

# Your Inspection Report

443 Pine Cone Lane  
Slidell, LA 70458

**PREPARED FOR:**  
ROBERT SCHMALZ

**INSPECTION DATE:**  
Tuesday, September 26, 2017

**PREPARED BY:**  
Stevin Lacoste Lic. No. 10860



360 Home Inspection Services, LLC  
596 Tanager Drive  
Mandeville, LA 70448

504-512-0205  
Fax: 985-727-1893

[www.360inspector.net](http://www.360inspector.net)  
jamesdwilliams@bellsouth.net | stevinlacoste@gmail.com



LET MY EXPERIENCE AND TRAINING HELP YOU MAKE THE BEST DECISION FOR YOU AND YOUR FAMILY.  
SATISFACTION GUARANTEED!



September 26, 2017

Dear Robert Schmalz,

RE: Report No. 1336  
443 Pine Cone Lane  
Slidell, LA  
70458

Thanks for choosing 360 Home Inspection Services, LLC to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice set forth by Louisiana State Home Inspectors Board. The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing 360 Home Inspection Services to perform your home inspection.

Sincerely,

Stevin Lacoste Lic. No. 10860  
on behalf of  
360 Home Inspection Services, LLC

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# INVOICE

September 26, 2017

Client: Robert Schmalz

Report No. 1336

For inspection at:

443 Pine Cone Lane

Slidell, LA

70458

on: Tuesday, September 26, 2017

Sewer Scope Inspection with DVD through Clean Out	\$199.00
Home Inspection 2001-2500 square feet	\$399.00
Total	<u>\$598.00</u>

PAID IN FULL - THANK YOU!

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# AGREEMENT

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## PARTIES TO THE AGREEMENT

### Company

360 Home Inspection Services, LLC  
596 Tanager Drive  
Mandeville, LA 70448

### Client

Robert Schmalz

**Total Fee: \$598.00**

This is an agreement between Robert Schmalz and 360 Home Inspection Services, LLC.

## HOME INSPECTION AUTHORIZATION AND AGREEMENT

**AGREEMENT:** This Agreement is incorporated with the Inspection Report to be prepared by Inspector. Said report is to be prepared for the sole and exclusive use of Client. Anyone executing this agreement on behalf of a buyer or seller of the subject property certifies that he/she is duly authorized by the Client to do so and is bound to deliver to Client the report incorporated herewith along with a copy of this agreement, which shall be binding on the Client.

**SCOPE OF INSPECTION:** The inspection of the subject property shall be performed by Inspector for the Client in accordance with the Standards of Practice as set forth by the Louisiana State Board of Home Inspectors. The purpose of the inspection is to identify and disclose to the client major deficiencies and defects of the systems and components of the subject premises, which are visually observable at the time of the inspection. The Inspection Report shall provide the Client with a better understanding of the property conditions as observed at the time of the home inspection. Although minor problems may be mentioned, the report will not attempt to list them all. The inspection will consist of only a visual analysis of major systems and components of the property and comment on those that are in need of immediate repair, replacement, or further evaluation by a specialist. The inspection is not technically exhaustive. The Inspection Report contains information that may or may not be mentioned or discussed during any verbal discussion of the findings of the Inspector. It is agreed that no claim shall be made against Inspector for any verbal representations, which are inconsistent with or not contained in the Inspection Report. **PLEASE READ THE REPORT CAREFULLY!**

**LIMITATIONS OF THE INSPECTION:** The inspection is limited to readily accessible and visible major systems, components, and equipment located in and attached to the premises. Any component which is not exposed to view, is concealed, or is inaccessible because of soil, wall coverings, floor coverings, ceiling coverings, rugs, carpets, furnishings, or other materials are excluded from this inspection. Weather limitations may affect the extent to which the Inspector may inspect the property, especially in connection with the heating and air conditioning systems. This inspection is not considered to be an expressed or implied guarantee or warranty of any kind regarding the condition of the property, its system or components. Further limitations described in the report also apply.

**INSPECTION EXCLUSIONS:** The following items are excluded from any inspection performed by the Inspector on the subject property:

1. Hidden or latent defects;
2. The presence of pests, termites, wood damaging organisms, rodents, or insects;
3. Detached buildings, walkways, driveways, fencing, swimming pools, spas, underground plumbing or sprinklers, water softeners/purifiers, and other components or structures not attached to the premises, unless specifically agreed upon in writing by both parties;
4. Inspecting for, reporting on, or testing for the presence of asbestos, radon gas, lead paint, urea formaldehyde, contaminated drywall (sometimes referred to as Chinese drywall), soil contamination, potentially dangerous chemical substances, mold, mildew, algae, bacteria, air quality, water quality or

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other potential environmental hazards; however, if during the course of inspecting other components, the inspector discovers or suspects what appears to be evidence of potential mold or microbial growth, such evidence shall be reported.

5. Building code or zoning ordinance compliance or violation;
6. The adequacy or efficiency of any design or installation process of any system, component or other feature of the subject property;
7. Structural stability, engineering analysis, geological stability or soil conditions.
8. A prediction of future conditions or life expectancy of systems or components; including the insurability of the home.
9. The causes of the need for a repair, or the methods, materials, and costs of a repair;
10. The marketability or market value of the property, or the advisability or inadvisability of purchase of the property.
11. Any system or component excluded or not inspected or reported upon which is so stated in the report or this Agreement.
12. The internal conditions of air conditioning and heating systems or the adequacy or efficiency of air flow, ductwork and insulation;
13. Furnace heat exchangers, fireplaces, chimneys or flues;
14. Radio or remote-controlled devices, alarms, garage door openers, automatic gates, elevators, thermostatic timer controls or dumbwaiters;
15. The insurability of the property; and
16. The grading of soil, exterior slabs, driveways, walkways or patios, or the potential for flooding or holding standing water, unless such grading affects the foundation of the home.

**NOTICE REQUIREMENTS:** Client agrees that any claim alleging Inspectors failure to accurately report a visually observable defective condition of the subject property shall be made in writing and delivered to the Inspector within ten (10) business days of discovery. Client further agrees that, with the exception of emergency conditions, neither Client, nor anyone acting on the Clients behalf, will make alterations, modification, or repairs to the subject of the claim prior to a re-inspection by the Inspector. Inspector agrees to re-inspect the alleged condition within 72 hours of receipt of written notice by Client, exclusive of weekends and holidays. Client further agrees and understands that any failure to notify the Inspector as set forth above, shall constitute a waiver of any and all claims for said failure to accurately report the condition.

**LIMITATION OF LIABILITY:** The liability of Inspector (its principals, agents, employees, successors in interest, or affiliates) for errors and omissions in the inspection and report is limited to a refund to the client of the fee paid for the inspection and report. Client assumes the risk of all losses greater than the fee paid for the inspection and report. Client agrees and understands that this inspection is not a home warranty, guarantee, insurance policy, or substitute for real estate transfer disclosures which may be required by law. Neither Inspector, nor its agents, principals, or employer or employees, shall be liable for any repairs or replacement of any components, systems, structure of the property or the contents therein, either during or after the inspection. Client agrees and understands that, for the purposes of this inspection, Inspector is acting as a licensed home inspector pursuant to the laws of the State of Louisiana and not as a professional engineer, or plumbing, electrical, HVAC, or other contractor. Any recommendation made by Inspector to client to engage the services of any of the above-referenced specialized contractors or engineers for the purposes of inspecting, cleaning, servicing and/or evaluating a specific system, component, and/or structure of the subject property, shall relieve Inspector from any liability to Client for the inspection and report of those components, systems, or structures.

**ARBITRATION:** Any dispute arising out of the inspection, report or the interpretation of this agreement, including all claims for negligence, breach of contract, personal injuries, property damages, loss of use or other damages, shall be

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resolved in accordance with the Rules of the American Arbitration Association. The parties shall select a mutually agreed upon arbitrator who is a home inspector licensed by the State of Louisiana. If the parties are unable to agree upon an arbitrator, either party may request that a licensed home inspector be selected by the Louisiana State Board of Home Inspectors to arbitrate the proceedings. Such selection shall be binding upon the parties. The prevailing party shall be awarded all arbitration costs.

**ATTORNEYS FEES:** In the event that Client files suit in any civil court alleging claims arising out of this agreement or the services performed hereunder, Client agrees to pay to Inspector, all costs, expenses, and attorneys fees incurred by Inspector, his agents, employees, or insurers in the defense of such suit. This section shall not apply to arbitration proceedings unless the selected arbitrator finds that the claim brought by Client is without merit and the Client has been given written notice specifically stating the reasons why the claim lacks merit prior to the proceedings.

**SEVERABILITY:** Client and Inspector agree that should a court of competent jurisdiction determine and declare that any portion of this contract is void, voidable, or unenforceable, the remaining provisions, whether executed prior or subsequent\* to the Home Inspection, shall remain in full force and effect.

