

**BUILDING INSPECTION AUTHORIZATION AND AGREEMENT**  
**THIS IS A TWO PAGE, LEGALLY BINDING CONTRACT. PLEASE READ IT CAREFULLY.**

**PARTIES:** The parties to this Building Inspection Authorization and Agreement are: \_\_\_\_\_ Paul Fortmayer \_\_\_\_\_ (hereinafter "Inspector"), and \_\_\_\_\_ Janell & Mike Pulliam \_\_\_\_\_ (hereinafter "Client").

**SUBJECT:** Inspector agrees to conduct a limited, visual inspection of the property located at \_\_\_\_\_ 125 Ayshire, Slidell La 70461 \_\_\_\_\_. This inspection shall be conducted on or about \_\_\_\_\_ April 6, 2016 \_\_\_\_\_ for a fee of \_\_\_\_\_ \$435 (\$510 w/pool) \_\_\_\_\_.

**ACCEPTANCE OF THIS AGREEMENT:** This agreement shall be binding upon and inure to the benefit of the parties hereto, their heirs, successors, assigns, agents, and representatives of any kind whatsoever. This agreement constitutes the entire integrated agreement between the parties hereto pertaining to the subject matter hereof, and may be modified only by a written agreement signed by all of the parties hereto. No oral agreements, understandings, or representations shall change, modify, or amend any part of this agreement. This Agreement is incorporated with the Inspection Report to be prepared by Inspector. Said report is to be prepared for the sole and exclusive use of Client. Anyone executing this agreement on behalf of a buyer or seller of the subject property certifies that he/she is duly authorized by the Client to do so and is bound to deliver to Client the report incorporated herewith along with a copy of this agreement, which shall be binding on the Client.

**SCOPE OF INSPECTION:** Unless otherwise agreed to by the parties, the inspection of the subject property shall be performed by Inspector for the Client in accordance with the Standards of Practice (SOP) as set forth by the Louisiana State Board of Home Inspectors (LSBHI). The purpose of the inspection is to identify and disclose to the Client **MAJOR DEFICIENCIES AND DEFECTS OF THE SYSTEMS AND COMPONENTS OF THE SUBJECT PREMISES, WHICH ARE EXISTING AND VISUALLY OBSERVABLE AT THE TIME OF THE INSPECTION.** The Inspection Report shall provide the Client with a better understanding of the property conditions as observed at the time of the home inspection. Although minor problems may be mentioned as a courtesy, the report will not attempt to list them all. The inspection will consist of only a visual analysis of major systems and components of the property and comment on those that are in need of immediate repair, replacement, or further evaluation by a specialist. The inspection is not technically exhaustive. The Inspection Report contains information that may or may not be mentioned or discussed during any verbal discussion of the findings of the Inspector. It is agreed that no claim shall be made against Inspector for any verbal representations, which are inconsistent with or not contained in the Inspection Report. Please read the entire report carefully.

**LIMITATIONS OF THE INSPECTION:** The inspection is limited to readily accessible and visible major systems, components, and equipment located in and attached to the premises. Any area which is not exposed to view, is concealed, or is inaccessible because of soil, wall coverings, floor coverings, ceiling coverings, rugs, carpets, furnishings, or other materials is excluded, and not to be considered part of this inspection. The Inspector shall have no liability for conditions which are concealed from view or are inaccessible to the Inspector. Weather limitations may affect the extent to which the Inspector may inspect the property, especially in connection with the heating and air conditioning systems. This inspection is not considered to be an expressed or implied guarantee or warranty of any kind regarding the condition of the property, its systems or components. Further limitations described in the report also apply.

**INSPECTION EXCLUSIONS:** The following items are excluded from any inspection performed by Inspector on the subject property, unless specifically required by LA Title 46, Professional & Occupational Standards, Part XL, Home Inspectors:

1. Hidden or latent defects;
2. The presence of pests, termites, wood damaging organisms, rodents, or insects;
3. Detached buildings, walkways, driveways, fencing, swimming pools, hot tubs, spas, underground plumbing or sprinklers, and other components or structures not attached to the premises (except for parking structures), unless specifically agreed upon in writing by both parties;
4. Inspecting for, testing for or reporting on the presence of asbestos, radon gas, lead paint, urea formaldehyde, soil contamination, potentially dangerous chemical substances, problem/contaminated drywall (sometimes referred to as "Chinese drywall), mold, mildew, algae, bacteria, air quality, water quality or other potential environmental hazards, or damage(s) caused thereby;
5. Building code or zoning ordinance compliance or violation;
6. The adequacy or efficiency of any design or installation process of any system, component or other feature of the subject property, or compliance with manufacturer's specifications of any system, component or other feature of the subject property;
7. Structural stability, engineering analysis, geological stability or soil conditions;
8. Window-mount or wall-mount air conditioners or gas-powered air conditioners;
9. The causes of the need for a repair, or the methods, materials and costs of a repair;
10. Building or property measurements, the marketability or market value of the property, the insurability of the property, or the advisability or inadvisability of purchase of the property;
11. Any system or component specifically noted as excluded or items not specifically identified in the written report;
12. The internal conditions of air conditioning and heating systems or the adequacy of airflow, duct work and/or insulation;
13. Furnace heat exchangers, the interior or non-visible areas of fireplaces, chimneys or vent flues, or gas and electrical appliances such as fire pits, barbecues, and outside heaters;
14. Radio or remote controlled devices, alarms, garage door openers, automatic gates, elevators, thermostatic timer controls, dumbwaiters, low voltage electrical systems or other ancillary wiring that is not part of the primary electrical distribution system;
15. Technically exhaustive inspections, evaluations, or tests of any type, or the prediction of future conditions or life expectancy of systems or components;
16. The grading of soil, exterior slabs, driveways, walkways or patios, or the potential for flooding or holding standing water;
17. Evaluating fire-resistive qualities of any system, structure or component of the building;
18. Private water or sewage systems or related equipment, such as wells, septic systems, sewage pumps, water softeners, water purification systems, etc.;
19. Electrical load calculations, testing of shutoff valves, testing for gas leaks, testing of any overcurrent devices; and
20. Requirements of Americans with Disabilities Act (A.D.A.).

The aforementioned inspection exclusions are based upon the SOP of the LSBHI, applicable State and Local agencies and general industry standards. It is not intended to be a technically exhaustive list, and additional exclusions may apply.

**Provisions governing the specific requirements of a home inspection are listed in the SOP of the LSBHI, a copy of which has been provided to the Client, as required by law. I have received, read and agree to the aforementioned SOP.** (initial) \_\_\_\_\_

**MOLD DISCLAIMER:** While Inspector is not performing a mold inspection, LA law requires that the discovery of suspected mold growth be included in the report. According to the EPA, mold spores are ubiquitous in the environment, therefore all houses (including this one) have mold present inside of the structure. Please be advised that this serves as your notice that mold is present in this home. Due to the fact that mold can germinate in as little as 4 hours, and can become extensive within 24 - 48 hours, the home inspector cannot be held liable for any mold growth that is discovered in the home after the home inspection has been completed. A copy of the Mold Information Fact Sheet has been provided to the client.

**I have received, read and agree to the aforementioned Mold Disclaimer and Mold Information Fact Sheet.** (initial) \_\_\_\_\_

**Received page 1 of 2** (initial) \_\_\_\_\_

**NOTICE REQUIREMENTS:** Client agrees that any claim alleging Inspector's failure to accurately report a visually observable defective condition of the subject property shall be made in writing and delivered to the Inspector within ten (10) business days of the discovery. Client further agrees that, with the exception of emergency conditions, neither Client, nor anyone acting on Client's behalf, will make alterations, modifications, or repairs to the subject of the claim prior to a re-inspection by the Inspector. Inspector agrees to re-inspect the alleged condition within 72 hours of receipt of written notice by Client, exclusive of weekends and holidays. Client further agrees and understands that any failure to notify the Inspector as set forth above, shall constitute a waiver of any and all claims for said failure to accurately report the condition.

**ACCEPTANCE OF REPORT AND FEE PAYMENT:** The fee for this inspection is considered due at the time of the inspection. If the Client does not attend the inspection, fee is due prior to receipt of the inspection report. If the customer has not signed this agreement, the acceptance of this report shall constitute agreement with all of the terms of this contract. The written report to be prepared by the Inspector shall be considered the final and exclusive findings of the Inspector regarding the inspection of the property. The Client shall not rely on any oral statements made by the Inspector prior or subsequent to the issuance of the written report.

**LIMITATION OF LIABILITY:** The liability of Inspector (its principals, agents, employees, successors in interest, or affiliates) for errors and omissions in the inspection and report is limited to a refund to the Client of the fee paid for the inspection and report. Client assumes the risk of all losses greater than the fee paid for the inspection and report. Client agrees and understands that this inspection is not a home warranty, guarantee, insurance policy, or substitute for real estate transfer disclosures which may be required by law. Neither Inspector, nor its agents, principals, or employees shall be liable for any repairs or replacement of any components, systems, structure of the property or the contents therein, either during or after the inspection. Home warranty policies, which include coverage for appliances, electrical, plumbing, heating, etc. are available, if desired by the Client. This Home Inspection is not intended to be a home warranty or insurance policy, and it is highly recommended that an applicable home warranty be purchased on the subject property. For further information, contact a licensed real estate professional.

**I have read and agree to the aforementioned limitation of liability clause, and understand that this Home Inspection does not, and is not intended to constitute Home Warranty coverage.** (initial) \_\_\_\_\_

Client agrees and understands that, for the purposes of this inspection, Inspector is acting as a certified home inspector pursuant to the requirements of the LSBHI and/or any applicable State and local laws and not as a professional engineer, or plumbing, electrical, HVAC, or other contractor. This inspection and report is provided as an unbiased opinion, based upon the experience of the individual Inspector. Any recommendation made by Inspector to Client to engage the services of any specialized contractors, engineers or individuals for the purposes of inspecting, cleaning, servicing and/or evaluating a specific system, component, and/or structure of the subject property, shall relieve Inspector from any liability to Client for the inspection and report of those components, systems, or structures.

