

7.17.18

Lisa Clement

2228 2nd St
Slidell, LA 70458

House Call Home Inspection
Paul Fortmayer LA LHI # 10899
C(985) 237-8292 F(270) 717-7361
PFortmayer@HouseCallUSA.net



INSPECTION CONDITIONS

CLIENT & SITE INFORMATION:

DATE OF INSPECTION: 7.17.18.
START TIME OF INSPECTION: 200 PM.
CLIENT NAME: Lisa Clement.
INSPECTION SITE: 2228 2nd St
Slidell, LA 70458.

CLIMATIC CONDITIONS:

WEATHER: Overcast.
SOIL CONDITIONS: Wet.
APPROXIMATE OUTSIDE TEMPERATURE in F: 80-90.

BUILDING CHARACTERISTICS:

ESTIMATED AGE OF STRUCTURE: Unknown.
BUILDING TYPE: Commercial.
STORIES: 1
SQUARE FOOTAGE OF RESIDENCE: 4200.
SPACE BELOW GRADE: Crawl space.

UTILITY SERVICES:

WATER SOURCE: Public.
SEWAGE DISPOSAL: Public.
UTILITIES STATUS: All utilities on.

OTHER INFORMATION:

AREA: City.
HOUSE OCCUPIED? No.
CLIENT PRESENT: Yes.
PEOPLE PRESENT: Selling agent, Purchaser.

ADDITIONAL COMMENTS: Possible organic growth has been observed during the inspection. While no official mold inspection has been performed, this information is being provided as a courtesy for our client. If this item is a concern for the client, further evaluation by a qualified contractor is recommended prior to closing.

PAYMENT INFORMATION:

TOTAL FEE: \$630.
PAID BY: Credit card.

REPORT LIMITATIONS

This report is intended only as a general guide to help the client(s) make their own evaluation of the overall condition of the home, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection process includes a limited, visual, performance based inspection of the property, subject to the limitations described herein and in the attached "Building Inspection Authorization and Agreement." The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. It is recommended that proper installation of any equipment on the property be verified by consulting the manufacturer's



instructions. While the inspector may mention an item that is suspected of being involved in a recall, every item in the home is not checked for recall status by the inspector. It is recommended that all devices in the home be checked for recalls by the homebuyer at www.CPSC.gov. No disassembly of equipment, opening of walls, moving of furniture, personal property, floor coverings, appliances or stored items, dismantling, disconnecting or unplugging of equipment or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report. The home inspector retains the right to determine if an area/item is readily accessible for inspection, and will not perform any actions which may involve risk to persons or property. If it is reported that some areas are not readily accessible during the inspection, it is highly recommended that the purchaser request access to these areas, and have them evaluated by an appropriate qualified licensed contractor prior to closing on the house. The home inspector and inspection company accept no responsibility for areas that were reported as inaccessible during the inspection. Additionally, if any areas of the home were not accessible due to personal belongings, it is highly recommended that the buyer personally perform a thorough inspection during their final walk through. It is the client's sole responsibility to perform a thorough inspection during their final walk through, paying particular attention to any areas that were not fully accessible during the home inspection. Please discuss your subsequent inspection options with your real estate representative prior to closing. The home inspector is not responsible for any damage discovered after the closing in any of the areas noted in the home inspection report as inaccessible due to personal belongings. Please exercise due diligence in regards to subsequent inspections. If the home inspector must return to the property at a later date to finish a portion of the inspection due to limitations present at the time of the initial inspection, a reinspection fee will be assessed and due at the time of the reinspection. If any problems or questionable conditions are reported on by the inspector, or if the purchaser is concerned with any property conditions, it is recommended that a qualified professional be retained to further investigate the situation, and make necessary recommendations and/or upgrades as needed before the act of sale occurs. Please note that evaluation of these conditions by a qualified, licensed contractor is (by its nature) more extensive and intrusive than the visual inspection performed by the home inspector, and may reveal additional problems and conditions that were not discovered during the home inspection, which is the reason why further evaluation is recommended prior to closing. Failure of the client to follow the recommendation of the home inspector for further evaluation of areas of concern noted in the report by a qualified, licensed contractor prior to closing shall absolve the home inspector of any future liability regarding the stated area of concern. It is of the utmost importance that you follow the home inspector's advice, and exercise due diligence, prior to closing in regards to these recommendations. Recommended areas of concern that are investigated prior to closing can affect negotiations and/or your decision to purchase the property. Recommended areas of concern that are not investigated until after you have purchased the property are your sole responsibility.