"Your inspector has an affiliation with Residential Warranty Services (RWS), a third party service provider, in order to offer you additional value-added services including a complimentary RecallChek to help determine if the inspected property has any potentially dangerous recalled appliances, as well as a complimentary Home Warranty. By entering into this agreement you (a) authorize your inspector to provide your contact information (including telephone number) to RWS and/or its affiliate, (b) waive and release any restrictions that may prevent RWS and/or its affiliate from contacting you (including by telephone using automated dialing technology), and (c) authorize RWS and/or its affiliates to contact you regarding home services."

THE PARTIES HERETO AGREE THAT, BY SIGNING, TYPING, OR PASTING THEIR SIGNATURES IN THE SIGNATURE LINE BELOW, THEY HEREBY AGREE TO CONDUCT THIS TRANSACTION BY ELECTRONIC MEANS AND THAT THEIR HANDWRITTEN, TYPED OR PASTED SIGNATURES ON THIS DOCUMENT BIND BOTH PARTIES TO THE TERMS AND CONDITIONS OF THIS AGREEMENT, PURSUANT TO LSA R.S. 9:2601, ET. SEQ

Inspector: Stevin Lacoste License No. 10860  
360 Home Inspection Services, LLC

**I, Robert Schmalz (Signature) \_\_\_\_\_, (Date) \_\_\_\_\_, have read, understood and accepted the terms of this agreement.**

# SUMMARY

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This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Roofing

### **SLOPED ROOFING \ Composition shingles**

**Condition:** • Discoloration/algae observed at the roofing surface. Recommend professional cleaning by a qualified tradesman.

**Task:** Clean

### **SLOPED ROOF FLASHINGS \ Skylights**

**Condition:** • [Damage, patched](#)

Previous repairs noted at skylights. Patched/sealed areas are deteriorated and cracked. Recommend further evaluation by a licensed contractor and repair/replace as needed.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Task:** Further evaluation

## Exterior

### **WALLS \ Wood siding**

**Condition:** • [Too close to grade](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration | Rot | Insect damage

**Location:** Exterior Rear

**Task:** Further evaluation

### **WALLS \ Brick, stone and concrete**

**Condition:** • [Cracked](#)

Cracking noted through mortar and face of brick. You may wish to seek further evaluation by a structural engineer. Monitor for any changes and/or problems.

**Implication(s):** Chance of water entering building | Weakened structure | Chance of movement

**Location:** Exterior Left

**Task:** Further evaluation

### **GARAGE \ Vehicle doors**

**Condition:** • Rot

**Implication(s):** Material deterioration

**Task:** Repair or replace

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## Structure

### FOUNDATIONS \ Performance opinion

**Condition:** • As a courtesy to the client, the inspector performed a level survey of the foundation and the total variance detected was between 0-1 inches of differential.

Master bedroom showed the most variance detected - approximately 0.9" of differential from the doorway to the left rear corner.

**Task:** Further evaluation

**Condition:** • Suspect

You may wish to consider further evaluation by a structural engineer based upon exterior cracking and other observed defects throughout the home.

**Implication(s):** Chance of structural movement

### ROOF FRAMING \ Beams

**Condition:** • [Rot](#)

Moisture stains/Signs of leakage were noted at the front and left soffit areas (detected from garage attic area). Unable to determine the status of these stains. Recommend further evaluation by a licensed contractor.

**Implication(s):** Chance of movement | Material deterioration

**Location:** Attic

**Task:** Further evaluation

## Electrical

### SERVICE DROP AND SERVICE ENTRANCE \ Service mast and conductors

**Condition:** • Conduit for service conductors is not properly secured to the exterior wall.

**Location:** Exterior Left

**Task:** Repair

### SERVICE BOX, GROUNDING AND PANEL \ Service box

**Condition:** • [No single main disconnect](#)

Older model panel is installed at the garage. No single main service disconnect is installed. In some jurisdictions, it is acceptable to have more than one main disconnect as long as it does not exceed 6 breakers that need to be tripped in order to disconnect power to the property. You may wish to upgrade this electrical panel in the future.

**Implication(s):** Electric shock

**Location:** Garage

**Task:** Further evaluation

### SERVICE BOX, GROUNDING AND PANEL \ System grounding

**Condition:** • Ground rod appears to be completely buried below grade level. Unable to verify proper installation and/or grounding type.

**Location:** Exterior Left

**Task:** Further evaluation

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## **Condition:** • [Poor connections](#)

Loose ground wire noted

**Implication(s):** Electric shock

**Location:** Exterior Left

**Task:** Further evaluation

## **SERVICE BOX, GROUNDING AND PANEL \ Auxiliary panel (subpanel)**

**Condition:** • Missing panel cover(s)

**Implication(s):** Electrical shock

**Location:** Right Attic

**Task:** Further evaluation

## **DISTRIBUTION SYSTEM \ Wiring - damaged or exposed**

**Condition:** • Possible overheating/Discoloration noted at electrical wiring that is supplying the kitchen waste disposal.

**Location:** Kitchen cabinet

**Task:** Further evaluation

## **DISTRIBUTION SYSTEM \ Junction boxes**

**Condition:** • [Missing, loose](#)

Junction box is not properly secured and wire connections not within a junction box.

**Implication(s):** Electric shock | Fire hazard

**Location:** Attic

**Task:** Correct

## **DISTRIBUTION SYSTEM \ Outlets (receptacles)**

**Condition:** • [Reversed polarity](#)

**Implication(s):** Electric shock

**Location:** Rear bedroom

**Task:** Further evaluation

**Condition:** • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Recommend installing GFCI outlets at all areas where water and electricity may come into contact.

**Implication(s):** Electric shock

**Task:** Further evaluation

## **DISTRIBUTION SYSTEM \ Smoke detectors**

**Condition:** • Recommend installing smoke detectors at all appropriate locations to comply with current safety standards.

## Heating

### **ELECTRIC FURNACE \ Life expectancy**

**Condition:** • [Old](#)

Older model appliance noted. Recommend further evaluation by a licensed HVAC contractor and annual servicing of the unit.

**Implication(s):** Equipment failure | No heat for building

**Location:** Attic

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**Task:** Further evaluation

## **FIREPLACE \ Fireplace damper**

**Condition:** • Missing arm at damper for opening/closing.

**Task:** Repair or replace

## Cooling & Heat Pump

### **AIR CONDITIONING \ General**

**Condition:** • Service air conditioner

Older model appliance noted. Recommend further evaluation by a licensed HVAC contractor and annual servicing of the unit.

**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

**Task:** Further evaluation

### **AIR CONDITIONING \ Condensate system**

**Condition:** • [Rust or holes in pan](#)

Rusting noted at the overflow drain pan.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Damage to equipment

**Location:** Attic

**Task:** Clean

### **AIR CONDITIONING \ Condensate drain line**

**Condition:** • Missing insulation

**Location:** Attic

**Task:** Correct

### **AIR CONDITIONING \ Condenser fan**

**Condition:** • Damaged fins on condenser

**Task:** Further evaluation

### **AIR CONDITIONING \ Ducts, registers and grilles**

**Condition:** • Gray vinyl ductwork noted in some areas. These ducts are known to be ineffective at withstanding the heat of a residential attic. Damage and deterioration can be expected. Recommend replacing with approved ductwork.

**Location:** Attic

**Task:** Further evaluation

**Condition:** • Duct tape used on the HVAC system. This is not recommended. Properly seal with foil tape and duct mastic to prevent air leaks.

**Task:** Repair or replace

**Condition:** • Damaged insulation on ductwork

**Location:** Attic

**Task:** Repair or replace

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## Plumbing

### SUPPLY PLUMBING \ Shut off valve

**Condition:** • [Leak](#)

Constant dripping noted at main water valve.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | No water

**Location:** Exterior Right

**Task:** Repair or replace

### WATER HEATER \ General

**Condition:** • Appears to be an older model appliance. Monitor for any on-going or future problems.

**Location:** Garage

### WATER HEATER \ Tank

**Condition:** • Safety pan and drain missing

Recommend installing an overflow drain pan underneath the unit and overflow drain line that terminates at the exterior.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Garage

**Task:** Further evaluation

### WASTE PLUMBING \ Drain piping - performance

**Condition:** • [Rust](#)

Rusting observed at older style piping. Recommend monitoring for ongoing or future problems

**Implication(s):** Sewage entering the building

**Task:** Monitor

## Interior

### CEILINGS \ General

**Condition:** • Water stains

Signs of past/present leakage observed. Unable to determine the status of these stains. Monitor for problems.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Around interior skylights

**Task:** Further evaluation

### GARAGE \ Walls and ceilings

**Condition:** • Fire separation between garage and attic not adequate

**Implication(s):** Fire hazard

**Task:** Further evaluation

### APPLIANCES \ Waste disposal

**Condition:** • Wiring exposed or loose

Missing strain relief wire clamp at disposal housing and rigid conduit for wiring.