**ELECTRONIC TRANSACTION AUTHORIZATION:** In accordance with the Uniform Electronic Transactions Act, and applicable state and local law, Inspector and Client agree that a portion or the entirety of this Building Authorization and Agreement and transmission of the inspection report and ancillary documents may occur by electronic means, whether by facsimile, email or other electronic delivery system of information. You consent and agree that your use of a key pad, mouse or other device to select an item, button, icon or similar act/action while using any electronic service we offer; or in accessing or making any transactions regarding any agreement, acknowledgement, consent, terms, disclosures or conditions constitutes your signature, acceptance and agreement as if actually signed by you in writing. You understand and agree that your e-Signature executed in conjunction with the electronic acceptance of this Building Authorization and Agreement shall be legally binding and such acceptance shall be considered authorized by you.

**ARBITRATION:** Any dispute arising out of the inspection, report or the interpretation of this agreement, except for non-payment of the inspection fee, shall be resolved in accordance with the Louisiana Binding Arbitration Law. The parties shall select a mutually agreed upon arbitrator who is a home inspector licensed by the State of Louisiana, and who shall have at least five (5) years experience as a home and building inspector. If the parties are unable to agree upon an arbitrator, either party may request that a licensed home inspector be selected by the LSBHI to arbitrate the proceedings. The acceptable standard against which the inspection shall be judged is the "Standards of Practice and Code of Ethics" of the LSBHI. The decision of the arbitrator shall be final and binding, and judgment on the award may be entered in any Court of competent jurisdiction. The prevailing party shall be awarded all arbitration costs.

**I have read and agree to the aforementioned arbitration clause.** (initial) \_\_\_\_\_

**ATTORNEYS' FEES:** In the event that Client files suit in any civil court alleging claims arising out of this agreement or the services performed hereunder, Client agrees to pay to Inspector all costs, expenses, and attorneys' fees incurred by Inspector, his agents, employees, or insurers in the defense of such suit. This section shall not apply to arbitration proceedings unless the selected arbitrator finds that the claim brought by Client is without merit and the Client has been given written notice of the claims lack of merit prior to the proceedings.


**STATUTE OF LIMITATIONS:** The parties agree that no action may be brought to recover damages against the Inspector or the Inspection Company, or its officers, agents, or employees more than one year after the date of the subject inspection. Time is expressly of the essence herein.

**CONFIDENTIALITY OF REPORT:** The inspection report is the intellectual property of Inspector, is confidential, and is intended for the exclusive private use of the Client. It is not to be copied or disseminated to any other party without the expressed written consent of Inspector. The use of any and all disclosures contained within the report is specifically restricted to the transaction for which the inspection was performed. The use or reliance upon the report by any other parties, or for any other transactions, is strictly prohibited. Inspector retains all rights to this report.

**SEVERABILITY:** Client and Inspector agree that should a court of competent jurisdiction determine and declare that any portion of this contract is void, void able, or unenforceable, the remaining provisions and portions shall remain in full force and effect.

**NEGOTIATED TERMS:** \_\_\_\_\_

The undersigned have read this agreement and understand and accept all of the terms and conditions thereof, whether executed prior to or subsequent\* to the Home Inspection. I also agree to pay the fees listed. I authorize the Inspector to release a copy of the Home Inspection report to my authorized representative/real estate agent (if applicable).

BY INSPECTOR: Paul Fortmayer   
License No.: LA 10899 Date: April 6, 2016

BY CLIENT: \_\_\_\_\_  
Date: April 6, 2016

**\*Client has executed this agreement subsequent to the Home Inspection and Initials hereby agrees to be bound by the terms and conditions of this Building Inspection Agreement and Authorization.** (initial) \_\_\_\_\_

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5. Building code or zoning ordinance compliance or violation;
6. The adequacy or efficiency of any design or installation process of any system, component or other feature of the subject property, or compliance with manufacturer's specifications of any system, component or other feature of the subject property;
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**LIMITATION OF LIABILITY:** The liability of Inspector (its principals, agents, employees, successors in interest, or affiliates) for errors and omissions in the inspection and report is limited to a refund to the Client of the fee paid for the inspection and report. Client assumes the risk of all losses greater than the fee paid for the inspection and report. Client agrees and understands that this inspection is not a home warranty, guarantee, insurance policy, or substitute for real estate transfer disclosures which may be required by law. Neither Inspector, nor its agents, principals, or employees shall be liable for any repairs or replacement of any components, systems, structure of the property or the contents therein, either during or after the inspection. Home warranty policies, which include coverage for appliances, electrical, plumbing, heating, etc. are available, if desired by the Client. This Home Inspection is not intended to be a home warranty or insurance policy, and it is highly recommended that an applicable home warranty be purchased on the subject property. For further information, contact a licensed real estate professional.

**I have read and agree to the aforementioned limitation of liability clause, and understand that this Home Inspection does not, and is not intended to constitute Home Warranty coverage.** (initial) \_\_\_\_\_

Client agrees and understands that, for the purposes of this inspection, Inspector is acting as a certified home inspector pursuant to the requirements of the LSBHI and/or any applicable State and local laws and not as a professional engineer, or plumbing, electrical, HVAC, or other contractor. This inspection and report is provided as an unbiased opinion, based upon the experience of the individual Inspector. Any recommendation made by Inspector to Client to engage the services of any specialized contractors, engineers or individuals for the purposes of inspecting, cleaning, servicing and/or evaluating a specific system, component, and/or structure of the subject property, shall relieve Inspector from any liability to Client for the inspection and report of those components, systems, or structures.

**ELECTRONIC TRANSACTION AUTHORIZATION:** In accordance with the Uniform Electronic Transactions Act, and applicable state and local law, Inspector and Client agree that a portion or the entirety of this Building Authorization and Agreement and transmission of the inspection report and ancillary documents may occur by electronic means, whether by facsimile, email or other electronic delivery system of information. You consent and agree that your use of a key pad, mouse or other device to select an item, button, icon or similar act/action while using any electronic service we offer; or in accessing or making any transactions regarding any agreement, acknowledgement, consent, terms, disclosures or conditions constitutes your signature, acceptance and agreement as if actually signed by you in writing. You understand and agree that your e-Signature executed in conjunction with the electronic acceptance of this Building Authorization and Agreement shall be legally binding and such acceptance shall be considered authorized by you.

**ARBITRATION:** Any dispute arising out of the inspection, report or the interpretation of this agreement, except for non-payment of the inspection fee, shall be resolved in accordance with the Louisiana Binding Arbitration Law. The parties shall select a mutually agreed upon arbitrator who is a home inspector licensed by the State of Louisiana, and who shall have at least five (5) years experience as a home and building inspector. If the parties are unable to agree upon an arbitrator, either party may request that a licensed home inspector be selected by the LSBHI to arbitrate the proceedings. The acceptable standard against which the inspection shall be judged is the "Standards of Practice and Code of Ethics" of the LSBHI. The decision of the arbitrator shall be final and binding, and judgment on the award may be entered in any Court of competent jurisdiction. The prevailing party shall be awarded all arbitration costs.

**I have read and agree to the aforementioned arbitration clause.** (initial) \_\_\_\_\_

**ATTORNEYS' FEES:** In the event that Client files suit in any civil court alleging claims arising out of this agreement or the services performed hereunder, Client agrees to pay to Inspector all costs, expenses, and attorneys' fees incurred by Inspector, his agents, employees, or insurers in the defense of such suit. This section shall not apply to arbitration proceedings unless the selected arbitrator finds that the claim brought by Client is without merit and the Client has been given written notice of the claims lack of merit prior to the proceedings.


**STATUTE OF LIMITATIONS:** The parties agree that no action may be brought to recover damages against the Inspector or the Inspection Company, or its officers, agents, or employees more than one year after the date of the subject inspection. Time is expressly of the essence herein.

**CONFIDENTIALITY OF REPORT:** The inspection report is the intellectual property of Inspector, is confidential, and is intended for the exclusive private use of the Client. It is not to be copied or disseminated to any other party without the expressed written consent of Inspector. The use of any and all disclosures contained within the report is specifically restricted to the transaction for which the inspection was performed. The use or reliance upon the report by any other parties, or for any other transactions, is strictly prohibited. Inspector retains all rights to this report.

**SEVERABILITY:** Client and Inspector agree that should a court of competent jurisdiction determine and declare that any portion of this contract is void, void able, or unenforceable, the remaining provisions and portions shall remain in full force and effect.

**NEGOTIATED TERMS:** \_\_\_\_\_

The undersigned have read this agreement and understand and accept all of the terms and conditions thereof, whether executed prior to or subsequent\* to the Home Inspection. I also agree to pay the fees listed. I authorize the Inspector to release a copy of the Home Inspection report to my authorized representative/real estate agent (if applicable).

BY INSPECTOR: Paul Fortmayer   
License No.: LA 10899 Date: April 6, 2016

BY CLIENT: \_\_\_\_\_  
Date: April 6, 2016

**\*Client has executed this agreement subsequent to the Home Inspection and Initials hereby agrees to be bound by the terms and conditions of this Building Inspection Agreement and Authorization.** (initial) \_\_\_\_\_

**Received page 2 of 2** (initial) \_\_\_\_\_

4/6/16

Janell & Mike Pulliam

125 Ayshire.

Slidell La 70461

House Call Home Inspection  
Paul Fortmayer LA LHI # 10899  
C(985) 237-8292 F(270) 717-7361  
PFortmayer@HouseCallUSA.net



## INSPECTION CONDITIONS

### CLIENT & SITE INFORMATION:

**DATE OF INSPECTION:** 4/6/16.  
**START TIME OF INSPECTION:** 9am.  
**CLIENT NAME:** Janell & Mike Pulliam.  
**INSPECTION SITE:** 125 Ayshire.  
**INSPECTION SITE CITY/STATE/ZIP:** Slidell La 70461.

### CLIMATIC CONDITIONS:

**WEATHER:** Clear.  
**SOIL CONDITIONS:** Damp.  
**APPROXIMATE OUTSIDE TEMPERATURE in F:** 60-70.

### BUILDING CHARACTERISTICS:

**ESTIMATED AGE OF STRUCTURE:** 22.  
**BUILDING TYPE:** 1 family.  
**STORIES:** 2  
**SQUARE FOOTAGE OF RESIDENCE:** 3855.