Systems and conditions which are not within the normal scope of the building inspection (unless previously contracted) include, but are not limited to: formaldehyde, lead paint, asbestos, radon, carbon monoxide, fuel gas leaks, toxic or flammable materials, mold, contaminated drywall, carcinogens, or other environmental hazards, whether in the building, soil, water or air; pest infestation; playground equipment; efficiency measurement of insulation or heating and cooling equipment; internal or underground drainage or plumbing; sprinkler systems; pool and spa equipment; any systems which are shut down or otherwise secured; water wells (water quality and quantity); septic systems; zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are provided to our client as a courtesy, are for informational purposes only and do not represent an inspection. If any potential problem is suspected regarding the above systems or conditions, it is recommended that a qualified professional be retained to further investigate the situation, and make necessary recommendations and/or upgrades as needed before the act of sale occurs. The home inspector is not responsible for any issues related to these systems and conditions which are not within the normal scope of the building inspection (unless previously contracted), whether discovered prior to or after the close of the transaction. Please exercise due diligence in regards to these systems and conditions.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions herein expressed regarding adequacy, capacity, or expected life of components are general estimates based on available information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration in accordance with the Building Inspection Authorization and Agreement and applicable laws and regulations of the State in which the inspection was performed, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company the option to inspect the area involved in the claim, in accordance

House Call Home Inspection
Paul Fortmayer LA LHI # 10899
C(985) 237-8292 F(270) 717-7361
PFortmayer@HouseCallUSA.net



with the Building Inspection Authorization and Agreement, prior to any repairs or waive the right to make such claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

This report includes an estimation of the age of the principal structure and its roof. This estimation is based on information provided to the inspector by the seller, purchaser, real estate agent, or property disclosure report, and is only an approximation.

This inspection report is the intellectual property of House Call Home Inspection, is confidential, and is intended for the exclusive use of the client for whom it was prepared. It is not to be copied, sold or disseminated to any other party without the expressed, written consent of House Call Home Inspection. Neither the inspector nor House Call Home Inspection company shall have any liability whatsoever to any third party using or relying on its contents. Any third party using this report agrees thereby to defend, indemnify and hold the inspector and House Call Home Inspection company harmless from any claims of any person relying on the report. This inspection report also includes a copy of the Building Inspection Authorization and Agreement and applicable laws.

Items inspected for this report are deemed "appears serviceable" if, at the time of inspection, they are considered to be in a functional and operable condition. These items may be at any point in their service life, from brand new to approaching end of life expectancy. As they are mechanical systems, it should be expected that they will, at some point, break down and need repair or replacement. This report is not intended to predict these events, it is simply an overview of the functionality of the items and systems inspected as they existed at the time of inspection. If there are any concerns about the life expectancy of any items in this report, it is recommended that additional evaluation by qualified licensed contractors be performed prior to closing. Pictures are provided in this inspection report as a courtesy to our clients. They are intended to serve as an example of items reported on in the inspection report, and are not intended to identify every possible deficiency encountered during the inspection. A picture will not be taken of every deficiency found during the inspection. If you have any questions or concerns regarding any potential deficiencies, please contact the home inspector or your real estate agent prior to closing on the property.

This home inspection report is being provided to assist you in making an educated decision regarding the purchase of the subject property. As the buyer, you bear the sole responsibility to exercise due diligence in regards to this purchase, and to take the appropriate recommended actions based on the information provided to you by your home inspector. Properly utilized, this inspection report may help you to make an informed decision by enhancing the amount and quality of information available to you regarding this property. Systematically using the available information to deliberate on the decision to purchase, analyzing all expected costs, benefits and risks, can aid you in making an informed decision regarding this property.

EXTERIOR - FOUNDATION - BASEMENT

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and exterior wall covering systems, and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. Many conditions may be indicative of structural concerns in a building, including but not limited to cracks on interior and exterior surfaces, difficulty opening/closing doors and windows, and uneven surfaces. If any conditions raise concerns, it is recommended that further evaluation be made by a qualified structural engineer prior to closing. Weep holes at exterior masonry walls are not inspected for drainage openings. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. When safely accessible, inspector will enter the crawlspace to determine its condition. A representative number of beams, joist, sills and piers are inspected. Each individual member is not inspected. Crawlspace should be kept dry and well ventilated. Closing the crawlspace is not recommended, except under the direction of a qualified and experienced contractor. Expansive soils may be present in this area. Movement of the house structure may occur during excessively wet or dry periods of weather. Some manufacturers of composite/wood fiber and hardboard type siding have experienced product problems/failures that have resulted in class action lawsuits. If this type of siding is present, further evaluation/investigation prior to closing may be warranted. Some manufacturers of EIFS/synthetic stucco siding have experienced product problems/failures that have resulted in class action lawsuits. If this type of siding is present, further evaluation/investigation prior to closing may be warranted. Any reference to material types in the inspection report is based on a visual inspection only. Material is not probed/damaged during the inspection in an attempt to verify its composition.

STRUCTURE:

STRUCTURE MATERIAL: As far as visible during inspection, areas of the wall, ceiling and roof structure appear to include typical wood framing.

FOUNDATION:

FOUNDATION TYPE: Raised.

FOUNDATION CONDITION: Slab is not fully visible due to carpet and/or floor covering - no readily visible problems are noted in accessible areas.

CRAWL SPACE:

CRAWL SPACE ACCESSIBILITY: Crawl space is mostly accessible/was entered for inspection.

FRAMING TYPE: As far as visible during inspection, the framing structure includes, typical wood framing.

CRAWL SPACE CONCERNS: The following concerns were noted in the crawl space: Insulation is not well attached to the underside of the floor and the vapor barrier is facing the wrong side. This photo is a zoomed in view of the manufacturer's label warning against leaving the vapor barrier exposed.