**Implication(s):** Electric shock

**Task:** Correct

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This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - Ballpark Costs](#)

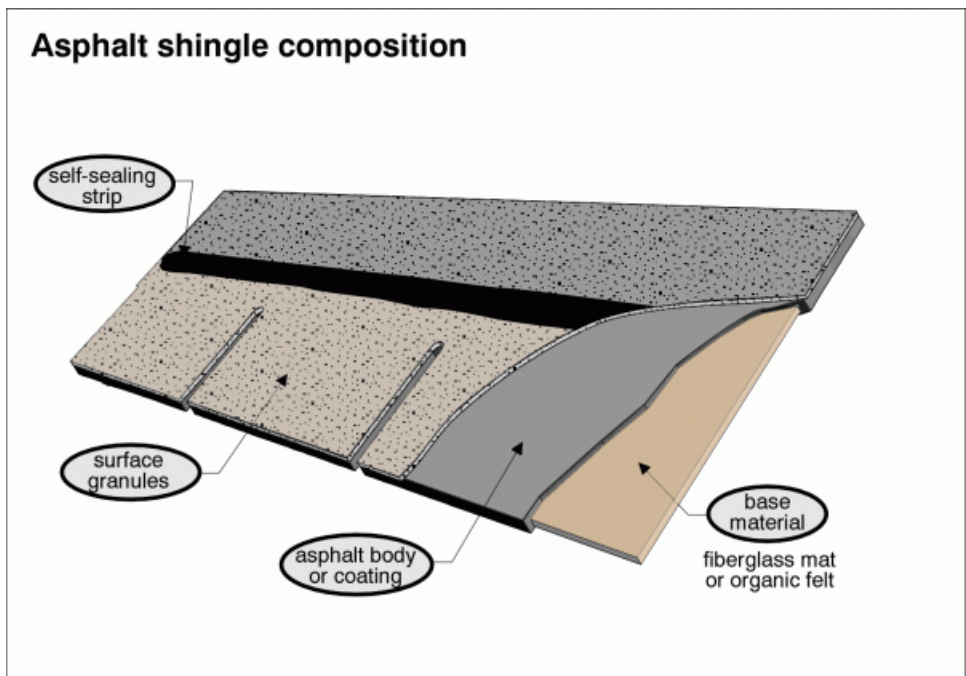
SUMMARY	<b>ROOFING</b>	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Description

**General:** • All readily accessible roofing areas were inspected as part of this home inspection and appear functional, unless otherwise indicated within the Recommendations | Defects section of this report. Please note that any areas hidden from view or inaccessible (due to roof height, pitch, conditions, weather, etc.) are NOT included as part of this inspection. It is beyond the scope of a normal home inspection to inspect interior of chimneys or flues located at the roofing surface which are not readily accessible, attached accessories including (but not limited to) solar systems, antennae, dish equipment, lightning arrestors, and to disturb or lift any roofing materials, jacks, or flashing components. If any defects documented in the inspection report are of concern, we highly recommend that any further evaluation and repairs be performed by a licensed roofing contractor.

**Sloped roofing material:**

- Composition shingles



**Sloped roof flashing material:** • Metal

**Flat roofing material:** • Rubber

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1. Rubber flat roof

## Limitations

**Roof inspection limited/prevented by:** • Inaccessible areas. Please note that an earnest effort was made by the inspector to inspect all visible areas of the roofing surface, however due to most house designs access to some areas may not be fully accessible.

**Roof inspection limited/prevented by:** • Debris build-up restricts fully viewing of the roof covering.



2. Debris build-up restricts fully viewing of...

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**Inspection performed:** • By walking on roof

## Recommendations | Defects

### RECOMMENDATIONS \ Overview

**1. Condition:** • Equipment mounted on the roofing surface. Recommend regular maintenance of sealant on mounting fasteners.



*3. Equipment mounted on the roofing surface....*

### SLOPED ROOFING \ Composition shingles

**2. Condition:** • Discoloration/algae observed at the roofing surface. Recommend professional cleaning by a qualified tradesman.

**Task:** Clean

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4. *Discoloration/algae observed at the roofing...*



5. *Discoloration/algae observed at the roofing...*

**3. Condition:** • Rusting fasteners observed

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various

**Task:** Repair or replace Further evaluation

**4. Condition:** • Debris build-up at the roof surface may negatively impact the life expectancy of the shingles.

**Task:** Clean



6. *Debris build-up at the roof surface may...*



7. *Debris build-up at the roof surface may...*

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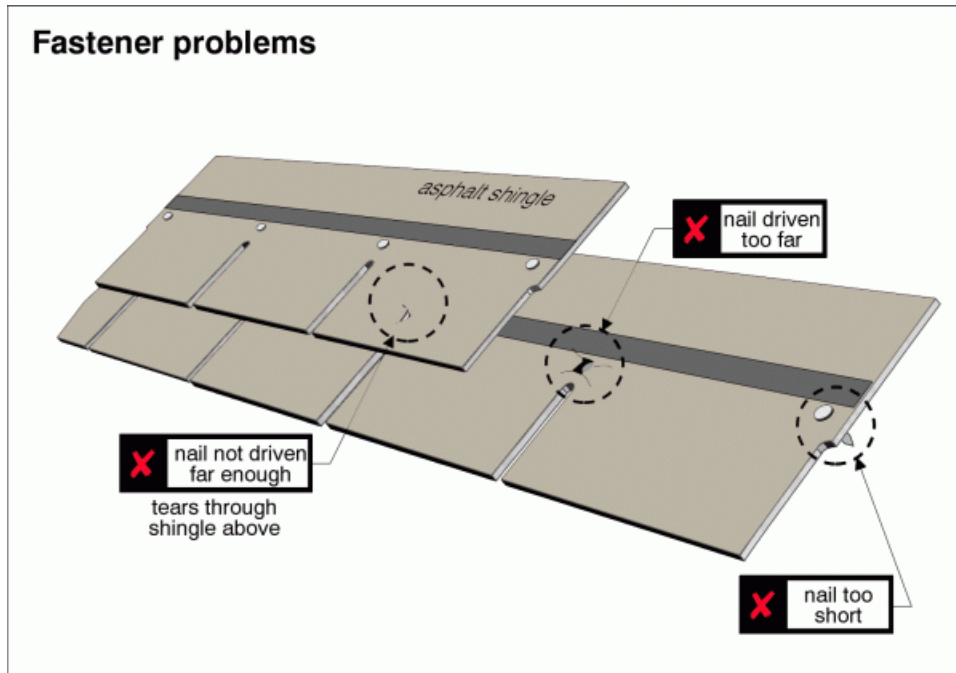
## 5. Condition: • [Exposed fasteners](#)

Recommend sealing exposed fasteners

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various

**Task:** Further evaluation, Protect



## 6. Condition: • Tree branches touching roof

**Implication(s):** Shortened life expectancy of material

**Task:** Correct

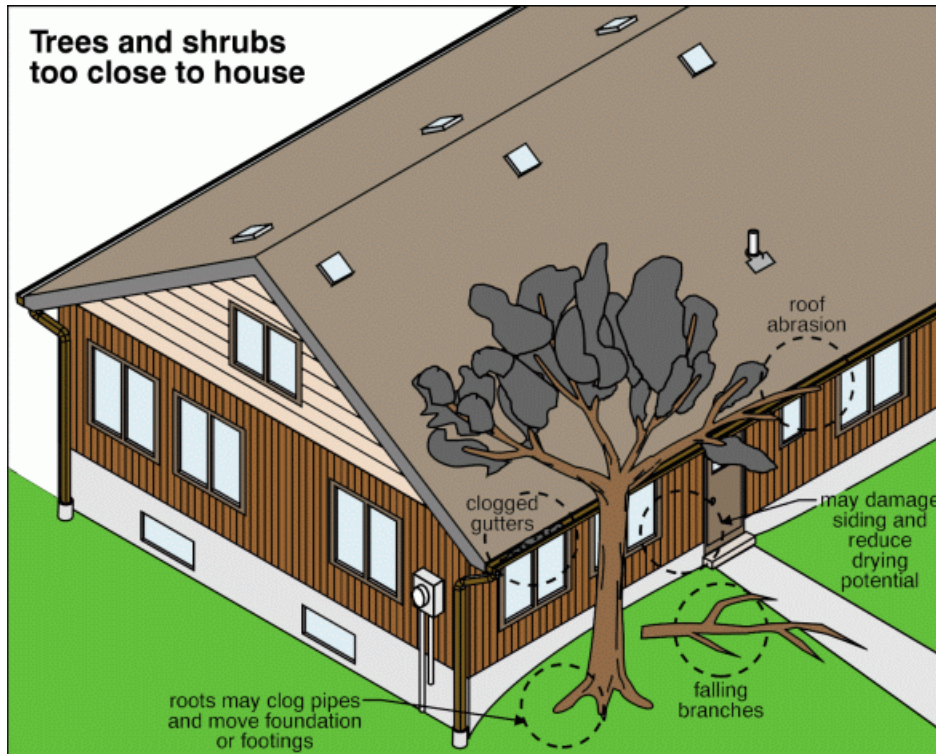
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## **SLOPED ROOF FLASHINGS \ Flashings**