### UTILITY SERVICES:

**WATER SOURCE:** Public.  
**SEWAGE DISPOSAL:** Public.  
**UTILITIES STATUS:** All utilities on.

### OTHER INFORMATION:

**AREA:** Suburb.  
**HOUSE OCCUPIED?** Yes (It is assumed that some areas are concealed by furniture or other personal property. Home inspectors are not allowed to move personal property during their inspection. It is highly recommended that the purchaser perform a thorough inspection during their final walk through.)  
**CLIENT PRESENT:** Yes.  
**PEOPLE PRESENT:** Selling agent, Purchaser.

### PAYMENT INFORMATION:

**TOTAL FEE:** \$435 (\$510 w/pool)  
**PAID BY:** Check.

### REPORT LIMITATIONS

This report is intended only as a general guide to help the client(s) make their own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection process includes a limited, visual, performance based inspection of the property, subject to the limitations described herein and in the attached "Building Inspection Authorization and Agreement." The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. It is recommended that proper installation of any equipment on the property be verified by consulting the manufacturer's

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instructions. While the inspector may mention an item that is suspected of being involved in a recall, every item in the home is not checked for recall status by the inspector. It is recommended that all devices in the home be checked for recalls at [www.CPSC.gov](http://www.CPSC.gov). No disassembly of equipment, opening of walls, moving of furniture or floor coverings, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report. If some areas are concealed by furniture or other personal property, it is highly recommended that the purchaser do a thorough inspection during their final walk through. If any problems or questionable conditions are reported on by the inspector, or if the purchaser is concerned with any property conditions, it is recommended that a qualified professional be retained to further investigate the situation, and make necessary upgrades as needed before the act of sale occurs.

Systems and conditions which are not within the normal scope of the building inspection (unless previously contracted) include, but are not limited to: formaldehyde, lead paint, asbestos, radon, carbon monoxide, fuel gas leaks, toxic or flammable materials, mold, contaminated drywall, carcinogens, or other environmental hazards, whether in the building, soil, water or air; pest infestation; playground equipment; efficiency measurement of insulation or heating and cooling equipment; internal or underground drainage or plumbing; sprinkler systems; pool and spa equipment; any systems which are shut down or otherwise secured; water wells (water quality and quantity); septic systems; zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection. If any potential problem is suspected regarding the above systems or conditions, it is recommended that a qualified professional be retained to further investigate the situation, and make necessary upgrades as needed before the act of sale occurs.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions herein expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration in accordance with applicable laws and regulations of the State in which the inspection was performed, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

This report includes an estimation of the age of the principal structure and its roof. This estimation is based on information provided to the inspector by the seller, purchaser, real estate agent, or property disclosure report, and is only an approximation.

This inspection report is the intellectual property of House Call Home Inspection, is confidential, and is intended for the exclusive use of the client for whom it was prepared. It is not to be copied or disseminated to any other party without the expressed written consent of House Call Home Inspection. Neither the inspector nor House Call Home Inspection company shall have any liability whatsoever to any third party using or relying on its contents. Any third party using this report agrees thereby to defend, indemnify and hold the inspector and House Call Home Inspection company harmless from any claims of any person relying on the report. This inspection report also includes a copy of the Building Inspection Authorization and Agreement.

Items inspected for this report are deemed "appears serviceable" if, at the time of inspection, they are considered to be in a functional and operable condition. These items may be at any point in their service life, from brand new to approaching end of life expectancy. As they are mechanical systems, it should be expected that they will, at some point, break down and need repair or replacement. This report is not intended to predict these events, it is simply an overview of the functionality of the items and systems inspected as they existed at the time of inspection. If there are any concerns about the life expectancy of any items in this report, it is recommended that additional evaluation by qualified licensed contractors be performed prior to closing.

## EXTERIOR

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. Many conditions may be indicative of structural concerns in a building, including but not limited to cracks on interior and exterior surfaces, difficulty opening/closing doors and windows, and uneven surfaces. If any conditions raise concerns, it is recommended that further evaluation be made by a qualified structural engineer prior to closing. Weep holes at exterior masonry walls are not inspected for drainage openings. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. When safely accessible, inspector will enter the crawlspace to determine its condition. A representative number of beams, joist, sills and piers are inspected. Each individual member is not inspected. Crawlspace should be kept dry and well ventilated. Closing the crawlspace is not recommended, except under the direction of a qualified and experienced contractor. Expansive soils may be present in this area. Movement of the house structure may occur during excessively wet or dry periods of weather. Some manufacturers of composite/wood fiber siding have experienced product problems/failures that have resulted in class action lawsuits. If this type of siding is present, further evaluation/investigation prior to closing may be warranted. Some manufacturers of EIFS/synthetic stucco siding have experienced product problems/failures that have resulted in class action lawsuits. If this type of siding is present, further evaluation/investigation prior to closing may be warranted.

### STRUCTURE:

#### STRUCTURE MATERIAL:

As far as visible during inspection, areas of the wall, ceiling and roof structure appear to include typical wood framing.

### WALLS:

#### WALL MATERIAL:

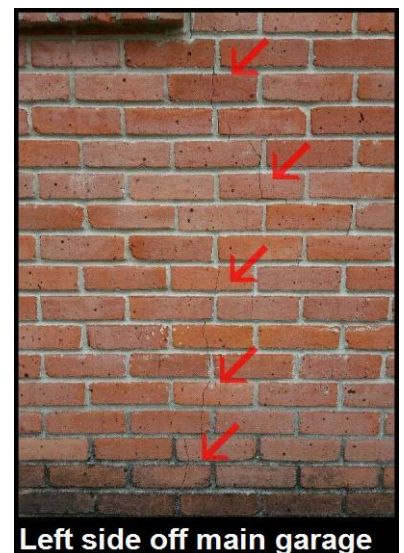
Brick veneer, Hardboard siding.

#### WALL CONDITION:

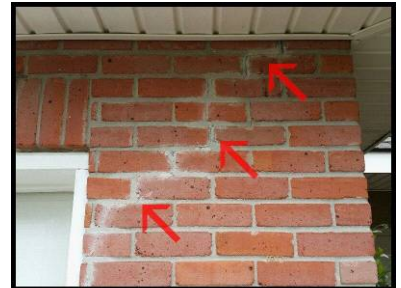
Appears serviceable.

#### WALL CONCERNS:

The following concerns were noted at the exterior walls: Cracks noted. Some cracking is to be expected in all exterior surfaces as the property settles with age. Recommend monitoring for any future changes, Significant cracks were noted, Pest entry points noted. Recommend sealing all penetrations to prevent access, Recommend making necessary repairs, Recommend caulking/sealing intersections between dissimilar building materials. Recommend evaluation by a qualified licensed structural engineer.



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**By garage**



**Left side of house**



**Runs all the way down the wall**



**By front door**

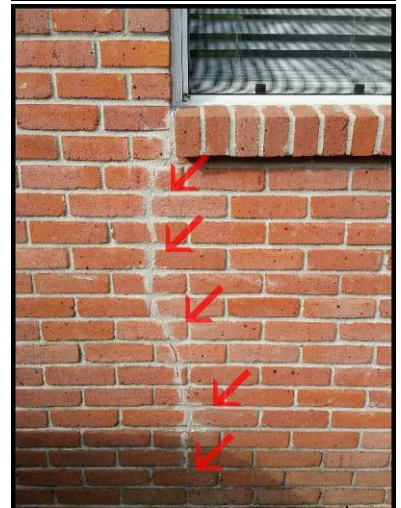
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Right side of house

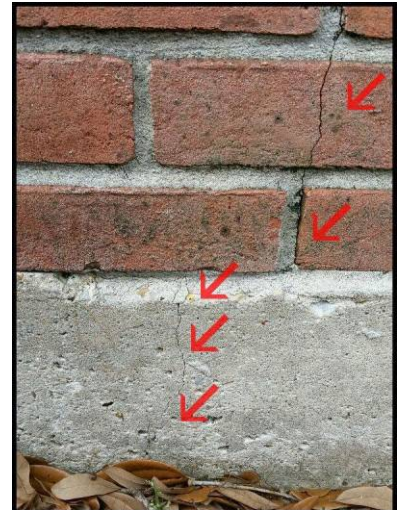


Right side of house



Right side of house

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Zoomed in look of last pic



Right side of house



Side wall below patio

**TRIM:**

**TRIM MATERIAL:**

Wood, Metal, Vinyl.

**TRIM CONDITION:**

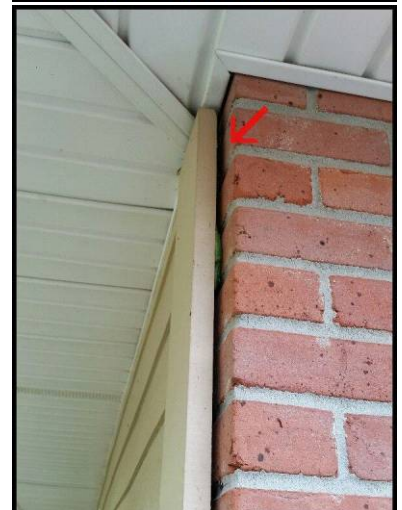
Appears serviceable.

**TRIM CONCERNS:**

The following concerns were noted at the exterior trim: Pest entry points noted. Recommend sealing all penetrations to prevent access, Caulking recommended at intersections between dissimilar building materials, Loose or deteriorated material.



**Caulk between all dissimilar material**



**Caulk between all dissimilar materials**



**Loose soffit at rear**

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**Zoomed in pic of loose soffit**



**More loose soffit at rear**

**FOUNDATION:**

**FOUNDATION TYPE:** Concrete.

**FOUNDATION CONDITION:** Slab is not fully visible due to carpet and/or floor covering - no readily visible problems are noted in accessible areas.

**FOUNDATION CONCERNS:** The following concerns were noted at the slab: Typical cracks noted. Some cracking is to be expected as the property settles with age. Recommend monitoring for any future changes.

**FOUNDATION LEVEL SURVEY:** A computerized level survey was performed, and the differential measurement indicated approximately, 0-1 inches of variance between survey points. (Approx 0.5 of an inch overall)

## GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs. Low voltage lighting systems and sprinkler systems are not inspected. Trees and bushes should be regularly trimmed to keep them away from the structure, as they can cause damage to the structure and/or finish materials.

### DRIVEWAY:

**DRIVEWAY TYPE:** Concrete.

**DRIVEWAY CONDITION:** Appears serviceable.

**DRIVEWAY CONCERNS:** The following concerns were noted at the driveway: Cracks noted. Some cracking is to be expected as the property settles with age. Recommend monitoring for any future changes.