Also, batt insulation should not be used at the exterior. This type of insulation will absorb moisture, which can lead to organic growth. Slight surface organic growth was noted in some areas.

Here is a photo showing the crawl space is full of batt insulation. (Some attached and some not)



Some areas have no insulation at all.

Termite shelter tubes noted in multiple locations throughout the crawlspace. The shelter tubes are noted on the wooden piers, the structural support members, and the subfloor. Damage and active termites noted.

The following photos show the some of the shelter tubes, damage and termite activity found.



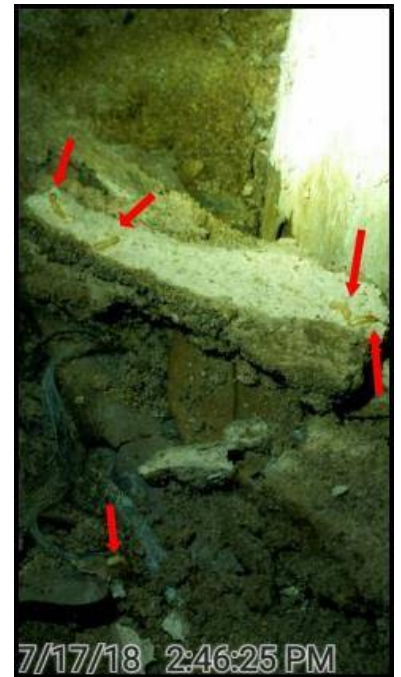
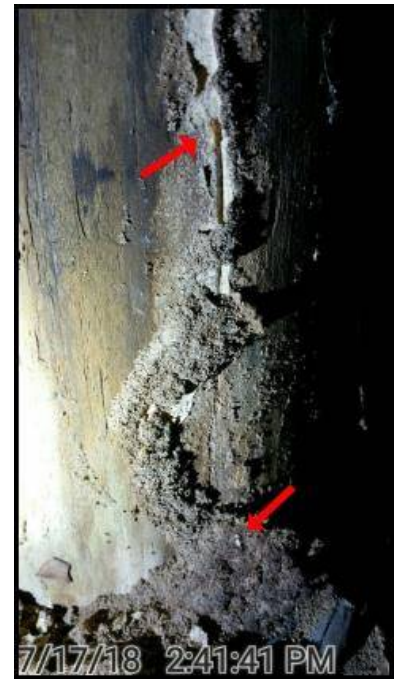
House Call Home Inspection
Paul Fortmayer LA LHI # 10899
C(985) 237-8292 F(270) 717-7361
PFortmayer@HouseCallUSA.net



House Call Home Inspection
Paul Fortmayer LA LHI # 10899
C(985) 237-8292 F(270) 717-7361
PFortmayer@HouseCallUSA.net



House Call Home Inspection
Paul Fortmayer LA LHI # 10899
C(985) 237-8292 F(270) 717-7361
PFortmayer@HouseCallUSA.net



House Call Home Inspection
Paul Fortmayer LA LHI # 10899
C(985) 237-8292 F(270) 717-7361
PFortmayer@HouseCallUSA.net



House Call Home Inspection
Paul Fortmayer LA LHI # 10899
C(985) 237-8292 F(270) 717-7361
PFortmayer@HouseCallUSA.net





The following concerns were noted in the crawlspace: Insulation is becoming detached from the underside of the structure. As mentioned above, this type of insulation should not be used in the crawlspace.



House Call Home Inspection
Paul Fortmayer LA LHI # 10899
C(985) 237-8292 F(270) 717-7361
PFortmayer@HouseCallUSA.net



BEAMS/SILLS CONDITION:	Appears serviceable.
BEAMS/SILLS CONCERNS:	Beams are not fully visible, Possible wood destroying insect damage noted.
FLOOR JOIST CONDITION:	Appear serviceable.
FLOOR JOIST CONCERNS:	Floor joist are not fully visible, Possible wood destroying insect damage noted.
COLUMNS/SUPPORTS/PIER TYPE:	Wood.
COLUMNS/SUPPORTS/PIER CONDITION:	Appear serviceable.

GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soil engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls having an effect on the home. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including water and sewer service piping or septic systems. It is recommended that the home buyer observe the property drainage during a prolonged rain event prior to closing, to verify proper site drainage. Decks and porches are often built close to the ground, where limited or no viewing/access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We routinely recommend that inquiry be made with the seller regarding knowledge of any prior foundation or structural repairs. Low voltage lighting systems and sprinkler systems are not inspected. Trees and bushes should be regularly trimmed to keep them away from the structure, as they can cause damage to the structure and/or finish materials. The inspector does not determine property lines, and does not determine proper installation of fence or other materials with regard to property lines. The inspector does not determine ownership of installed fence materials. It is recommended that the buyers make inquiry with the property owner regarding the ownership and/or installation of fences on the property. Industry standards state that inspection of detached sheds, fences and docks are not considered to be a part of a standard home inspection. While the inspector may include a limited inspection of these areas as a courtesy to the client, an extensive inspection of these areas is not included as part of this home inspection, and the inspector accepts no liability for these comments/observations. If the client has any concerns regarding these areas (detached sheds, fences and/or docks), it is recommended that a qualified, licensed contractor perform a thorough inspection of these areas prior to closing. We routinely recommend handrails/guardrails be installed in any area (patios, decks, docks, stairs, porches, pools, etc.) where safety is a concern, especially when small children and elderly individuals are going to be present.