**7. Condition:** • Deteriorated and/or missing sealant observed at flashing.

**Implication(s):** Potential for water entry and moisture damage

**Task:** Repair or replace, Monitor

**8. Condition:** • Rusty flashing observed at the roof surface.

**Task:** Repair or replace



**8. Rusty flashing observed at the roof surface.**

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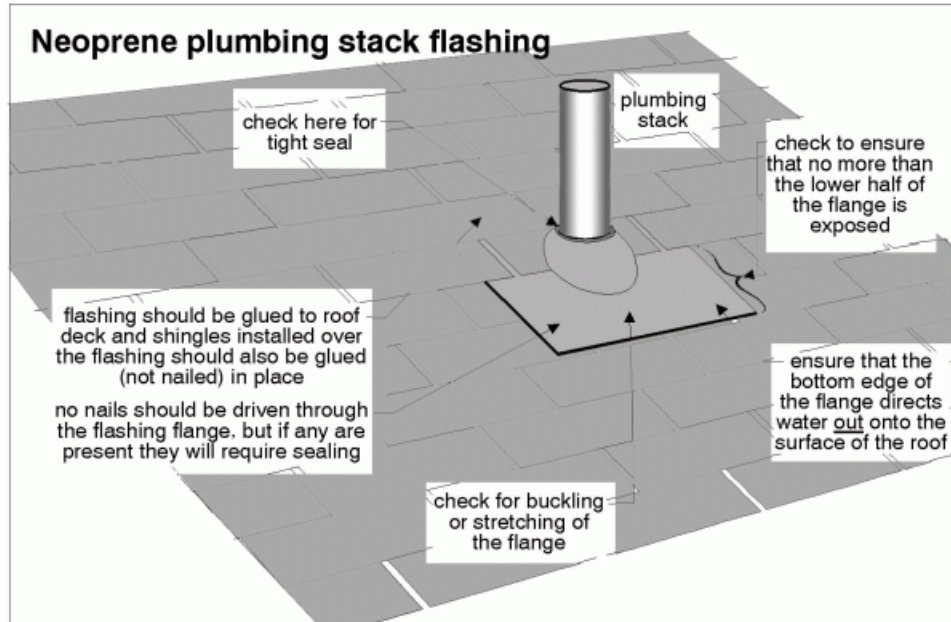
## SLOPED ROOF FLASHINGS \ Pipe/stack flashings

9. Condition: • [Exposed, missing fasteners](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various

Task: Repair or replace, Further evaluation



9. Exposed, missing fasteners

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## SLOPED ROOF FLASHINGS \ Skylights

### 10. Condition: • [Damage, patched](#)

Previous repairs noted at skylights. Patched/sealed areas are deteriorated and cracked. Recommend further evaluation by a licensed contractor and repair/replace as needed.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Task:** Further evaluation



10. *Damage, patched*



11. *Damage, patched*



12. *Damage, patched*



13. *Damage, patched*

# ROOFING

443 Pine Cone Lane, Slidell, LA September 26, 2017

Report No. 1336

[www.360inspector.net](http://www.360inspector.net)

SUMMARY

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14. *Damage, patched*

## FLAT ROOFING \ General

11. **Condition:** • Damage, peeling, and discoloration observed at the flat roof.

**Task:** Monitor

# EXTERIOR

443 Pine Cone Lane, Slidell, LA September 26, 2017

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[www.360inspector.net](http://www.360inspector.net)

SUMMARY

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## Description

**General:** • All readily accessible exterior areas were inspected as part of this home inspection and appear functional, unless otherwise indicated within the Recommendations | Defects section of this report. Please note that any areas that are hidden from view (due to stored items, overgrown vegetation, parked vehicles, floor coverings, etc.) are NOT included as part of this inspection. Typical minor cracking at the exterior walls, porches, decks, steps, patios, balconies, driveways, walkways, and/or foundation materials is to be expected to some degree and majority of the time these cracks are not indicative of a structural issue. It is beyond the scope of a normal home inspection to include any ascertainment in regards to performance of site drainage and any remarks considering the site grade is based on visual observations made at the time of the inspection, and limited to the readily visible areas surrounding the foundation. Any porches, patios, decks, and/or steps that were constructed too close to the ground level may not be fully accessible to the inspector, and restricted areas are not included as part of this inspection. Detached sheds/outbuildings are not included within the scope of a normal home inspection and were not inspected as part of this report, unless otherwise agreed upon by the inspector and client. Any installed fences on the property may be visually inspected as a courtesy to the client, but in the event of restricted access and/or fence ownership/property lines that cannot be determined by the inspector, fenced areas may not be included as part of this inspection. If any defects documented in the inspection report are of concern, we highly recommend that any further evaluation and repairs be performed by a licensed contractor.

**Gutter & downspout material:** • [Aluminum](#)

**Gutter & downspout type:** • [Eave mounted](#)

**Gutter & downspout discharge:** • [Above grade](#)

**Lot slope:** • [Flat](#)

**Soffit and fascia:** • [Wood](#)

**Wall surfaces and trim:** • [Brick](#) • [Wood](#) • [Stone](#)

**Driveway:** • Concrete

**Walkway:** • Concrete

**Porch:** • Wood columns

**Porch:** • Concrete

**Fence:** • Wood

## Recommendations | Defects

### ROOF DRAINAGE \ Gutters

**12. Condition:** • [Clogged](#)

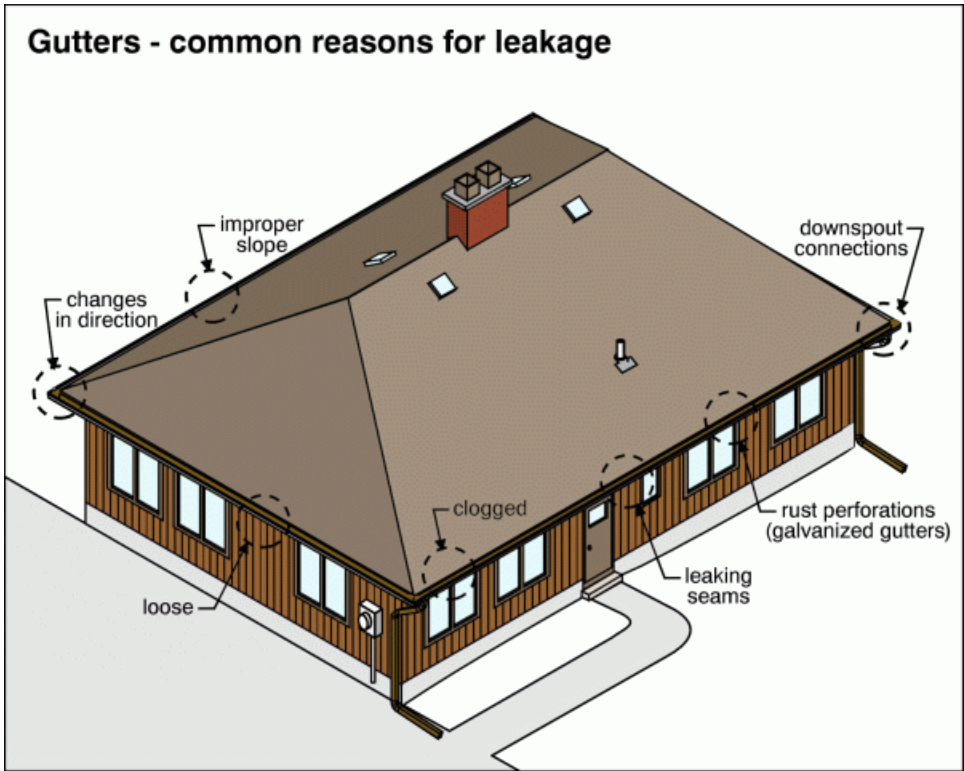
Recommend cleaning debris out of gutters to ensure proper drainage.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various