### SIDEWALKS:

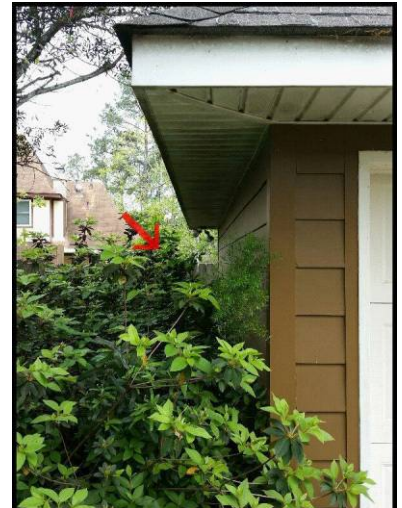
**SIDEWALK TYPES:** No public walk.

### LANDSCAPING:

**LANDSCAPING CONDITION:** Appears serviceable.

**LANDSCAPING CONCERNS:** The following concerns were noted at the landscaping: Keep plants trimmed away from structure to help prevent moisture damage and pest intrusion. Trees planted close to structure, Trees are touching or over-hanging the roof. Damage is possible.





**Keep all plants & trees trimmed off shed**



**Large trees overhang structure**

**GRADING:**

**GRADING CONDITIONS:**

As far as can be determined by a visual inspection, grade at foundation appears serviceable, Flat site.

**PORCHES:**

**PORCH TYPES:**

Concrete.

**PORCH CONDITIONS:**

Appears serviceable.

**PORCH CONCERNS:**

The following concerns were noted at the porch: Cracks noted. Some cracking is to be expected as the property settles with age. Recommend monitoring for any future changes.

**PATIO:**

**PATIO TYPE:**

Concrete.

**PATIO CONDITION:**

Appears serviceable.

**PATIO CONCERNS:**

The following concerns were noted at the patio: Cracks noted. Some cracking is to be expected as the property settles with age. Recommend monitoring for any future changes.

**PATIO/PORCH COVER:**

**PATIO/PORCH TYPE:**

Open design. Metal.

**PATIO/PORCH CONDITION:**

Appears serviceable.

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**SHED:**

**SHED CONDITION:**

Detached sheds are typically not included as part of a home inspection, however a courtesy inspection was performed, and the shed appears serviceable.

**SHED CONCERNS:**

The following concerns were noted at the shed: disconnected automatic garage door. Inspector is not allowed to plug in equipment for testing. Verify proper operation prior to closing. Roofing concerns noted. Major loss of granules noted at front area of roof. Anticipate the need to replace the roof in the not to distant future.



**FENCES & GATES:**

**FENCES & GATES TYPE:**

Wood.

**FENCES & GATES CONDITION:**

Fences are typically not included as part of a home inspection, however a courtesy inspection was performed, and the fence appears serviceable, but signs of wear and aging noted. Monitor for problems.

**FENCES & GATES CONCERNS:**

The following concerns were noted at the fence: Gate needs adjustment or repair, Loose/rotted posts, Moisture damage noted.

## ROOF - ATTIC - FLASHING SYSTEMS

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during several different prolonged rainfall events. This is not possible during a single event inspection. Improper depth of nail penetration into roofing shingles may lead to premature roofing failure. Unfortunately, depth of nail penetration is difficult to access without adversely effecting the water-tight envelope of the roof, and is not included as part of a routine home inspection. It is recommended that all home exhaust vents (dryer, bathroom, kitchen, etc.) are routed to the exterior. Tenting a home for fumigation can potentially damage a roof; reinspect for damage after treatment is completed. Attic observations include inspection of a representative number of structural components. Each individual component (beam, joist, board, etc.) is not inspected. Insulation is not moved during inspection, therefore areas hidden from view by insulation (decking, finish materials, vapor barriers, structural members, fixture supports, etc.) are not inspected. Some building materials (insulation, roofing, siding, etc.) have been shown to contain asbestos. The presence of asbestos in the home may necessitate removal, which may increase the expense of any other work being performed. Testing for asbestos in any materials in the home is beyond the scope of a home inspection. If you suspect asbestos materials in your home, it is recommended that an evaluation be performed by a qualified licensed contractor and remedy as needed.

### ROOF:

|                                 |  |
|---------------------------------|--|
| <b>AGE OF ROOF IN YEARS:</b>    | Unknown.   |
| <b>ROOF STYLE:</b>              | Gable, Hip.  |
| <b>ROOF TYPE:</b>               | Composition Shingles.  |
| <b>ROOF ACCESS:</b>             | Walked on roof.  |
| <b>ROOF COVERING CONDITION:</b> | Appears serviceable/within useful life.  |
| <b>ROOF COVERING CONCERNS:</b>  | Damaged or missing shingles noted. Repair/replacement recommended. Damage/Deterioration/Defects noted, Nails/Fasteners are exposed. Sealing is recommended, Nails/Fasteners are protruding from the roof surface, Rusting fasteners noted. Repair/replacement recommended. Non-professional repairs noted. |





**Damaged shingles at dormers**



**House appears to have an add-on**



**Missing moisture break at intersection**

**EXPOSED FLASHINGS:**

**EXPOSED FLASHING TYPE:** Metal, Rubber.

**EXPOSED FLASHING CONDITION:** Appears serviceable.

**EXPOSED FLASHING CONCERNS:**

The following concerns were noted at the flashings: Damaged flashing is noted in the following areas: Roof flashing at rear, and at the plumbing vent covers, The potential for water entry is present.

The following concerns were noted at the flashings: Rusty flashing is noted, Damaged flashing is noted in the following areas: at the plumbing vent covers, The potential for water entry is present, Damage/openings noted at sealant on flashing.

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**Seal ALL nails / Missing Face nails**



**House appears to have an add-on**



**Seal ALL exposed nails**



**Damaged vent boot over master area**



**Missing face nails /  
Cracked shingle**

**GUTTERS & DOWNSPOUTS:**  
**GUTTERS & DOWNSPOUTS  
TYPE:**

None. Consider installing gutters and downspouts to help with site drainage.

**ATTIC AND INSULATION:**  
**ATTIC TYPE:**

Attics are partial.

**FRAMING TYPES:**

Conventional framing.

**ACCESSIBILITY:**

Attic is mostly accessible/was entered for inspection. However, due to the inherent design of attic spaces, some areas are not conducive to inspection. Restricted access to attic due to personal belongings. Only partially entered/partially inspected.



**Personal items in garage  
attic**

**ATTIC CONDITION:**

Appears serviceable.

**ATTIC CONCERNS:**

The following concerns were noted at the attic: Viewing of the attic areas was limited: due to personal belongings. Recommend thorough inspection, before closing on the property, when attic is cleared. The following concerns were noted at the attic flooring: Minimal amount of walk boards were provided. Recommend additional boards be installed for ease of access. Staining is noted.



**Moisture stains noted at  
vent pipe**

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**Moisture stains noted at vent pipe**

- |                                      |  |
|--------------------------------------|--|
| <b>ATTIC ACCESS/STAIR CONDITION:</b> | Appears serviceable, but signs of wear and aging noted. Monitor for problems.  |
| <b>ATTIC ACCESS/STAIR CONCERNS:</b>  | Ladder to the attic is unsafe due to the following reason(s): Ladder is in need of maintenance. Screws/fasteners need tightening on a regular basis, Ladder is weak and presents a safety hazard. Make improvements as needed. |
| <b>VENTILATION TYPES:</b>            | Attic ventilation is provided by, Soffit vents, Ridge vents.   |
| <b>VENTILATION CONDITION:</b>        | Appears serviceable.   |
| <b>INSULATION TYPES:</b>             | Fiberglass.  |
| <b>AVERAGE INSULATION DEPTH:</b>     | 6-10 inches in most areas.   |
| <b>VAPOR BARRIER CONCERNS:</b>       | Vapor barrier was not fully visible during inspection.   |

## PLUMBING

All underground piping or pipes enclosed inside of walls related to water supply, waste, or sprinkler use cannot be viewed and are excluded from this inspection. Leakage or corrosion in underground piping, under slab piping or piping enclosed inside of walls cannot be detected by a visual inspection. It is highly recommended that a video pipe inspection by a qualified licensed plumber be performed prior to closing to determine the condition of the waste lines that are not visible during the home inspection. Inspector is not allowed to open any closed shut-off valves. Verify proper operation of closed shut-off valves with seller before act of sale. Be advised that some Polybutylene, Polyethylene and ABS plastic piping systems have experienced some documented problems. Contact the piping manufacturer or a qualified licensed plumber for further information. Testing for fuel pipe leaks and sizing is not performed. It is recommended that all gas appliances are connected to the fuel system with appropriate piping material. The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor, a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. Improper installations should be corrected. Water temperature above 125 degrees is considered a potential safety hazard and should be corrected. Water temperature testing IS NOT performed during the home inspection due to the fact that conditions may change between the time the inspection is performed and the new owners take possession of the property. Regular testing of hot water temperature is recommended. Overflow drain pans are not checked for leaks during this inspection. Adequacy and function of private water and waste systems and water quality testing are beyond the scope of a home inspection. Testing should be performed by the appropriate testing agencies prior to closing. Water quality or hazardous materials (lead) testing is available from local testing labs. If gas service is not on at the time of the inspection, gas appliances cannot be inspected. Verify proper operation prior to closing. Testing for carbon monoxide or fuel gas leaks are beyond the scope of the typical home inspection, and therefore are not included. If any problems are suspected, proper evaluation prior to closing is recommended. Rust and/or debris in the supply water may be caused by a build up in the water heater, especially when a building has been vacant and the water has not been regularly used. Water heaters should be regularly flushed, according to manufacturer's instructions. If water heater problems are indicated, contact a licensed plumber for further evaluation.

### MAIN LINE:

**MAIN LINE MATERIAL AND SIZE:**

Copper, Main line is 3/4 inch diameter.

**MAIN VALVE LOCATION:**

Main water shut off valve is located: at the right side of the house.



**MAIN LINE CONDITION:**

Appears serviceable, Valve is operational, Water pressure appears adequate.

