so that this matter can be reasonably resolved quickly.

Thank you,

Mark Wassweiler, NCARB

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Get a sneak peek of the all-new [AOL.com](http://AOL.com).

9/6/2007



Fire Department  
David Roberts, Director

LA QUINTA INN & SUITES  
CEDAR LAKE RD.  
SPRINKLER/FIRE ALARM  
JOB #: 07022

DATE: July 6, 2007  
TO: To Whom It May Concern  
FROM: City of Biloxi, Fire Department  
RE: Plan Review Comments

\*\*\*A signed set of plans shall be on the job site at all times for review by the fire and/or building official.\*\*\*

City of Biloxi, Fire Department plan review comments, additions, or changes.

Plan Date: 5/17/07 Date Received: 2007 Reviewed: 7/2/07

1. The inspector's test valve and outlet shall be located at the most hydraulically remote point of the sprinkler system in accordance with the authority having jurisdiction.
2. All valves shall be identified in accordance with NFPA 13 section 6.7.4.
  - 6.7.4\* Identification of Valves.
    - 6.7.4.1 All control, drain, and test connection valves shall be provided with permanently marked weatherproof metal or rigid plastic identification signs.
    - 6.7.4.2 The identification sign shall be secured with corrosion-resistant wire, chain, or other approved means.
    - 6.7.4.3 The control valve sign shall identify the portion of the building served.
3. Shall install a sign on or near the fire department connection that indicates the maximum operating pressure of the system as required by NFPA 13 section 8.16.2.4.7.2. The letters on the sign shall be 2" red block letters all capitalized on a white background. Shall install a sign on the fire department connection in accordance with NFPA 13 section 8.16.2.4.7.1
  - 8.16.2.4.7.1 Each fire department connection to sprinkler systems shall be designated by a sign having raised or engraved letters at least 1 in. (25.4 mm) in height on plate or fitting reading service design — for example, AUTOSPKR., OPEN SPKR., AND STANDPIPE.

170 Porter Ave.  
P.O. Box 68  
Biloxi, MS 39533  
228-435-6200  
Fax 228-435-6183

Visit online at  
biloxi.ms.us

4. The sprinkler system shall be monitored by an offsite monitoring company as required by the International Fire Code.  
**903.4.1 Signals.** Alarm, supervisory and trouble signals shall be distinctly different and shall be automatically transmitted to an approved central station, remote supervising station or proprietary supervising station as defined in NFPA 72 or, when approved by the fire code official, shall sound an audible signal at a constantly attended location.
5. All components of the sprinkler system shall be supervised as required by the International Fire Code.  
**903.4 Sprinkler system monitoring and alarms.** All valves controlling the water supply for automatic sprinkler systems, pumps, tanks, water levels and temperatures, critical air pressures, and water-flow switches on all sprinkler systems shall be electrically supervised.
6. The fire official shall witness the hydrostatic test of the sprinkler piping.
7. Shall install smoke detectors in the first floor lobby and in the 1<sup>st</sup> floor corridor to meet complete coverage.
8. Shall install a fire alarm strobe device in the breakfast area.
9. The smoke detector in the exercise room does not meet coverage if not centered in the room.
10. Shall install smoke and heat detectors in the elevator shaft.
11. The heat detectors that are located in the elevator shaft, elevator machine room, and elevator pit shall be located within 2 feet of the sprinkler head.
12. Install a fire alarm manual pull device by the exit door near the business center and by the exit door in the lobby.
13. If duct detectors are required to be installed, they shall be tied into the building fire alarm system as required by the IFC section **907.12 Duct smoke detectors.** Duct smoke detectors shall be connected to the building's fire alarm control panel when a fire alarm system is provided. Activation of a duct smoke detector shall initiate a visible and audible supervisory signal at a constantly attended location. Duct smoke detectors shall not be used as a substitute for required open area detection.

14. The smoke detectors in each unit do not meet proper coverage in accordance with NFPA 72. Detectors shall be relocated to meet coverage or install an additional smoke detector in each unit.