**Task:** Clean

SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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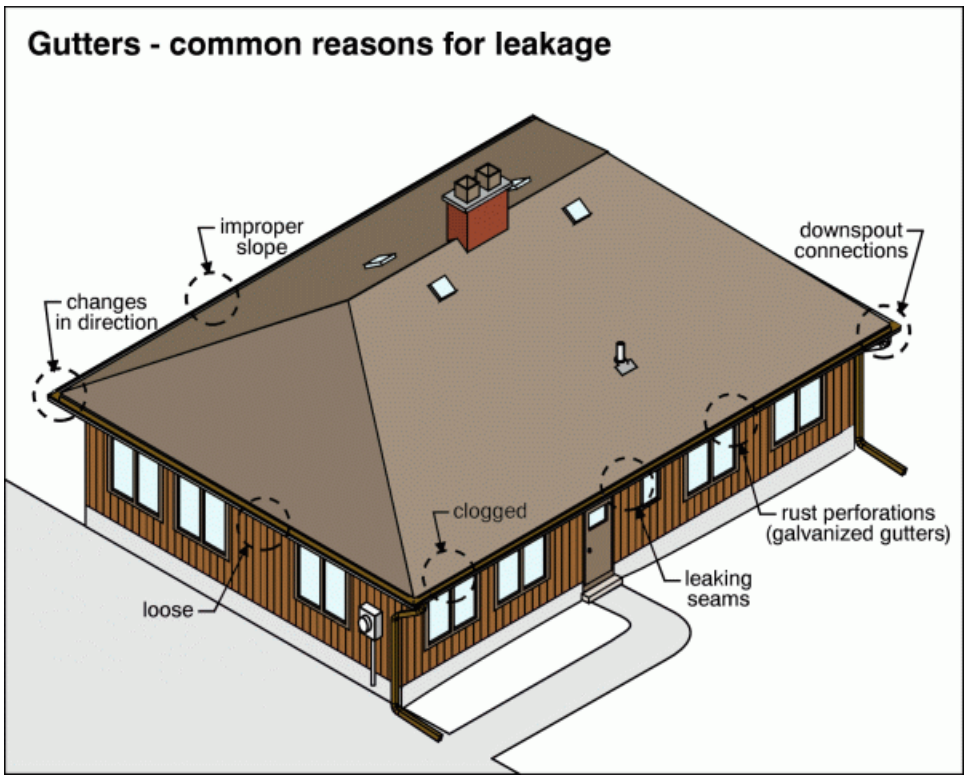
15. Clogged

13. Condition: • [Leak](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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Location: Rear

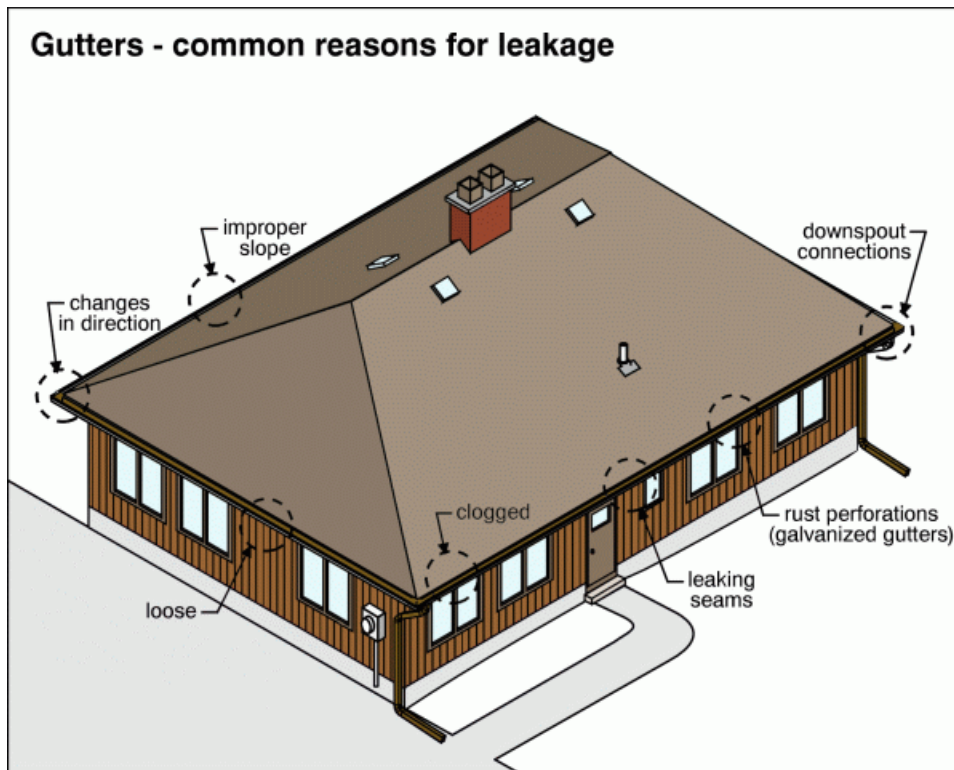


16. Leak

SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**14. Condition:** • [Rust](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure



**ROOF DRAINAGE \ Downspouts**

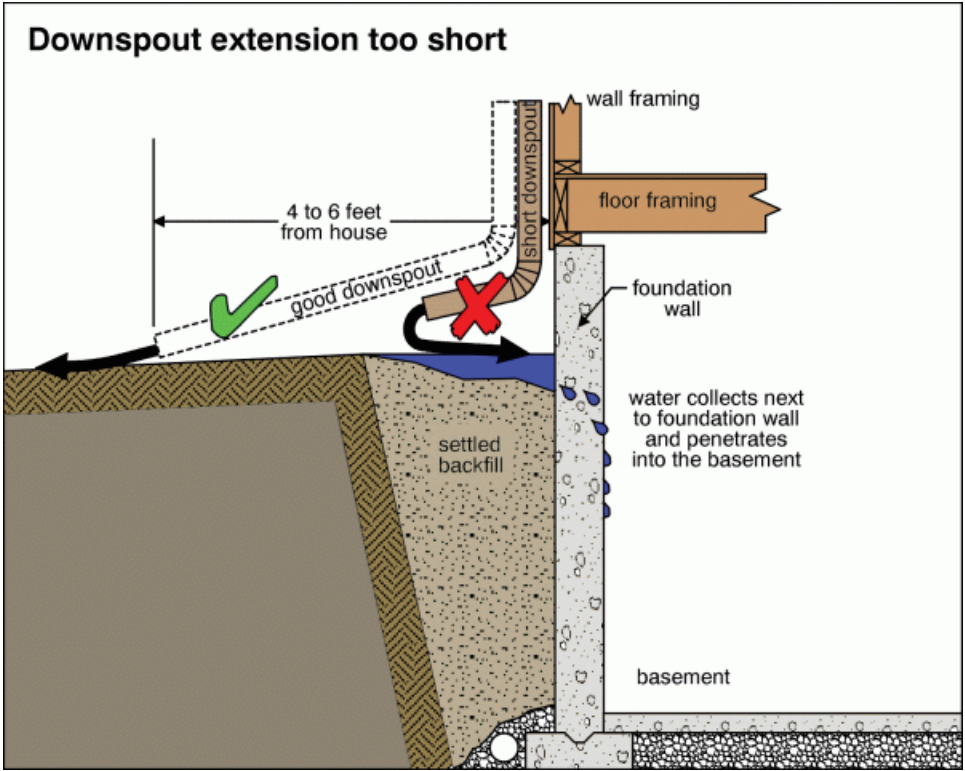
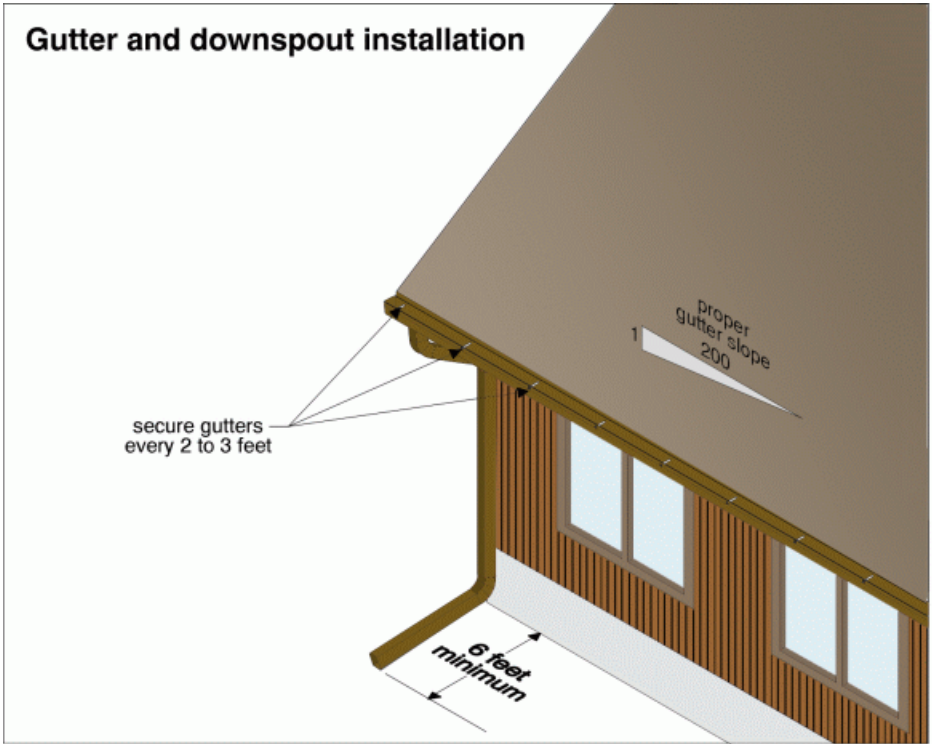
**15. Condition:** • [Downspouts discharge too close to building](#)