LANDSCAPING:

LANDSCAPING CONCERNS:

The following concerns were noted at the landscaping: Keep plants trimmed away from structure to help prevent moisture damage and pest intrusion. Trees planted close to structure, Trees are touching or over-hanging the roof. Damage is possible, Large tree(s) located on the property. They may present problems (now or in the future) with site drainage, plumbing or foundation conditions. Recommend monitoring the situation for problems and consult with an expert as needed. Wood to ground contact is noted. Recommend removing all wood that touches both the house and ground, Maintenance needed.

PORCHES:

PORCH TYPES:

Wood.

PORCH CONDITIONS:

Appears serviceable.

PORCH CONCERNS:

Moisture damage noted. Bad & unsafe handrails noted. Missing handrails noted.

EXTERIOR STAIRS:

EXTERIOR STAIR TYPE:

Wood.

EXTERIOR STAIR CONCERNS:

The following concerns were noted at the exterior stairs: Moisture damage noted, Tripping hazards, Wood to ground contact noted, The following problems were noted at the handrails: Missing handrails. Recommend installing handrails for safety. Improper handrails. Spacing between balusters is too wide/4 inches max recommended. Handrails are loose and need securing.

ROOF - ATTIC - FLASHING SYSTEMS

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during several different prolonged rainfall events. This is not possible during a single event inspection. It can be reasonably assumed that most roof systems have some degree of hidden moisture penetration and/or moisture damage present which will not be visible during a standard home inspection. Improper depth of nail penetration into roofing shingles may lead to premature roofing failure. Unfortunately, depth of nail penetration is difficult to access without adversely effecting the water-tight envelope of the roof, and is not included as part of a routine home inspection. It is recommended that all home exhaust vents (dryer, bathroom, kitchen, etc.) are routed to the exterior. Tenting a home for fumigation can potentially damage a roof; reinspect for damage after treatment is completed. Industry standards require the home inspector to enter and inspect only those areas of the attic that are considered readily accessible (safe and decked walking areas). It is assumed that some areas of the attic are not decked for walking, therefore limiting the inspector's ability to inspect these areas. Attic observations include inspection of a representative number of structural components. Each individual component (beam, joist, board, etc.) is not inspected. Insulation is not moved during inspection, therefore areas hidden from view by insulation (decking, finish materials, vapor barriers, structural members, fixture supports, etc.) are not inspected. Some building materials (insulation, roofing, siding, etc.) have been shown to contain asbestos. The presence of asbestos in the home may necessitate removal, which may increase the expense of any other work being performed. Testing for asbestos in any materials in the home is beyond the scope of a home inspection. If you suspect asbestos materials in your home, it is recommended that an evaluation be performed by a qualified licensed contractor and remedy as needed prior to closing. Please be advised that some home owners insurance companies will send out their own roof inspector after closing, and they may have a different opinion (than the home inspector) of the condition and life expectancy of the roof. These inspectors are typically employees of the insurance companies, and are typically not licensed home inspectors or roofing contractors. As a result of their inspection, your home owners insurance company may require that you replace your roof to maintain your insurance coverage. Your home inspector cannot determine the standards that these inspectors apply to your home, and cannot predict if these inspectors will determine that your roof needs to be replaced. Home inspectors are not responsible for the determination of your home owners insurance company. If you have any concerns regarding the possibility that your insurance company will require a roof replacement, it is advised that you contact your insurance company prior to the end of your inspection period to discuss their requirements regarding the roof on the home. The home inspection company accepts no responsibility regarding the acceptability of the roof condition by your insurance company. The report is issued in consideration of the foregoing disclaimer.

ROOF:

- AGE OF ROOF IN YEARS:** Unknown.
- ROOF STYLE:** Gable.
- ROOF TYPE:** Composition Shingles.
- ROOF ACCESS:** Viewed from roof edge on ladder, however some areas are not visible.
- ROOF COVERING CONDITION:** Appears serviceable, but signs of wear and aging noted. Monitoring for problems, maintenance and inspections recommended by a licensed roofing contractor .
- ROOF COVERING CONCERNS:** The following concerns were noted at the roof: Damage/Deterioration/Defects noted.

GUTTERS & DOWNSPOUTS:

- GUTTERS & DOWNSPOUTS CONCERNS:** The following concerns were noted at the gutters: Debris in gutter, The gutter appears to be sloped improperly and holding water, Sagging areas noted at gutters, Recommend routing downspouts away from the building.

ATTIC AND INSULATION:

- ATTIC TYPE:** Attics are partial.
- FRAMING TYPES:** Truss framing noted. Truss framing is an engineered support system, and is not intended to be cut or altered in any way.

ACCESSIBILITY:

Restricted access due to attic design. Only partially entered/partially inspected.



Restricted access due to attic design. Only partially entered/partially inspected.



ATTIC CONDITION:

Appears serviceable.