**SUPPLY LINES:**

**SUPPLY LINE MATERIALS:** Copper, Plastic.

**SUPPLY LINE CONDITION:** Appears serviceable.

**WASTE LINES:**

**WASTE LINE MATERIALS:** Plastic.

**WASTE LINE CONDITION:** Appears serviceable, Plumbing vents appear serviceable.

**HOSE FAUCETS:**

**HOSE FAUCET CONDITION:** Sample operated, appeared serviceable.

**FUEL SYSTEM:**

**METER/TANK LOCATION:** Meter located at: right side of house.



**Main gas valve at right**

**FUEL SYSTEM CONDITION:** System appears serviceable.

**FUEL SYSTEM CONCERNS:** The following concerns were noted on the fuel system: restricted access due to landscape.

**WATER HEATER:**

**WATER HEATER LOCATION:** Attic, Left, Lower.

**WATER HEATER TYPE:** Natural gas.

**WATER HEATER MANUFACTURER:** Rheem.

**WATER HEATER CAPACITY:** Data plate is not accessible/not visible. Unable to determine.



**Unable to access left water heater**

**WATER HEATER:**

**WATER HEATER LOCATION:** Attic, Right, Lower.

**WATER HEATER TYPE:** Natural gas.

**WATER HEATER MANUFACTURER:** Rheem.

**WATER HEATER CAPACITY:** 50 Gallons.

**WATER HEATER YEAR OF MANUFACTURE:** 1992.

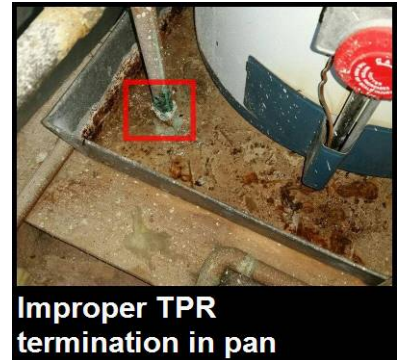
**WATER HEATER CONDITION:** Appears serviceable, but signs of wear and aging noted. Monitor for problems. Pressure relief valve noted, not tested, Flue vent appears serviceable, A water shutoff valve is installed.



**TPR safety valve**

**WATER HEATER CONCERNS:** The following concerns were noted at the water heater: Rust flakes/corrosion noted, Older model appliance. Unit appears to be nearing the end of its useful life. The following concerns were noted with water heater TPR valve: Pressure relief valve drain line ends prematurely. This is a SAFETY HAZARD. We recommend this drain line be extended to a safe location/pointing toward and terminating within 6" of the ground. TPR valve piping improperly terminates in the overflow drain pan. This is not advisable by current safety standards. Correction is recommended.

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## HEATING - AIR CONDITIONING

The inspector is not equipped to inspect furnace heat exchangers or AC evaporator/condenser coils for evidence of cracks or holes, as this is often performed by dismantling the unit or by testing using trade specific equipment and is beyond the scope of a standard home inspection. Some furnaces and air conditioners are designed in such a way that full visible inspection is impossible. The inspector is not allowed to light pilot lights. Safety devices are not tested by the inspector. NOTE: Asbestos materials have been commonly used in heating systems. Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. It is recommended that all homes with fuel burning appliances have carbon monoxide detectors installed according to manufacturer's specifications for additional safety. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, UV lights, humidifiers, humidistats and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Exterior air temperature below 65 degrees may prevent the testing of air conditioning equipment, as operation may cause damage. Overflow drain pans are not checked for leaks during this inspection. Duct tape is not recommended for use on HVAC system components, as tape material failure is likely to occur. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which may be costly to remedy. HVAC system duct work that has exposed fiberglass on the interior surface is susceptible to microbial/mold growth. Note that no mold testing is performed during a standard home inspection. Unless otherwise contracted, the inspector does not perform any mold testing during a standard home inspection and does not inspect the interior of the duct system. Any concerns about microbial/mold growth must be addressed by the client with a qualified mold contractor.

**DUCTWORK:**

**DUCTWORK TYPE:** Flexible Round.  
**DUCTWORK CONDITION:** Appears serviceable.  
**DUCTWORK CONCERNS:** Recommend sealing with foil tape and duct mastic as an upgrade.

**AIR CONDITIONING CONDENSER/COMPRESSOR:**

**AC CONDENSER/COMPRESSOR LOCATION:** Exterior, Right compressor. Smaller unit.  
**AC CONDENSER/COMPRESSOR TYPE:** Central (Split system)  
**AC CONDENSER/COMPRESSOR MANUFACTURER:** UPG.  
**AC CONDENSER/COMPRESSOR CAPACITY OF UNIT:** 2 1/2 Tons.  
**AC CONDENSER/COMPRESSOR YEAR OF MANUFACTURE:** 2013.  
**AC CONDENSER/COMPRESSOR POWER SOURCE:** 240 Volt, Electrical disconnect present.  
**AC CONDENSER/COMPRESSOR MAXIMUM RECOMMENDED FUSE/BREAKER SIZE:** 25 Amps. Problems. Unit is over fused. Manufacturer specifications recommend 25 amps Max and panel has 30 amp breaker. upgrades Recommended.

**AC** Appears operational.  
**CONDENSER/COMPRESSOR**  
**CONDITION:**

**AIR CONDITIONER INTERIOR SYSTEM:**

**AC EVAPORATOR LOCATION:** Attic, Upper.

**AC EVAPORATOR** UPG.  
**MANUFACTURER:**

**AC EVAPORATOR CAPACITY** 2 1/2 Tons.  
**OF UNIT:**

**AC EVAPORATOR YEAR OF** 2013.  
**MANUFACTURE:**

**INTERIOR SYSTEM** Appears serviceable.  
**CONDITION:**

**CONDENSATE LINE/PAN:** Condensate line installed.

**CONDENSATE LINE/PAN** The following concerns were noted at the condensate drain line: Recommend fully  
**CONCERNS:** insulating drain line to guard against condensation on exterior of piping.

**HVAC CONTROL** Appear serviceable.  
**PANEL/THERMOSTAT**  
**CONDITION:**

**HEATING SYSTEM DESCRIPTION:**

**HEATING SYSTEM LOCATION:** Attic, Upper.

**HEATING SYSTEM TYPE:** Forced Air.

**HEATING SYSTEM FUEL TYPE:** Natural Gas. (The heat exchanger portion of a gas or oil fired heater is difficult to access without disassembly, and cannot be adequately checked during a visual inspection. We recommend a service contract be placed on the unit and a heating contractor called to verify the condition of the heat exchanger prior to settlement date.)

**HEATING SYSTEM** UPG.  
**MANUFACTURER:**

**HEATING SYSTEM CAPACITY** Approximately 45,000 BTU.  
**OF UNIT:**

**HEATING SYSTEM YEAR OF** 2013.  
**MANUFACTURE:**

**HEATING SYSTEM COMPONENTS:**

**HEATING SYSTEM CONDITION:** Appears operational.

**BURNERS/HEAT EXCHANGER** Burner Flame(s) appear typical.  
**CONDITION:**

**BLOWER FAN CONDITION:** Appears Serviceable.

**COMBUSTION AIR CONDITION:** Appears serviceable.

**VENTING CONDITION:** Appears serviceable.

**AIR PLENUM CONDITION:** Appears serviceable.

**AIR FILTER SIZE:** Filter size: 24" x 24"

**AIR FILTER CONDITION:** Appears serviceable.

**RETURN AIR SHAFT** Appears serviceable.  
**CONDITION:**

**AIR CONDITIONING CONDENSER/COMPRESSOR:**

**AC CONDENSER/COMPRESSOR LOCATION:** Exterior, Right compressor.

**AC CONDENSER/COMPRESSOR TYPE:** Central (Split system)

**AC CONDENSER/COMPRESSOR MANUFACTURER:** ICP.

**AC CONDENSER/COMPRESSOR CAPACITY OF UNIT:** 4 Tons.

**AC CONDENSER/COMPRESSOR YEAR OF MANUFACTURE:** 2015.

**AC CONDENSER/COMPRESSOR POWER SOURCE:** 240 Volt, Electrical disconnect present.

**AC CONDENSER/COMPRESSOR MAXIMUM RECOMMENDED FUSE/BREAKER SIZE:** 40 Amps.  
Problems. Manufacturer specifications state 40 amp Max. Unit appears to be over fused on a 50 amp breaker. Upgrades recommended.

**AC CONDENSER/COMPRESSOR CONDITION:** Appears operational.

**AIR CONDITIONER INTERIOR SYSTEM:**

**AC EVAPORATOR LOCATION:** Attic, Right, Lower.

**AC EVAPORATOR MANUFACTURER:** ICP.

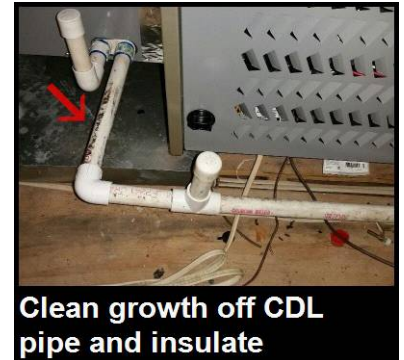
**AC EVAPORATOR CAPACITY OF UNIT:** 4 Tons.

**AC EVAPORATOR YEAR OF MANUFACTURE:** 2015.

**INTERIOR SYSTEM CONDITION:** Appears serviceable.

**CONDENSATE LINE/PAN:** Condensate line installed.

**CONDENSATE LINE/PAN CONCERNS:** The following concerns were noted at the condensate drain line: Recommend insulating drain line to guard against condensation on exterior of piping.



**HVAC CONTROL  
PANEL/THERMOSTAT  
CONDITION:**

Appears serviceable, but signs of wear and aging noted. Monitor for problems.

**HVAC CONTROL  
PANEL/THERMOSTAT  
CONCERNS:**

Old style thermostat noted. Recommend upgrading.

**HEATING SYSTEM DESCRIPTION:**

**HEATING SYSTEM LOCATION:** Attic, Right, Lower.

**HEATING SYSTEM TYPE:** Forced Air.

**HEATING SYSTEM FUEL TYPE:** Natural Gas. (The heat exchanger portion of a gas or oil fired heater is difficult to access without disassembly, and cannot be adequately checked during a visual inspection. We recommend a service contract be placed on the unit and a heating contractor called to verify the condition of the heat exchanger prior to settlement date.)