Soil erosion noted at some areas.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Task:** Correct

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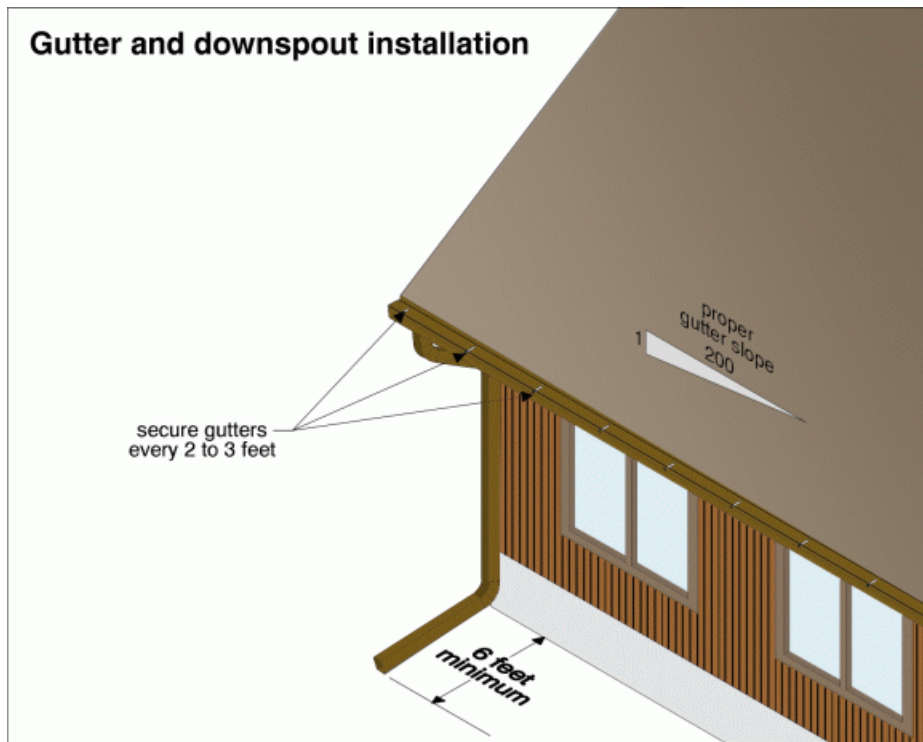
17. Soil erosion



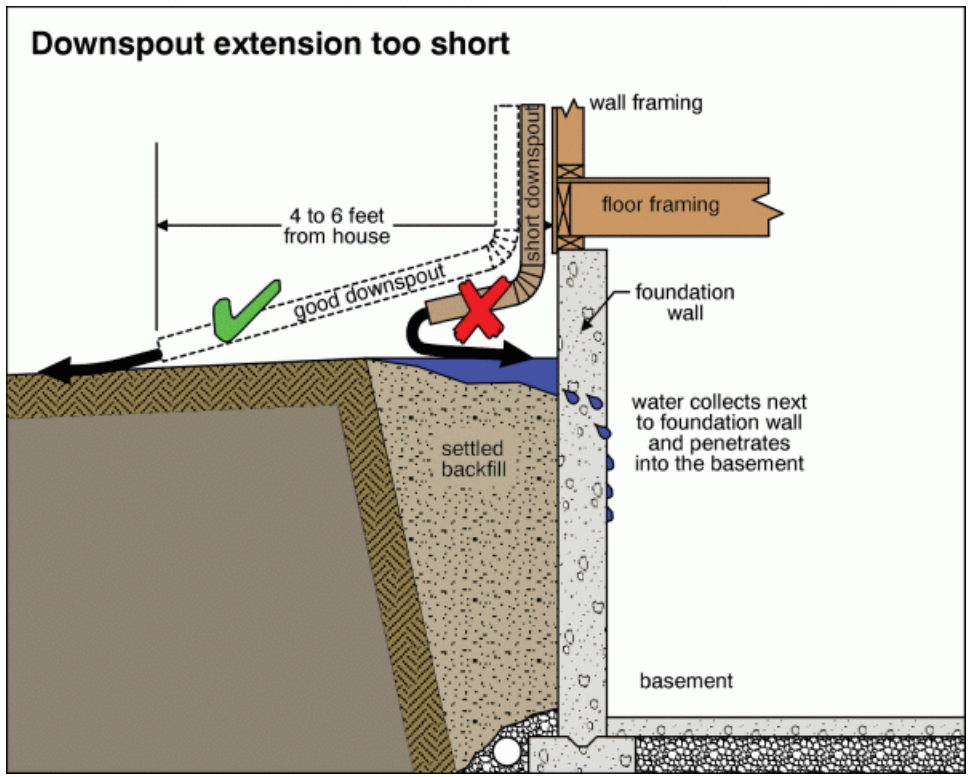
18. Downspouts discharge too close to building

16. Condition: • [Should discharge 6 feet from building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**WALLS \ General**

**17. Condition:** • Recommend caulking/sealing the intersections of dissimilar building materials.

**Implication(s):** Chance of pest entering the building and water damage to contents, finishes and/or structure

**Location:** Various

**Task:** Provide, Improve

# EXTERIOR

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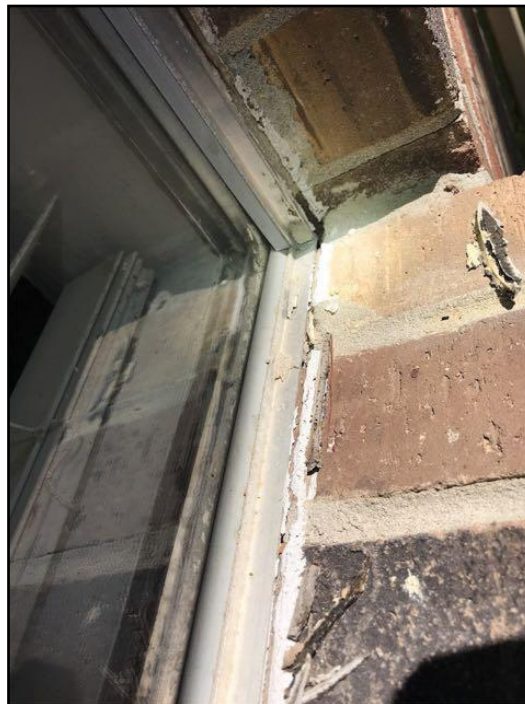
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19. Recommend caulking/sealing the intersection...



20. Recommend caulking/sealing the intersection...

18. **Condition:** • Openings observed which may result in pest or water entry into the structure.

**Implication(s):** Chance of pest entering the building and water damage to contents, finishes and/or structure



21. Openings observed which may result in pest...

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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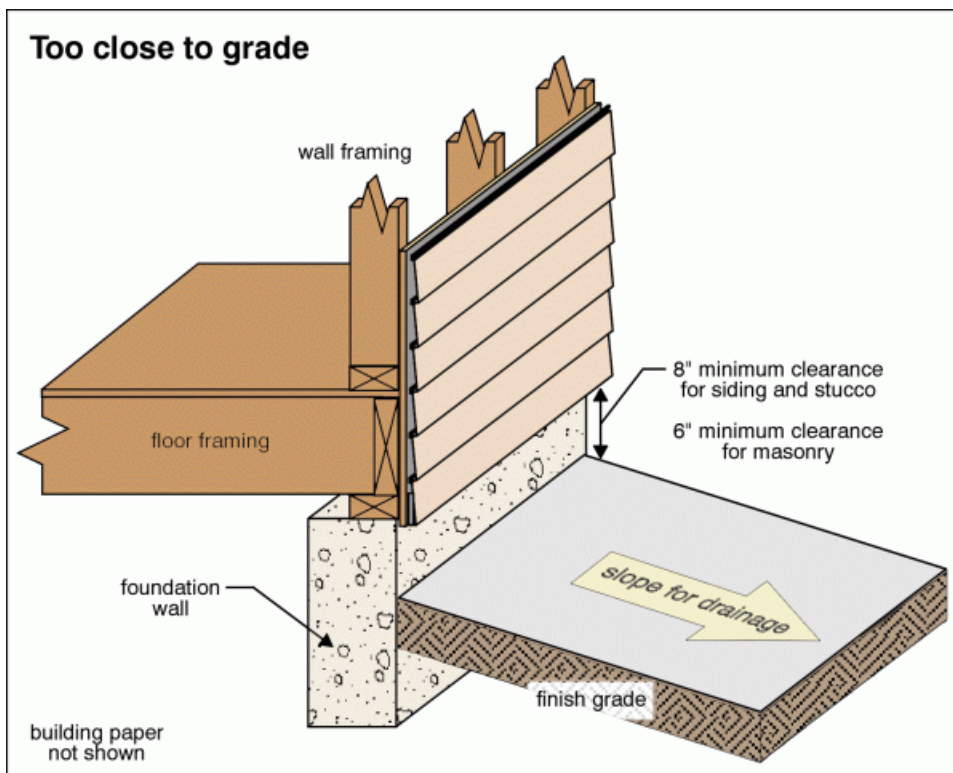
**WALLS \ Wood siding**

19. Condition: • [Too close to grade](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration | Rot | Insect damage

Location: Exterior Rear

Task: Further evaluation



22. Too close to grade

SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## WALLS \ Brick, stone and concrete

### 20. Condition: • [Cracked](#)

Cracking noted through mortar and face of brick. You may wish to seek further evaluation by a structural engineer. Monitor for any changes and/or problems.