ATTIC CONCERNS:

The following concerns were noted at the attic:
Evidence of prior rodent activity was noted. There may be current rodent activity. You may wish to have treatment carried out by a licensed exterminator.



Rodents cause damage to equipment and wiring. It is highly recommended to have a licensed electrician evaluate the exposed conductors for any chew damage and repair as needed.

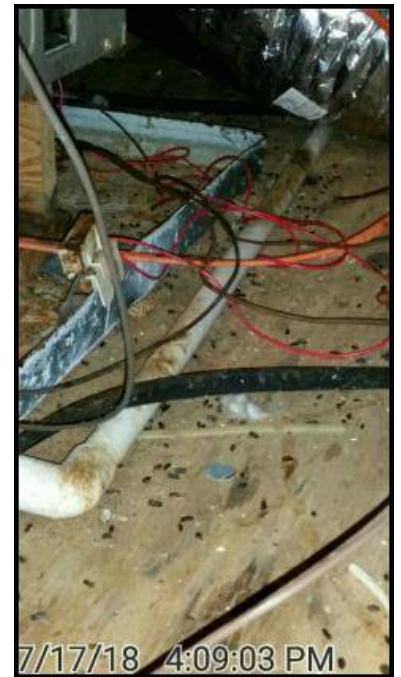
More rodent droppings noted.



More rodent droppings noted.



More droppings noted and grease runs noted.



The following concerns were noted at the attic:
Significant staining is noted in the rear right attic space.



The following concerns were noted at the attic:
Staining is noted in the front right attic.



The following concerns were noted at the attic:
Active leakage noted at the right side front hall.
This area of the attic was not accessible. Further evaluation recommended by a qualified licensed roofing contractor and repair as needed.



ATTIC ACCESS/STAIR

The following concerns were noted at the attic access/stairs:



CONCERNS:	There is one notable attic hatch at the rear right. But the other two access points are not labeled / marked. Trial and error was necessary to find the proper ceiling tile that offered attic entry. All attic entries are hatch only. No safe entry/pull down attic ladder assembly provided. Attic was inspected from the Hatch area only at the rear right and the rear left, but the front right access was entered. Recommend upgrading to a pull down attic access for safe entry.
VENTILATION TYPES:	Attic ventilation is provided by, Soffit vents, Ridge vents.
VENTILATION CONDITION:	Appears serviceable.
INSULATION TYPES:	Fiberglass- Blown.
INSULATION CONDITION:	Appears serviceable, but signs of wear and aging noted. Monitor for problems.
AVERAGE INSULATION DEPTH:	6-10 inches in most areas.
VAPOR BARRIER/RETARDER:	Plastic sheeting.
VAPOR BARRIER/RETARDER CONDITION:	Visible areas of the vapor barrier/retarder appear serviceable, but signs of wear and aging noted. Monitor for problems.

PLUMBING

All references made to Waste Lines in the report are made regarding the entire drain, waste and vent (DWV) systems. Any comments in the report regarding the type of pipe materials or plumbing methods are limited to visible, accessible areas only. All underground piping or pipes enclosed inside of walls related to water supply, waste, or sprinkler use cannot be viewed and are excluded from this inspection. Leakage or corrosion in underground piping, under slab piping or piping enclosed inside of walls cannot be detected by a visual inspection. It is highly recommended that a video pipe inspection by a qualified licensed plumber be performed prior to closing to determine the condition of the waste lines that are not visible during the home inspection. Inspector is not allowed to open any closed shut-off valves. Verify proper operation of closed shut-off valves with seller before act of sale. Be advised that some Polybutylene, Polyethylene and ABS plastic piping systems have experienced some documented problems. Contact the piping manufacturer or a qualified licensed plumber for further information. Testing for fuel pipe leaks and sizing is not performed. It is recommended that all gas appliances are connected to the fuel system with appropriate piping material. The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor, a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. Improper installations should be corrected. Water temperature above 125 degrees is considered a potential safety hazard and should be corrected. Water temperature testing IS NOT performed during the home inspection due to the fact that conditions may change between the time the inspection is performed and the new owners take possession of the property. Regular testing of hot water temperature is recommended. Overflow drain pans are not checked for leaks during this inspection. Adequacy and function of private water and waste systems and water quality testing are beyond the scope of a home inspection. Testing should be performed by the appropriate testing agencies prior to closing. Water quality or hazardous materials (lead) testing is available from local testing labs. If gas service is not on at the time of the inspection, gas appliances cannot be inspected. Verify proper operation prior to closing. Testing for carbon monoxide or fuel gas leaks are beyond the scope of the typical home inspection, and therefore are not included. If any problems are suspected, proper evaluation prior to closing is recommended. Rust and/or debris in the supply water may be caused by a build up in the water heater, especially when a building has been vacant and the water has not been regularly used. Water heaters should be regularly flushed, according to manufacturer's instructions. If water heater problems are indicated, contact a licensed plumber for further evaluation. Older plumbing lines may be undersized according to current standards, and upgrades may be warranted. Newer washing machines often discharge a high volume of water, which may cause problems with older, undersized drain lines. If washer drain line problems are indicated, contact a licensed plumber for further evaluation.