**HEATING SYSTEM  
MANUFACTURER:** Heil.

**HEATING SYSTEM CAPACITY  
OF UNIT:** Approximately 90,000 BTU.

**HEATING SYSTEM YEAR OF  
MANUFACTURE:** 2014.

**HEATING SYSTEM COMPONENTS:**

**HEATING SYSTEM CONDITION:** Appears operational.

**BURNERS/HEAT EXCHANGER  
CONDITION:** Burner Flame(s) appear typical.

**BLOWER FAN CONDITION:** Appears Serviceable.

**COMBUSTION AIR CONDITION:** Appears serviceable.

**VENTING CONDITION:** Appears serviceable.

**VENTING CONCERNS:** The following concerns were noted at the heater vent: Inadequate vent pipe clearance- Combustibles are nearby/touching vent pipe.

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**Improper clearance to combustibles**

|  |                        |
|--|------------------------|
| <b>AIR PLENUM CONDITION:</b>           | Appears serviceable.   |
| <b>AIR FILTER SIZE:</b>                | Filter size: 24" x 24" |
| <b>AIR FILTER CONDITION:</b>           | Appears serviceable.   |
| <b>RETURN AIR SHAFT<br/>CONDITION:</b> | Appears serviceable.   |

## ELECTRICAL

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring may present safety concerns, and requires periodic inspection and maintenance by a licensed electrician. Many homeowners insurance companies will ask if a house is wired with solid strand aluminum wiring (branch circuits), and its presence may effect insurability and rates. Like any mechanical component of a home, electrical wiring and its insulation degrade with age. Older wiring may be damaged, deteriorated, unsafe or not compatible with newer fixtures. It is recommended that homes with a wiring system greater than 30 years old have a complete electrical system evaluation by a qualified licensed electrician, regardless of whether or not the system appears to be serviceable at the time of the home inspection. If furnishings are located in the house, it is assumed that some outlets and switches will not be accessible, and are therefore not tested. The inspector is not allowed to move personal belongings during the inspection. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke detectors and carbon monoxide detectors should be installed according to manufacturer's directions and local code requirements, and tested regularly. Smoke and carbon monoxide detectors are not tested during the home inspection. GFCI outlets are recommended at any location where contact with water is possible, including all exterior outlets (including pool equipment, water and waste equipment), all bathroom outlets (including spas, whirlpool tubs, and lights over tubs and showers), all kitchen countertops, garage and sink outlets (with the exception of outlets dedicated for refrigerator/freezer use). Installation of AFCI breakers according to current safety standards is recommended. GFCI and AFCI circuits are not tested by the inspector if these tests will interrupt power to the homeowner/occupant's connected devices (typical of an inspection of an occupied property). In these situations, testing of GFCI and AFCI circuits according to manufacturers' specifications are recommended prior to closing. It is recommended that all overcurrent protection devices (fuses and circuit breakers) located in electrical panels be marked for convenience and safety. Verification of proper labeling of circuits is not part of this inspection, and should be verified by the purchasers prior to occupying the property. Outlets located below the countertop level of kitchen islands may pose a hazard for small children, as dangling cords may be pulled, resulting in appliances falling off of the countertop. Please exercise caution in these situations.

**ELECTRICAL SERVICE:**

**INCOMING SERVICE:** Underground.

**VOLTAGE:** 120/240 Volt.

**OVERCURRENT PROTECTION TYPE:** Circuit breakers.

**INCOMING SERVICE CONDITION:** Appears serviceable.

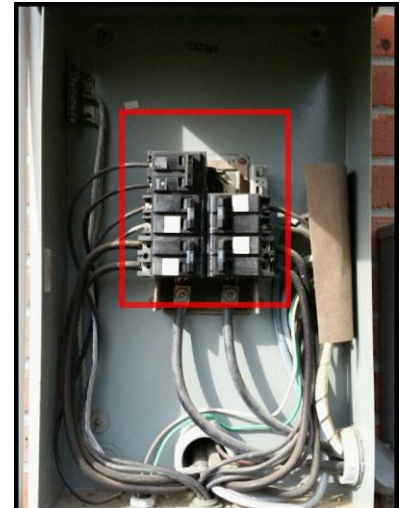
**INCOMING SERVICE CONCERNS:** The following concerns were noted at the grounding electrode system:  
 Missing intersystem bonding terminal bar from the service enclosure/meter pan. This newer device allows other systems (phone, CATV, etc.) an easily accessible location to bond to the grounding electrode system. Consider upgrading/installing this device.

**SERVICE CAPACITY:** 200 Amps, The above referenced panel rating is based on, rating of the panel (on panel tag)

**ELECTRICAL PANELS:**

**MAIN PANEL LOCATION:** Exterior of house: Right side.

**MAIN PANEL CONDITION:** Circuit and wire sizing correct so far as visible, Grounding system is present, NOTE: Six or fewer breakers in one location do not usually require a main breaker.



**Trip ALL 5 to kill ALL power**

**ELECTRICAL SUB-PANEL**

**SUB-PANEL/DISCONNECT LOCATION:**

Laundry.

**SUB-PANEL/DISCONNECT CONDITION:**

Circuit and wire sizing correct so far as visible, Grounding system is present.

**SUB-PANEL/DISCONNECT CONCERNS:**

The following concerns were noted at the electrical sub-panel: Panels are without the benefit of complete labeling, The following concerns were noted at AFCI/GFCI breakers: No AFCI (arc fault circuit interrupter) breakers were visible. Recommend installing AFCI breakers to comply with current safety standards. Electrical system appears to be outdated by today's standards. Upgrade should be considered. The following wiring concerns were noted: More than one neutral wire connected at a single terminal lug on the neutral bus bar.



**Panel at laundry / No AFCI circuits**

**ELECTRICAL SUB-PANEL**  
**SUB-PANEL/DISCONNECT**      Attic.  
**LOCATION:**



**CONDUCTORS:**  
**ENTRANCE CABLE TYPE:** Copper.  
**BRANCH WIRING TYPE:** Copper, Aluminum. Note: Stranded aluminum wire is commonly used in 240V circuits, and is considered safe for residential use.  
**BRANCH WIRING CIRCUIT CONDUCTORS:** Type of conductor noted: Non-Metallic cable, Metal/Plastic conduit.  
**BRANCH WIRING CIRCUIT CONDITIONS:** Appears serviceable.

**CEILING FANS**  
**CEILING FANS CONDITION:** Appears serviceable.

**SWITCHES & OUTLETS:**  
**SWITCHES & OUTLETS CONDITION:** Accessible switches and outlets were tested. As a whole, outlets and switches throughout the house are in serviceable condition.  
**SWITCHES & OUTLETS CONCERNS:** The following concerns were noted with the switches and outlets: Ground Fault Circuit Interrupter (GFCI) outlets are recommended at all locations where you can come in contact with water and electricity at the same time. Consider upgrading to comply with current codes and safety recommendations. Ground Fault Circuit Interrupter (GFCI) outlets are recommended at the following areas: Outlets near water sources (wetbar, laundry sinks, etc.)

**LIGHTING:**  
**LIGHTING CONDITION:** Accessible lights were tested. As a whole, lighting throughout the house is in serviceable condition.  
**LIGHTING CONCERNS:** The following concerns were noted with the lights: Missing light fixture cover, Recommend exposed light bulbs have fixture covers installed for additional safety.

## INTERIOR

The condition of walls behind wall coverings, paneling, furnishings and appliances cannot be judged. The inspector is prohibited from moving personal belongings during the inspection. If any areas are inaccessible during inspection, it is recommended that a thorough inspection is performed during the final walk through. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies of walls, ceilings and flooring are considered normal wear and tear and are not reported. Proper spacing below interior doors is recommended to allow adequate flow of conditioned air between rooms. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of areas concealed by other floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. Consult the manufacturer's instructions to verify proper clearance to combustible materials at the firebox and chimney and necessity for or proper installation of a stop-clip on flue dampers of gas log units. Interior areas of the flue are not fully accessible during a visual inspection, and are not fully inspected. The installation of glass doors on fireplaces (according to manufacturers' specifications) is recommended for increased safety. Verify that any alarm sensors are not installed through the framing of windows, which may void window warranties and allow water intrusion to occur.

### DOORS:

**MAIN ENTRY DOOR CONDITION:** Appears serviceable, Glass noted in entry door, and it appears to be tempered safety type.

**MAIN ENTRY DOOR CONCERNS:** Deadbolt is keyed at the interior.

**OTHER EXTERIOR DOORS:** Standard rear door, Appears serviceable, Glass noted in other exterior door, and it appears to be tempered safety type.  
Glass noted in other exterior door, and it appears to be tempered safety type,  
**CONCERNS:** Moisture damage noted to door, Type/Location: Exterior detached garage side door.

**INTERIOR DOORS CONDITION:** Appears serviceable.

**INTERIOR DOORS CONCERNS:** The following concerns were noted at the interior doors: Adjustment needed, Won't latch properly master bath toilet door and upstairs right room. Rubs frame at upper front left room closet.

### WINDOWS:

**TYPES OF WINDOWS INSTALLED:** Single hung, Aluminum.

**WINDOW CONDITION:** Accessible windows were inspected. Windows as a group are generally operational and appear serviceable.

**WINDOW CONCERNS:** The following concerns were noted at the windows: Rusting lintels noted at exterior. Damaged/Missing exterior screens noted, Unable to determine if glass is tempered safety type glass at the following locations: Large windows with more than 9 sq ft area, closer than 18" from floor, top edge over 3' from floor and within 3' of a walking surface should be tempered safety glass.



**INTERIOR WALLS:**

**INTERIOR WALL MATERIALS:** Drywall.

**INTERIOR WALL CONDITION:** General condition appears serviceable.

**INTERIOR WALLS CONCERNS:** The following concerns were noted at the interior walls: Typical cracks noted. Some cracking is to be expected in all interior surfaces as the property settles with age. Recommend monitoring for any future changes, Nail pops noted, Door knob hole noted hall downstairs bath.

**CEILINGS:**

**CEILING TYPE:** Drywall.

**CEILING CONDITION:** General condition appears serviceable.

**CEILING CONCERNS:** The following concerns were noted at the ceilings: Typical cracks noted. Some cracking is to be expected in all interior surfaces as the property settles with age. Recommend monitoring for any future changes, Nail pops noted, Moisture stains noted, Previous repairs noted. Verify reason with seller and monitor the area for on-going or future problems.