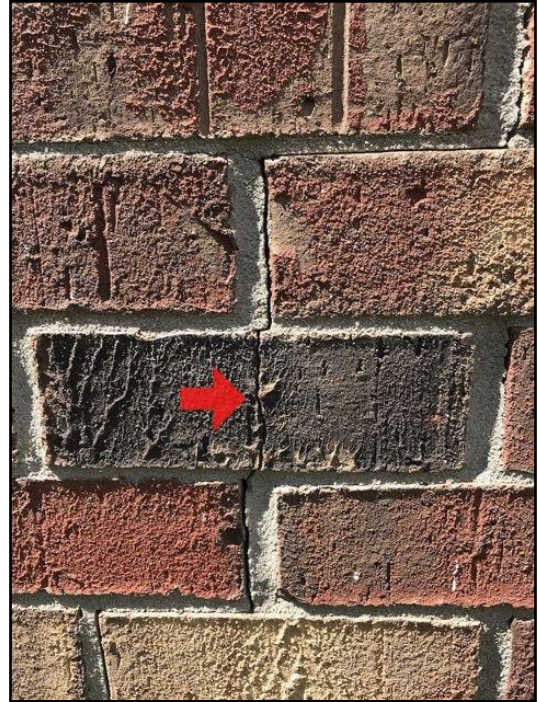
**Implication(s):** Chance of water entering building | Weakened structure | Chance of movement

**Location:** Exterior Left

**Task:** Further evaluation



23. Cracked



24. Cracked

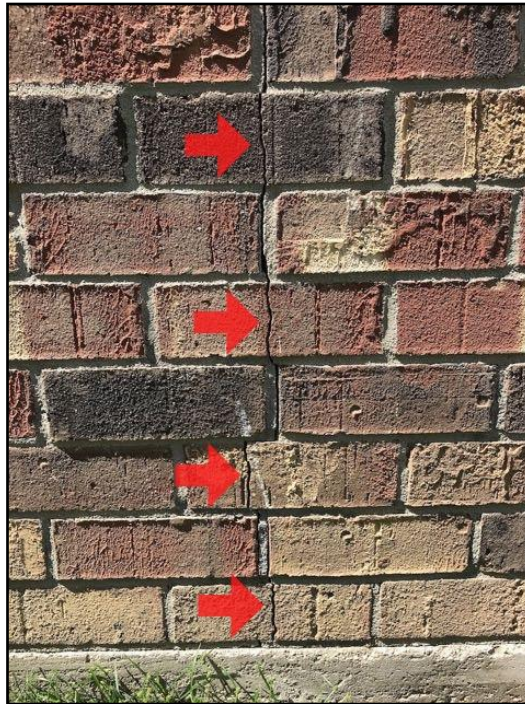
# EXTERIOR

443 Pine Cone Lane, Slidell, LA September 26, 2017

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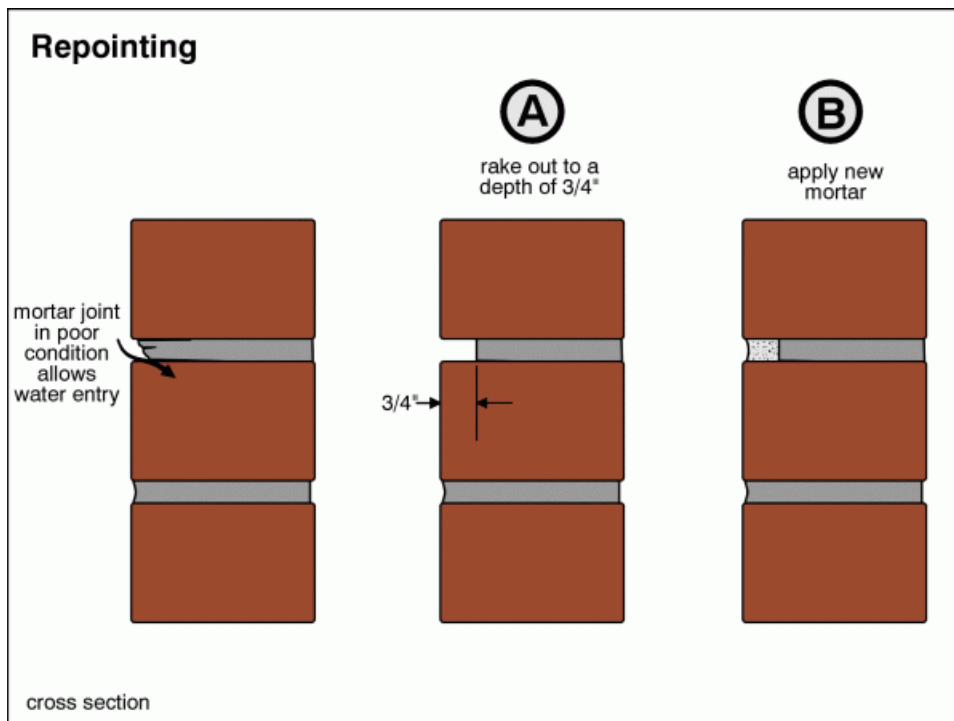
25. Cracked

21. Condition: • [Mortar deterioration](#)

Implication(s): Chance of water entering building | Weakened structure | Chance of structural movement

Location: Various

Task: Repair or replace



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26. Mortar deterioration



27. Mortar deterioration

## EXTERIOR GLASS/WINDOWS \ Exterior trim

22. Condition: • [Damage](#)

Damage and previous repairs observed.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Exterior Rear



28. Damage

23. Condition: • [Missing or loose pieces](#)

Missing/damaged seals at windows

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various

**Task:** Repair or replace

SUMMARY	ROOFING	<b>EXTERIOR</b>	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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29. Missing or loose pieces

### EXTERIOR GLASS/WINDOWS \ Storms and screens

24. Condition: • Damaged and/or missing exterior window screens.

Task: Replace

### PORCHES, DECKS, STEPS, PATIOS AND BALCONIES \ Columns

25. Condition: • Wood to ground contact observed. Recommend correction to prevent possible moisture/termite damage.

26. Condition: • Minor damage/deterioration at the base of columns.

Task: Repair



30. Minor damage/deterioration at the base of...

### LANDSCAPING \ General

27. Condition: • [Trees or shrubs too close to building](#)

Implication(s): Chance of water damage to contents, finishes and/or structure | Chance of pests entering building |

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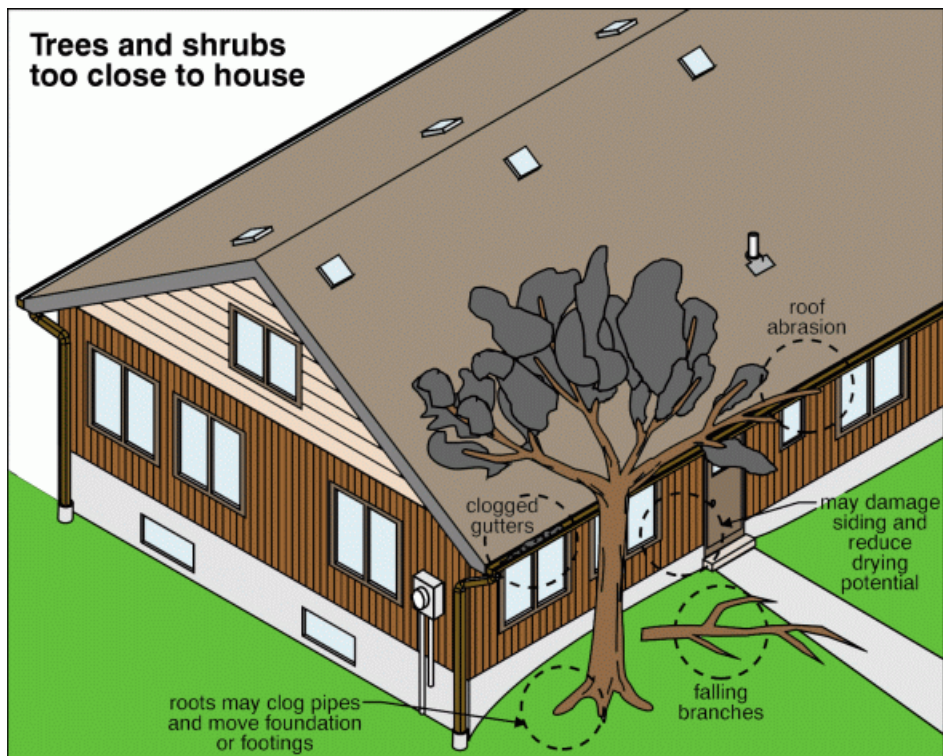
PLUMBING