MAIN LINE:

MAIN VALVE LOCATION: Main water shut off valve is located: at the left side of the house.
MAIN LINE CONDITION: Appears serviceable.

SUPPLY LINES:

SUPPLY LINE MATERIALS: Polyethylene.
SUPPLY LINE CONDITION: Appears serviceable.
SUPPLY LINE CONCERNS: Lack of proper support noted on piping in crawlspace, Not fully visible.

WASTE LINES:

WASTE LINE MATERIALS: Plastic.
WASTE LINE CONDITION: Appears serviceable, Plumbing vents appear serviceable.
WASTE LINE CONCERNS: The lines are not fully visible.

WATER HEATER:

WATER HEATER LOCATION: Attic, Left rear hatch access.
WATER HEATER TYPE: Electric.

WATER HEATER CONCERNS: Improper serviceable access. There should be secure and sturdy walk boards, clear of obstruction and trip hazards, with a minimum 30"x30" platform at the unit's serviceable side for safe access.



HEATING - AIR CONDITIONING

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this is often performed by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that full visible inspection is impossible. The inspector is not allowed to light pilot lights. Safety devices are not tested by the inspector. NOTE: Asbestos materials have been commonly used in heating systems. Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. It is recommended that all homes with fuel burning appliances have carbon monoxide detectors installed according to manufacturer's specifications for additional safety. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, UV lights, humidifiers, humidistats and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Exterior air temperature below 65 degrees may prevent the testing of air conditioning equipment, as operation may cause damage. Overflow drain pans are not checked for leaks during this inspection. Duct tape is not recommended for use on HVAC system components, as tape material failure is likely to occur. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which may be costly to remedy.

DUCTWORK:

DUCTWORK TYPE: Flexible Round.

DUCTWORK CONDITION: Appears serviceable.

DUCTWORK CONCERNS: Ductwork is not installed by today's standards; improvements will be needed once the HVAC system is replaced/upgraded.
 Re-taping of duct connections is needed- Air leaks noted. Recommend sealing with foil tape and duct mastic.

HVAC SYSTEM

EXTERIOR AC COMPONENTS There are 3 units.
 One at the rear left
 One at the rear right
 One at the front right.

AC CONDENSER/COMPRESSOR TYPE: Central (Split system)

AC CONDENSER/COMPRESSOR MANUFACTURER: Goodman.

AC CONDENSER/COMPRESSOR YEAR OF MANUFACTURE: 2003.

AC CONDENSER/COMPRESSOR CONDITION: Appears serviceable, but signs of wear and aging noted. Monitor for problems.

AC CONDENSER/COMPRESSOR CONCERNS: The following concerns were noted with the air conditioning condenser/compressor:
 Missing/damaged insulation noted on refrigerant lines, Older model appliance. Unit appears to be nearing the end of what is typically considered an average life expectancy for this type of equipment.

Rear left Unit is not responding and further evaluation recommended.

Right rear unit is not producing an air temperature drop. Further evaluation recommended

	Right front unit is functioning as intended, but due to age, inspector Suggests cleaning/servicing of entire system by a licensed HVAC contractor prior to closing to ensure proper and continued operation.
HVAC CONTROL PANEL/THERMOSTAT CONDITION:	Appear serviceable.
HVAC CONTROL PANEL/THERMOSTAT CONCERNS:	Batteries in the thermostat for the left rear unit are dead. Recommend verifying proper operation of thermostat and HVAC system prior to closing.
HEATING SYSTEM TYPE AND FUEL SOURCE:	System Type: Forced Air, Fuel Type: Electric.
EQUIPMENT POWER SOURCE:	240 Volt.
HEATING SYSTEM MANUFACTURER:	Goodman.
HEATING SYSTEM CAPACITY OF UNIT:	Approximately 15 KW.
HEATING SYSTEM YEAR OF MANUFACTURE:	2003.
HEATING SYSTEM CONDITION:	Appears operational.
GENERAL HVAC SUGGESTIONS:	Limited access to equipment. This situation limits the inspection and may increase the cost of future maintenance on equipment. Suggest cleaning/servicing of entire system by a licensed HVAC contractor prior to closing to ensure proper operation.