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**FLOORING:**

**FLOORING TYPE:** Carpet, Tile. Laminate.  
**FLOORING CONDITION:** General condition appears serviceable.

**STAIRS & HANDRAILS:**

**STAIRS & HANDRAILS  
CONDITION:** Interior stairs appear serviceable.

**STAIRS & HANDRAILS  
CONCERNS:** The following concerns were noted at the stairs/handrails: The handrail is loose/needs securing.

**SMOKE / FIRE DETECTOR:**

**SMOKE / FIRE DETECTOR  
COMMENTS:** Noted, but not tested.

**SMOKE / FIRE DETECTOR  
CONCERNS:** The following concerns were noted at the smoke/fire detectors: We suggest additional smoke detectors be installed in appropriate locations.

## GARAGE - CARPORT

Notice: Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas. If items are stored in the garage it is assumed that some areas were not fully accessible for inspection. Inspectors are prohibited from moving personal belongings during the inspection. Attached garages should have a completely fire rated envelope, including continuous fire rated sheetrock, house entry door(s), and attic access doors. Any improper openings in this envelope may compromise the integrity of the fire wall, and should be corrected to restore proper fire rating. All automatic garage door openers should have functional auto-reverse mechanisms, including an electric beam and a pressure sensitive safety reverse feature. It is often difficult to determine if an automatic garage door opener is equipped with a pressure sensitive safety reverse feature. It is often difficult to test the proper operation of a garage door pressure sensitive safety reverse feature without the risk of damaging the door and related hardware. If the inspector notes that the feature was not tested during the inspection, it is recommended that proper installation and function of this important safety feature be verified by a qualified licensed contractor prior to closing.

### GARAGE - CARPORT TYPE:

**GARAGE - CARPORT LOCATION:** Attached, Two car, Garage.

### ROOF:

**GARAGE - CARPORT ROOF CONDITION:** Same as house.

### FLOOR:

**GARAGE - CARPORT FLOOR CONDITION:** Appears serviceable.

**GARAGE - CARPORT FLOOR CONCERNS:** The following concerns were noted with the garage floor: Cracks noted. Some cracking is to be expected as the property settles with age. Recommend monitoring for any future changes.

### FIRE WALL:

**GARAGE FIRE WALL CONDITION:** Appears serviceable.

**GARAGE FIRE WALL CONCERNS:** The following concerns were noted with the fire wall: Attic access panel covering does not appear to be fire-rated.

### VEHICLE DOOR(S):

**TYPE OF OPERATION:** Automatic.

**VEHICLE DOOR(S) CONDITION:** Appears serviceable, but signs of wear and aging noted. Monitor for problems. Garage door opener appears serviceable. Electric eye automatic reverse feature is operational.

**VEHICLE DOOR(S) CONCERNS:** The following concerns were noted with the vehicle door: Pressure sensitive safety reverse feature is not installed/did not respond to test. Unable to verify installation of pressure sensitive safety reverse feature. It is highly recommended that the proper installation and operation of this feature be verified prior to the close of the sale/using the garage door.

The door opener tension needs adjustment to insure safe conditions.

### HOUSE ENTRY DOOR:

**GARAGE HOUSE ENTRY DOOR CONDITION:** Appears serviceable.

**GARAGE HOUSE ENTRY DOOR CONCERNS:** The following concerns were noted at the house entry door from the garage: The door does not appear to be fire-rated. Recommend installing a fire-rated door for additional safety. Hollow core interior type door installed.

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**WALLS-CEILING:**

**GARAGE WALLS-CEILING  
CONDITION:** Appear serviceable.

**GARAGE WALLS-CEILING  
CONCERNS:** The following concerns were noted at the walls/ceiling: Typical cracks noted. Some cracking is to be expected in all interior surfaces as the property settles with age. Recommend monitoring for any future changes. Missing baseboards.

## KITCHEN - APPLIANCES - LAUNDRY - WETBAR

Inspection of refrigerators, freezers and built-in ice makers are outside the scope of the inspection. Operation of ice maker supply line is not included in this inspection. No opinion is offered as to the adequacy of dishwasher operation. Oven self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances and personal belongings are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing. Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned, and are not tested during the inspection. If sellers are leaving any personal movable property (appliances) for the buyer, it is recommended that these appliances be tested by a qualified licensed contractor prior to closing.

### KITCHEN SINK / CABINETS / COUNTERTOPS:

**KITCHEN SINK CONDITION:** Appears serviceable, Faucet appears serviceable, Hand sprayer appears serviceable, Drain appears serviceable.

**KITCHEN CABINETS/COUNTERTOPS CONDITION:** Cabinets and counter tops appear serviceable.

### RANGE/COOK TOP AND OVEN:

**RANGE/COOK TOP AND OVEN TYPE:** Gas: Free-standing.

**RANGE/COOK TOP AND OVEN CONDITION:** Appears serviceable.

### VENTILATION:

**VENTILATION TYPE:** Recirculating type hood. Recommend regular cleaning of filters for proper operation.

**VENTILATION CONDITION:** Fan/Hood operational.

### DISHWASHER:

**DISHWASHER CONDITION:** Appears serviceable, Air gap device or high-loop is present on drain line- Proper installation.

### GARBAGE DISPOSAL:

**GARBAGE DISPOSAL CONDITION:** Appears serviceable.

**GARBAGE DISPOSAL CONCERNS:** Unit is hard wired and without the benefit of an outlet.

### MICROWAVE

**MICROWAVE CONDITION:** Appears serviceable.

### TRASH COMPACTOR:

**TRASH COMPACTOR CONDITION:** None installed.

### LAUNDRY:

**LAUNDRY LOCATION:** Utility room.

**LAUNDRY WATER AND WASTE CONDITION:** Plumbing appears serviceable.

**LAUNDRY ELECTRICAL AND GAS CONDITION:** Electrical outlet is grounded, 240V Service-operational, 3 prong outlet provided. Recommend upgrading to a 4 prong outlet if possible.

**DRYER VENTING CONDITION:** Dryer venting is provided, and appears serviceable.

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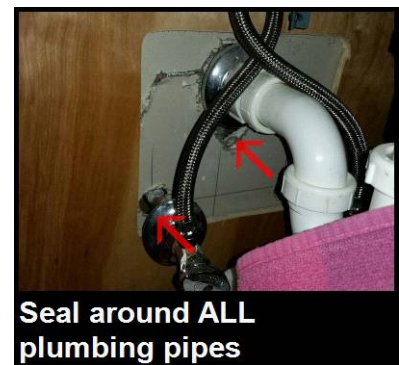
**LAUNDRY SINK CONDITION:** Appears serviceable.  
**LAUNDRY SINK CONCERNS:** Holes noted below sink. Recommend sealing to prevent pest entry.

## BATHROOMS

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans and tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future. It is recommended that all bathrooms have a functional exhaust vent fan for proper ventilation. Bath trap access panels are recommended for visual inspection during pest control audits. It is recommended that windows installed inside of the bathtub/shower area are constructed of tempered safety type glass.

**BATHROOM AREA:**

- BATH LOCATION:** Hall, Downstairs.
- BATH SINK CONDITION:** Sink appears serviceable, Drain appear serviceable, Counters/cabinets appear serviceable.
- BATH SINK CONCERNS:** The following concerns were noted at the bathroom cabinets/counter tops: Holes noted inside of cabinets around plumbing pipes. Recommend sealing to prevent pest entry.



- TOILET CONDITION:** Appears serviceable.
- TOILET CONCERNS:** The following concerns were noted at the toilet: The toilet is loose at floor.
- TUB/SHOWER PLUMBING FIXTURES CONDITION:** Fixtures appear serviceable, Drain appears serviceable, Shower head appears serviceable.
- TUB/SHOWER PLUMBING FIXTURES CONCERNS:** The following concerns were noted at the tub/shower drain: stopper is not attached to stem.
- TUB/SHOWER AND WALLS CONDITION:** Tub and shower areas appear serviceable, Shower walls appear serviceable.
- BATH HEAT/VENTILATION CONDITION:** Appears serviceable.

**BATHROOM AREA:**

- BATH LOCATION:** Master bedroom.
- BATH SINK CONDITION:** Sink appears serviceable, Drain appear serviceable, Counters/cabinets appear serviceable.
- TOILET CONDITION:** Appears serviceable.
- TOILET CONCERNS:** The following concerns were noted at the toilet: The toilet is loose at floor.
- TUB/SHOWER PLUMBING FIXTURES CONDITION:** Fixtures appear serviceable, Drain appears serviceable, Shower head appears serviceable.
- TUB/SHOWER AND WALLS CONDITION:** Shower walls appear serviceable, Enclosure appears serviceable.

**BATH WHIRLPOOL TUB  
CONDITION:**

Appears serviceable.

**BATH WHIRLPOOL TUB  
CONCERNS:**

The following problems were noted at the whirlpool tub: No visible GFCI protection was noted. Limited view through bath access panel by toilet. Wall studs and insulation are in the way of good visibility. Drain stopper in whirlpool is loose and needs adjustments. Stopper Did not work properly.

**BATH HEAT/VENTILATION  
CONDITION:**

Appears serviceable.

**BATHROOM AREA:**

**BATH LOCATION:**

Upstairs left bedroom.

**BATH SINK CONDITION:**

Sink appears serviceable, Drain appear serviceable, Counters/cabinets appear serviceable.

**TOILET CONDITION:**

Appears serviceable.

**TUB/SHOWER PLUMBING  
FIXTURES CONDITION:**

Fixtures appear serviceable, Drain appears serviceable, Shower head appears serviceable.

**TUB/SHOWER PLUMBING  
FIXTURES CONCERNS:**

The following concerns were noted at the tub/shower drain: Stopper is damaged.



**Broken Drain**

**BATHROOM AREA:**

**BATH LOCATION:**

Between bedrooms, Upstairs.

**BATH SINK CONDITION:**

Sink appears serviceable, Drain appear serviceable, Counters/cabinets appear serviceable.

**TOILET CONDITION:**

Appears serviceable.

**TOILET CONCERNS:**

The following concerns were noted at the toilet: The toilet is loose at floor, A new wax seal should be installed under loose toilets.

**TUB/SHOWER PLUMBING  
FIXTURES CONDITION:**

Fixtures appear serviceable, Drain appears serviceable, Shower head appears serviceable.