15. Smoke detectors in the 2<sup>nd</sup> and 3<sup>rd</sup> floor corridors shall meet proper coverage in accordance with NFPA 72.

16. The fire alarm strobe devices shall continue to flash when the fire alarm has been silenced. They shall flash until the fire alarm has been reset.

17. The fire alarm strobe devices shall be synchronized as required by NFPA 72 section 7.5.4.2.7. In corridors where more than two visible notification appliances are in any field of view, they shall flash in synchronization.

18. Shall install detection and notification devices in the sleeping areas as required by NFPA 72 section 7.5.4.4.

7.5.4.4.1 Combination smoke detectors and visible notification appliances or combination smoke alarms and visible notification appliances shall be installed in accordance with the applicable requirements of Chapter 5, Chapter 7, and Chapter 11.

19. The visual notification appliances in the sleeping rooms shall comply with NFPA 72 table 7.5.4.4.2 and section 7.5.4.4.3.

7.5.4.4.3 For rooms with a linear dimension greater than 4.87 m (16 ft), the visible notification appliance shall be located within 4.87 m (16 ft) of the pillow.

In conclusion of this plan review, we ask that you address each of the items labeled above. Understand that this is only a review of the documents we received from your firm. This review was done to the best of our ability and the ultimate responsibility for code compliance remains with your firm. If you disagree with our findings, we are open to discussion by appointment. We understand that you are eager to move forward and our staff is here to help you move quickly through the process with our citizen's safety concerns in mind.

Sincerely

*Inspector R. Herrin*  
Inspector Ronnie Herrin

*Inspector Vincent Payne*  
Inspector Vincent Payne

## Dammon Engineering

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**From:** Eduardo J Hernandez [ejhernandez01@hotmail.com]  
**Sent:** Saturday, September 01, 2007 11:39 AM  
**To:** dammoneng@bellsouth.net  
**Subject:** FW: RE: suggested response letter

FYI

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From: "Eduardo J Hernandez" <ejhernandez01@hotmail.com>  
To: ronnie\_bla@msn.com, livlanco@bellsouth.net, loulanco@bellsouth.net  
Subject: RE: suggested response letter  
Date: Sat, 01 Sep 2007 11:26:26 -0500

Guys this will end in a dusty court room. I will suggest to be tactical about it! 😬. First let them respond to the e-mail bellow and let them believe that they have the upper hand, then I will recommend first to send a demand of payment (for records) via certified mail or threw an attorney, when denied I will suggest a notification of intent and ultimately take action! If this goes to court been the victim will most likely have a better out come than been the push over (as we know by experience the truth has nothing to do with the outcome.....sympathy and connections do!). The only reason for this preliminary communication is to set them up!!!!

I will ask for me and LQ to be keep out of this mess at this point, however if we are going "ballroom dancing", I will have my tox and shiny shoes" ready to join , as I'm sure that this will impact my project one way or another.

I will also recommend to open the ramps up, so we are "good neighbors" a sing " unsafe construction area" should be place. If the driveway is full of construction debris and trafic is block....well that it is to bad, since we do not have a maintenance agreement.

Also QRC senior management most be made aware of the mistakes that their junior management team is making.....things may suddenly shift!!!

My slogans are:

1) What goes around....comes around

2) There is nothing better than a well manage dumb face to succeed

3) Relationships is better than money

4) I am a lover...not a fighter

Doc

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From: "Ronnie Blair" <ronnie\_bla@msn.com>  
 To: ejhernandez01@hotmail.com, loulanco@bellsouth.net, livlanco@bellsouth.net  
 Subject: RE: suggested response letter  
 Date: Sat, 01 Sep 2007 05:10:12 -0500