ELECTRICAL SYSTEM

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire house should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring may present safety concerns, and requires periodic inspection and maintenance by a licensed electrician. Many homeowners insurance companies will ask if a house is wired with solid strand aluminum wiring (branch circuits), and its presence may effect insurability and rates. Like any mechanical component of a home, electrical wiring and its insulation degrade with age. Older wiring may be damaged, deteriorated, unsafe or not compatible with newer fixtures. It is recommended that homes with a wiring system greater than 30 years old have a complete electrical system evaluation by a qualified licensed electrician, regardless of whether or not the system appears to be serviceable at the time of the home inspection. If furnishings are located in the house, it is assumed that some outlets and switches will not be accessible, and are therefore not tested. The inspector is not allowed to move personal belongings during the inspection. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke detectors and carbon monoxide detectors should be installed according to manufacturer's directions and local code requirements, and tested regularly. Smoke and carbon monoxide detectors are not tested during the home inspection. GFCI outlets are recommended at any location where contact with water is possible, including all exterior outlets (including pool equipment, water and waste equipment), all bathroom outlets (including spas, whirlpool tubs, and lights over tubs and showers), all kitchen countertops, garage and sink outlets (with the exception of outlets dedicated for refrigerator/freezer use). Installation of AFCI breakers according to current safety standards is recommended. GFCI and AFCI circuits are not tested by the inspector if these tests will interrupt power to the homeowner/occupant's connected devices (typical of an inspection of an occupied property). In these situations, testing of GFCI and AFCI circuits according to manufacturers' specifications are recommended prior to closing. It is recommended that all overcurrent protection devices (fuses and circuit breakers) located in electrical panels be marked for convenience and safety. Verification of proper labeling of circuits is not part of this inspection, and should be verified by the purchasers prior to occupying the property. Outlets located below the countertop level of kitchen islands may pose a hazard for small children, as dangling cords may be pulled, resulting in appliances falling off of the countertop. Please exercise caution in these situations.

ELECTRICAL SERVICE:

INCOMING SERVICE: Overhead.

VOLTAGE: 120/240 Volt.

OVERCURRENT PROTECTION TYPE: Circuit breakers.

INCOMING SERVICE CONDITION: Appears serviceable.

INCOMING SERVICE CONCERNS: The following concerns were noted at the grounding electrode system:
Missing intersystem bonding terminal bar from the service enclosure/meter pan. This newer device allows other systems (phone, CATV, etc.) an easily accessible location to bond to the grounding electrode system. Consider upgrading/installing this device.

SERVICE CAPACITY: 200 Amps, The above referenced panel rating is based on, rating of the wire size.

ELECTRICAL PANELS:

MAIN PANEL LOCATION: Exterior of house: Left side.

MAIN PANEL CONDITION: Circuit and wire sizing correct so far as visible, Grounding system is present.

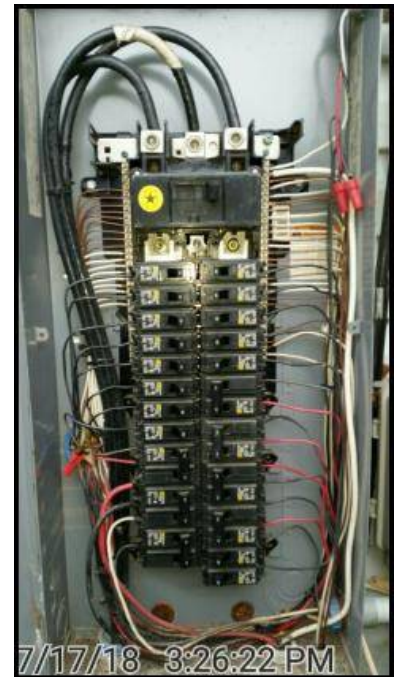
MAIN PANEL CONCERNS:

The following concerns were noted at the main electrical panel:

- * Panel is outdated by today's standards
- * White wire used as hot circuit not properly marked (Should be painted/taped black).

The following concerns were noted at AFCI breakers:

- * No AFCI (arc fault circuit interrupter) breakers were visible. Recommend installing AFCI breakers to comply with current safety standards.



CONDUCTORS:

ENTRANCE CABLE TYPE: Copper.

BRANCH WIRING TYPE: Copper.

BRANCH WIRING CIRCUIT CONDUCTORS: Type of conductor noted: Non-Metallic cable, Metal/Plastic conduit.

BRANCH WIRING CIRCUIT CONDITIONS: Appears serviceable.

SWITCHES & OUTLETS:

SWITCHES & OUTLETS CONDITION: Accessible switches and outlets were tested. As a whole, outlets and switches throughout the house are in serviceable condition, but signs of wear and aging noted. Monitor for problems.

**SWITCHES & OUTLETS
CONCERNS:**

The following concerns were noted with the switches and outlets: Miswired outlets noted, Damaged outlets are viewed, Loose outlet noted, Possible loose wiring noted at outlet, Worn outlets/switches noted. This is usually the result of normal wear, and upgrading is recommended, Recommend evaluation by a qualified licensed electrician and repair or replace as needed.



The following concerns were noted with the switches and outlets: GFCI not operational, Recommend evaluation by a qualified licensed electrician and repair or replace as needed.



LIGHTING:

LIGHTING CONCERNS:

The following concerns were noted with the lights:
Bath light is loose at the wall.