**TUB/SHOWER PLUMBING  
FIXTURES CONCERNS:**

Stopper did not operate properly/needs adjustment.

**TUB/SHOWER AND WALLS  
CONDITION:**

Tub and shower areas appear serviceable, Shower walls appear serviceable.

**BATH HEAT/VENTILATION  
CONDITION:**

Appears serviceable.

## POOL/HOT TUB & EQUIPMENT

Inspection was limited to those areas which are above ground or water level. While some comments may be made regarding the areas of the pool below the water line, these are provided as a courtesy, and are intended to be general informational statements only. The only way to detect an underground leak in a supply line, buried pipe fitting, or pool surface crack is by observation of the persistent and continuous loss of water from the pool over an extended period of time, or through leak testing by a qualified and experienced pool contractor. Therefore, leak detection is not included as part of this inspection. Comments regarding pool plumbing is based on a general inspection of visual plumbing lines only. Pool filtering devices are not disassembled to determine the condition of any installed filter media/elements. Operation of time clock motors and thermostatic temperature controls cannot be verified during a visual inspection. Pilot lights on gas pool heaters are not lit during the inspection. Pool plumbing and filtration valves are not operated during the home inspection. It is highly recommended that all pools be enclosed by a minimum of 6 foot non-climbable type fencing, complete with self-closing and locking doors/gates for safety. It is recommended to verify proper operation of the pool and its related equipment with the sellers' pool maintenance company. Inspector does not verify that drain covers are entrapment resistant type, as they are located below the water line and can be difficult to view. It is recommended that entrapment resistant drain covers be installed for safety. As plastic materials (drains, skimmers, etc.) expand and contract at different rates than pool wall materials (concrete, fiberglass, etc.), openings and leaks will often result. It is recommended that regular inspection and sealing of these intersections be performed by the homeowner.

### POOL SURFACE:

**POOL TYPE:** In ground.  
**POOL SURFACE TYPE:** Concrete/Plaster.  
**POOL SURFACE CONDITION:** Appears Serviceable.

### POOL/HOT TUB SKIMMER & BASKET:

**SKIMMER & BASKET CONDITION:** Appears Serviceable.

### POOL LIGHT:

**POOL LIGHT CONDITION:** Pool light(s) appear serviceable.  
**POOL LIGHT CONCERNS:** Hot tub light came on then went off.

### POOL/HOT TUB PUMPING EQUIPMENT:

**PUMP/MOTOR MANUFACTURER (MAIN):** Century/Centurion brand pump.



**PUMP/MOTOR HP RATING (MAIN):** 1.5 HP motor.  
**PUMP/MOTOR CONDITION (MAIN):** Appears serviceable, but signs of wear and aging noted. Monitor for problems.  
**PUMP/MOTOR MANUFACTURER (CLEANER):** Century/Centurion brand pump, Polaris.  
**PUMP/MOTOR HP RATING (CLEANER):** 3/4 HP motor.

**PUMP/MOTOR CONDITION (CLEANER):** Appears serviceable.

**LEAF BASKET CONDITION:** Appears serviceable.

**LEAF BASKET CONCERNS:** Major air bubbles noted. This may indicate a leak in the supply piping or leaf basket gasket that may need repair.



**POOL/HOT TUB FILTER / TREATMENT SYSTEMS:**

**PRIMARY FILTERING TYPE:** Sand.

**PRIMARY FILTERING CONDITION:** Appears serviceable.

**PRESSURE GAUGE READING:** 15-20 PSI.

**FILTER RATING:** Maximum pressure rating of installed filter system: 50 PSI.

**POOL/HOT TUB WATER TREATMENT SYSTEM TYPE:** In-line chlorinator type.



**VISIBLE POOL/HOT TUB PLUMBING LINES:**

**VISIBLE POOL/HOT TUB PLUMBING LINES CONDITION:** Appears serviceable.

**VISIBLE POOL/HOT TUB PLUMBING LINES CONCERNS:** Leakage noted at piping at the following area(s): control valve side plug. May be loose or needs new o-ring. Valve is off. Not certain what this valve controls. Verify with sellers.



**POOL/HOT TUB HEATERS:**

|   |   |
|---|---|
| <b>POOL/HOT TUB HEATER MANUFACTURER:</b>        | Stay-rite.                                      |
| <b>POOL/HOT TUB HEATER SYSTEM TYPE:</b>         | Natural gas.                                    |
| <b>POOL/HOT TUB HEATER CAPACITY OF UNIT:</b>    | 400,000 BTU.                                    |
| <b>POOL/HOT TUB HEATER YEAR OF MANUFACTURE:</b> | Not visible. Unable to determine.               |
| <b>POOL/HOT TUB HEATER CONTROLS:</b>            | System is activated by an automatic controller. |
| <b>POOL/HOT TUB HEATER CONDITION:</b>           | Appears serviceable.                            |

**POOL/HOT TUB ELECTRIC CONTROLS:**

|  |  |
|--|--|
| <b>POOL/HOT TUB ELECTRIC CONTROLS CONDITION:</b> | A subpanel is provided- Appears serviceable, Timer is serviceable. |
|--|--|

**POOL/HOT TUB ELECTRIC  
CONTROLS CONCERNS:**

The following concerns were noted at the electric controls: Timer control tabs are not installed. It appears that the timer is not currently in use. Recommend verifying reason with sellers. Improper clearance to panel.



**POOL DECKING:**

**POOL DECKING TYPE:** Finished concrete.  
**POOL DECKING CONDITION:** Appears serviceable.

**POOL ENCLOSURE:**

**POOL ENCLOSURE TYPE:** Fencing.  
**POOL ENCLOSURE CONDITION:** Appears serviceable, but signs of wear and aging noted. Monitor for problems.

**POOL ENCLOSURE CONCERNS:** Fences do not appear to be 6 foot non-climbable type. This may present a liability concern. No self closing/locking devices noted on gates and doors.

**SPA/HOT TUB:**

**SPA/HOT TUB TYPE:** Concrete/Plaster.  
**SPA/HOT TUB CONDITION:** Appears serviceable, Indicator light on the flow through heater operated, signaling proper operation.

**SPA/HOT TUB CONCERNS:** The following concerns were noted at the spa/hot tub: Controls were damaged. Unable to operate spa. Blower motors for jets would not respond to testing. Verify proper operation with sellers and repair or replace as needed.

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April 6, 2016

Janell & Mike Pulliam

Re 125 Ayshire.  
Slidell La 70461

Dear Janell & Mike Pulliam:

At your request, a visual inspection of the above referenced property was conducted on 4/6/16. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service.

An earnest effort was made on your behalf to discover all visible defects, however, in the event of an oversight, maximum liability must be limited to the fee paid. The following is an opinion report, expressed as a result of the inspection. Please take time to review limitations contained in the inspection agreement and the report.

## **REPORT SUMMARY**

This summary has been provided for the convenience of our clients. In our opinion, the following items should be addressed:

### **EXTERIOR**

#### WALLS:

##### *WALL CONCERNS:*

The following concerns were noted at the exterior walls: Cracks noted. Some cracking is to be expected in all exterior surfaces as the property settles with age. Recommend monitoring for any future changes, Significant cracks were noted, Pest entry points noted. Recommend sealing all penetrations to prevent access, Recommend making necessary repairs, Recommend caulking/sealing intersections between dissimilar building materials. Recommend evaluation by a qualified licensed structural engineer.

### **ROOF - ATTIC - FLASHING SYSTEMS**

#### EXPOSED FLASHINGS:

##### *EXPOSED FLASHING CONCERNS:*

The following concerns were noted at the flashings: Damaged flashing is noted in the following areas: Roof flashing at rear, and at the plumbing vent covers, The potential for water entry is present.

### **PLUMBING**

#### WATER HEATER:

##### *WATER HEATER CONCERNS:*

The following concerns were noted at the water heater: Rust flakes/corrosion noted, Older model appliance. Unit appears to be nearing the end of its useful life. The following concerns were noted with water heater TPR valve: Pressure relief valve drain line ends prematurely. This is a SAFETY HAZARD. We recommend this drain line be extended to a safe location/pointing toward and terminating within 6" of the ground. TPR valve piping improperly terminates in the overflow drain pan. This is not advisable by current safety standards. Correction is recommended.

### **HEATING - AIR CONDITIONING**

#### HEATING SYSTEM COMPONENTS:

##### *VENTING CONCERNS:*

The following concerns were noted at the heater vent: Inadequate vent pipe clearance- Combustibles are nearby/touching vent pipe.

**ELECTRICAL****SWITCHES & OUTLETS:*****SWITCHES & OUTLETS CONCERNS:***

The following concerns were noted with the switches and outlets: Ground Fault Circuit Interrupter (GFCI) outlets are recommended at all locations where you can come in contact with water and electricity at the same time. Consider upgrading to comply with current codes and safety recommendations. Ground Fault Circuit Interrupter (GFCI) outlets are recommended at the following areas: Outlets near water sources (wetbar, laundry sinks, etc.)

**GARAGE - CARPORT****HOUSE ENTRY DOOR:*****GARAGE HOUSE ENTRY DOOR CONCERNS:***

The following concerns were noted at the house entry door from the garage: The door does not appear to be fire-rated. Recommend installing a fire-rated door for additional safety. Hollow core interior type door installed.

Each of these items will likely require further evaluation and/or repair by licensed tradespeople. Have the major concerns evaluated by qualified licensed contractors before the close of the transaction, and obtain competitive estimates for these items. Other minor items may also be noted in the inspection report and should receive eventual attention, but none of them affect the habitability of the house and their correction is typically considered the responsibility of the purchaser. The majority are typically the result of normal wear and tear. This summary is provided for your convenience, but is only a portion of the entire report, and in no way represents the entire inspection report nor covers all of the deficiencies and concerns listed in the inspection report. As everyone has different ideas of what is most important regarding home repairs, it is important that you read the entire report (not just the summary) and consult with your Realtor regarding the findings.

Thank you for selecting our firm to perform your inspection. Please feel free to contact us if you have any questions or concerns regarding the inspection report or the home.

Sincerely,

*HOUSE CALL HOME INSPECTION*

PAUL FORTMAYER

A handwritten signature in black ink, appearing to be 'Paul Fortmayer', written in a cursive style.

LA LHI # 10899