My first thought is! WE should have put up our forms at Our elevations and poured our concrete as per our plans, and not have worried about applebees, and let Mark W work out his own problems!! But Iam like you where was this brain when all the discussions was goin on?? it is smoke screen Gunn Chris Potter,and that whole gang of highwaymen, have been laying a trap for Dr. H from the begining, They are trying ta Trap Land shapers, to repave the parking lot , and have not informed him of the condition of the non existant road bed, which one of our subs is friends with the owner of landshapers and spoke with him yesterday, We met May 4th,and agreed on course of action, to help to that point and to date, applebees,nor Gunn has lifted a finger to help or correct any problem associated to grades! WHY!! and why did we take it upon ourselves to be the Captian America??? I feel the same as lou, We need to remove all of our work immed. since we have been told its unsafe, before there is a manufactured incident ,which will cause claims, and let Mark Brain, And Chris potter deal for once,there own problems,we have enough of our own

Ron Blair

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From: "Eduardo J Hernandez" <ejhernandez01@hotmail.com>  
 To: loulanco@bellsouth.net  
 CC: ronnie\_bla@msn.com  
 Subject: suggested response letter  
 Date: Fri, 31 Aug 2007 22:22:46 -0500

Lou,

I would his answer as follows: (also make sure that this goes up high in QRC corporate)

Mr. Wassweiller,

I would have imaged that since you are ultimately responsible for the QRC architectural/engineering Biloxi project, that you would have been informed, made aware of, and involved in all our meetings, discussion and correspondences between Mr. Potter, QRC attorneys, and your contractor with respect to this issue. The answer to your question should be in their records (as they should also be in yours). I will assume that it was you who reviewed and approved the site plan at Biloxi. You (or whoever did), made a major mistake to assume that the hotel driveway was part of your property and calculated the driveway elevation to your parking area and street, failing to recognize that it is the hotel and not QRC, who owns the property (easement). The elevation issues that were early identified and communicated to your contractor and Mr. Potter, could have been easily resolved (at no expense to you since you dig dirt out) at the time in which dirt work was initiated at your site (our permits and filling was already in place). I also find it out of the " standard of practice" that this has become an issue now when we are requesting for our agreement to be honored. Who was in charge of reporting to you and/or QRC of any discrepancies or concerns? If you and Mr. Potter were so concerned about the safety of your clients and so discouraged with our services, why didn't we ever receive a correction notice? I will strongly suggest that before you start asking for documentation from my office, check with yours, Mr.Potter and Gunn Construction first.

**Where did your parking area elevations came from? Why did your contractor not perform the job that was requested of us? Did you or have you ever visited the site? Is the senior QRC management team aware of all the issues? Are you and/or Mr. Potter creating a "smoke screen" so QRC upper management will not realize your mistakes and over budget?**

I hope that you can appreciate my frustration and my efforts to be eloquent

Sincerely,

Lou Lanza

From: *Michellewssw@aol.com*  
To: *loulanco@bellsouth.net, c.potter@qrcllc.com, ejhernandez01@hotmail.com*  
CC: *fred@qrcllc.com, glenn@qrcllc.com, dkillebrew@bakerdonelson.com, cpost@bakerdonelson.com, KGuttshall@qrcllc.com*  
Subject: *Re: FW: 8/30/07*  
Date: *Fri, 31 Aug 2007 17:01:45 EDT*

Mr. Lanza,

To repeat sir, I am the architect or record for QRC/Applebees'. ( Mark Wassweiler) I am not and will not threaten you. There is not any need or gain.

I have asked you to identify the professional designer, i.e. architect or engineer, whom designed the work you installed on QRC property.

As previously notified your work on QRC property is an unsafe design,,,, and under my professional registration, I am obligated to protect the safety of the public domain, the basic interests of QRC, and my project. As I believe you understand, John McClain is the civil engineer for QRC/ Applebees'. He does not have any documents either, showing this work.

Please provide the name of the registered professional who designed this work. Please, let me make this clear, I do not care what you do for anyone else, but the referenced work is substandard in design is not acceptable on QRC property.

I must speak to that professional regarding the tripping and slipping hazards, of anybody who walks in the wrong places in this parking lot, that is, the property of QRC. QRC does not have an engineers drawing reflecting these 'improvement' that you made on QRC property.

Certainly, you know who that designer is and you understand the obligations of such.

Thanking you again, for your assistance, sir.

Mark Wassweiler, NCARB

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