INTERIOR

The condition of walls behind wall coverings, paneling, furnishings and appliances cannot be judged. The inspector is prohibited from moving personal belongings during the inspection. Only the general condition of visible portions of floors is included in this inspection. If it is reported that some areas are not readily accessible during the inspection, it is highly recommended that the purchaser request access to these areas, and have them evaluated by an appropriate qualified licensed contractor prior to closing on the house. The home inspector and inspection company accept no responsibility for areas that were reported as inaccessible during the inspection. Additionally, if any areas of the home were not accessible due to personal belongings, it is highly recommended that the buyer personally perform a thorough inspection during their final walk through. It is the client's sole responsibility to perform a thorough inspection during their final walk through, paying particular attention to any areas that were not fully accessible during the home inspection. Please discuss your subsequent inspection options with your real estate representative prior to closing. The home inspector is not responsible for any damage discovered after the closing in any of the areas noted in the home inspection report as inaccessible due to personal belongings. Please exercise due diligence in regards to subsequent inspections. As a general rule, cosmetic deficiencies of walls, ceilings and flooring are considered normal wear and tear and are not reported. Proper spacing below interior doors is recommended to allow adequate flow of conditioned air between rooms. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture or other items. The condition of areas concealed by personal belongings or other floor coverings is not inspected. There have been class action lawsuits filed against some manufacturers and distributors of laminate type flooring due to elevated formaldehyde levels. Unless previously contracted for formaldehyde testing, inspector does not perform formaldehyde level testing on the home inspection. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information regarding the condition of windows. All fireplaces and chimneys should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. Consult the manufacturer's instructions to verify proper clearance to combustible materials at the firebox and chimney and necessity for or proper installation of a stop-clip on flue dampers of gas log units. Interior areas of the chimney/flue are not fully accessible during a visual inspection, and are not fully inspected. The installation of glass doors on fireplaces (according to manufacturers' specifications) is recommended for increased safety. Verify that any home alarm system sensors are not installed through the framing of windows, which may void window warranties and allow water intrusion to occur. The proper function of smoke and carbon-monoxide detectors/alarms are not tested, and are not included as part of this inspection. The National Fire Protection Association recommends that home owners test smoke detectors/alarms once a month, and replace them when they are 10 years old. There are different types of smoke detectors/alarms, and some are considered better than others. The home inspector does not verify the type of detectors/alarms installed. Smoke and carbon monoxide detectors/alarms have a limited service life, and should be upgraded according to the manufacturer's recommendations. The home inspector does not verify the age of detectors/alarms installed. Smoke and carbon monoxide detectors/alarms should be installed according to current code requirements and the manufacturer's instructions. The home inspector does not verify proper installation techniques. Please be advised that testing of smoke and carbon monoxide detectors/alarms may not guarantee that the alarms will function as intended during actual emergency conditions. It is recommended that these items be inspected and maintained by a qualified professional on a regular basis. Please refer to the manufacturer's specifications for more information regarding smoke and carbon monoxide detectors/alarms and their maintenance.

WINDOWS:

**TYPES OF WINDOWS
INSTALLED:**

Fixed, Aluminum.

WINDOW CONDITION:

Accessible windows were inspected. Windows as a group are generally operational and appear serviceable.

CEILINGS:

CEILING TYPE:

Suspended.

CEILING CONDITION:

General condition appears serviceable.

CEILING CONCERNS:

The following concerns were noted at the ceilings: Moisture stains noted, Unable to determine if active leakage exists. Make inquiry with the seller as to the history of leaks, Repairs are needed.

House Call Home Inspection
Paul Fortmayer LA LHI # 10899
C(985) 237-8292 F(270) 717-7361
PFortmayer@HouseCallUSA.net



SMOKE / FIRE DETECTOR:

**SMOKE / FIRE DETECTOR
CONCERNS:**

We suggest additional smoke detectors be installed in appropriate locations.

KITCHEN - APPLIANCES - LAUNDRY - WETBAR

Inspection of refrigerators, freezers and built-in ice makers are outside the scope of the inspection. Operation of ice maker supply line is not included in this inspection. No opinion is offered as to the adequacy of dishwasher operation. Oven self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances and personal belongings are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing. Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned, and are not tested during the inspection. If sellers are leaving any personal movable property (appliances) for the buyer, it is recommended that these appliances be tested by a qualified licensed contractor prior to closing.

KITCHEN SINK / CABINETS / COUNTERTOPS:

KITCHEN SINK CONCERNS:

The following concerns were noted with the kitchen sink: Leakage is present, noted at the drain line.



KITCHEN CABINETS/COUNTERTOPS CONCERNS:

The following concerns were noted at the kitchen cabinets/counter tops: Moisture damage was noted inside cabinet. Organic growth is not noted and proper cleaning / sanitation is recommended.



BATHROOMS

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans and tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future. It is recommended that all bathrooms have a functional exhaust vent fan for proper ventilation. Bath trap access panels are recommended for visual inspection during pest control audits. It is recommended that windows installed inside of the bathtub/shower area are constructed of tempered safety type glass.

BATHROOM AREA:

BATH LOCATION:

MEN.

BATH SINK CONDITION:

The following concerns were noted at the bathroom sink: Low water volume is noted. Further evaluation recommended by a qualified licensed plumbing contractor.



BATH SINK CONCERNS:

The following concerns were noted at the bathroom cabinets/counter tops: Moisture stains were noted inside cabinet. Possible organic growth has been observed.



TOILET CONDITION:

Appears serviceable.

TOILET CONCERNS:

The following concerns were noted at the toilet:
Toilet is not working. The water is off. Inspectors
are not allowed to turn on any equipment that is off.
Verify reason with seller and repair or replace as
needed.



BATHROOM AREA:

BATH LOCATION:

WOMEN.

BATH SINK CONDITION:

Sink appears serviceable, Drain appear serviceable.

TOILET CONDITION:

Appears serviceable.