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## Material deterioration



**28. Condition:** • Vines on building

**Implication(s):** Chance of damage to finishes | Chance of pests entering building

**Task:** Correct

# EXTERIOR

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31. Vines on building

## LANDSCAPING \ Driveway

29. **Condition:** • Typical cracks noted. Some cracking is to be expected as the property settles over time. Monitor for any changes or problems.

## LANDSCAPING \ Fence

30. **Condition:** • Damage

**Implication(s):** Material deterioration

31. **Condition:** • Deteriorated

**Implication(s):** Material deterioration

32. **Condition:** • Leaning

**Implication(s):** Chance of movement | Damage or physical injury due to falling materials

## GARAGE \ Vehicle doors

33. **Condition:** • Unable to determine if glass installed at garage vehicle door is tempered safety type glass.

**Task:** Further evaluation

34. **Condition:** • Rot

**Implication(s):** Material deterioration

**Task:** Repair or replace

# EXTERIOR

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32. Rot



33. Rot

SUMMARY	ROOFING	EXTERIOR	<b>STRUCTURE</b>	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Description

**General:** • Readily accessible and visible structural areas were inspected as part of this home inspection and appear functional, unless otherwise indicated within the Recommendations | Defects section of this report. Please note that any areas that are hidden from view (due to stored items, wall/ceiling/floor coverings, insulation, vapor barriers, etc.) are NOT included as part of this inspection. Only a representative number of structural framing components located in the attic and/or crawlspace are inspected. It is beyond to the scope of a normal home inspection to calculate or determine the strength, adequacy, or efficiency of any system or component. If any defects documented in the inspection report are of concern, we highly recommend that any further evaluation and repairs be performed by a licensed structural engineer.

**Configuration:** • [Slab-on-grade](#)

**Foundation material:** • [Poured concrete](#)

**Roof and ceiling framing:** • [Conventional Framing](#)

**Roof and ceiling framing:** • [Plywood sheathing](#)

## Limitations

**Inspection limited/prevented by:** • Areas of the slab not fully visible due to high soil areas



34. High soil at slab

**Inspection limited/prevented by:**

- Ceiling, wall and floor coverings
- Storage

SUMMARY	ROOFING	EXTERIOR	<b>STRUCTURE</b>	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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35. Storage in attic

• Insulation

**Attic/roof space:** • Limited access to some areas of the attic due to design and the presence of insulation. This is typical of all homes.

*Note:* Low headroom at center of attic



36. Limited access

SUMMARY	ROOFING	EXTERIOR	<b>STRUCTURE</b>	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Recommendations | Defects

### FOUNDATIONS \ Foundation

**35. Condition:** • Typical corner cracks noted at slab

**Task:** Monitor



*37. Typical corner cracks noted at slab*

**36. Condition:** • Typical minor cracks

Normal cracking is to be expected as the property settles over time

**Implication(s):** Chance of water entering building

**Location:** Various

**Task:** Monitor

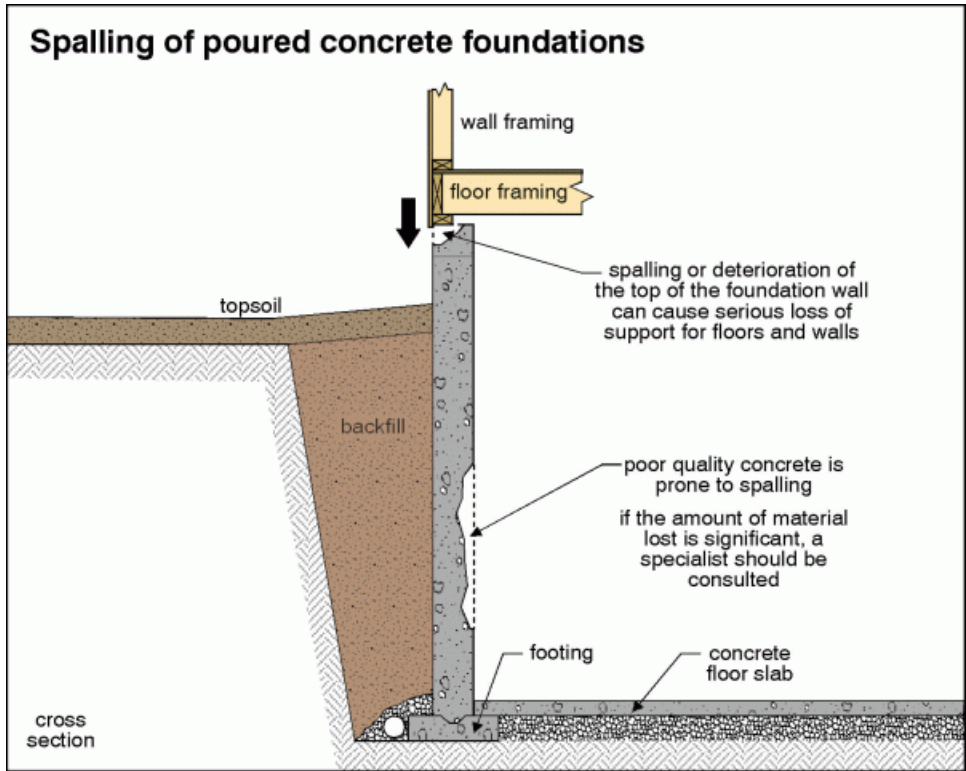
**37. Condition:** • [Spalling, crumbling or broken material](#)

Typical spalling and cracking observed.

**Implication(s):** Weakened structure | Chance of structural movement

**Task:** Monitor

SUMMARY	ROOFING	EXTERIOR	<b>STRUCTURE</b>	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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38. Spalling, crumbling or broken material

**FOUNDATIONS \ Performance opinion**

**38. Condition:** • As a courtesy to the client, the inspector performed a level survey of the foundation and the total variance detected was between 0-1 inches of differential.

Master bedroom showed the most variance detected - approximately 0.9" of differential from the doorway to the left rear corner.

**Task:** Further evaluation

# STRUCTURE

443 Pine Cone Lane, Slidell, LA September 26, 2017

Report No. 1336

[www.360inspector.net](http://www.360inspector.net)

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## 39. Condition: • Suspect

You may wish to consider further evaluation by a structural engineer based upon exterior cracking and other observed defects throughout the home.

**Implication(s):** Chance of structural movement

### ROOF FRAMING \ Beams

## 40. Condition: • [Rot](#)

Moisture stains/Signs of leakage were noted at the front and left soffit areas (detected from garage attic area). Unable to determine the status of these stains. Recommend further evaluation by a licensed contractor.

**Implication(s):** Chance of movement | Material deterioration

**Location:** Attic

**Task:** Further evaluation



39. Rot



40. Rot

### COMMENTS \ Additional

41. **Condition:** • Missing attic flooring at some areas. Recommend installing for ease of access.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Description

**General:** • All readily accessible electrical components were inspected as part of this home inspection and appear functional, unless otherwise indicated within the Recommendations | Defects section of this report. Please note that any areas that are hidden from view (due to stored items, furniture, wall/ceiling/floor coverings, insulation, vapor barriers, underground installation, height restrictions, etc.) are NOT included as part of this inspection. It is beyond the scope of a normal home inspection to measure amperage, voltage, or impedance; dismantle any electrical device or control other than to remove the dead front covers of the main and auxiliary distribution panels; or inspect the operation of low voltage systems, security systems, heat/smoke/carbon monoxide detectors, telephone/cable systems, or other ancillary wiring that is not part of the primary electrical distribution system. In the event of the home being furnished at the time of inspection, only a representative number of installed switches and receptacles are to be inspected. Light fixtures in the home may be inoperative due to burned out light bulbs; Inspector does not change bulbs during a home inspection, therefore we recommend verifying the operation of all lights prior to closing. In the event of the home being occupied at the time of the inspection, GFCI and AFCI circuits are not tested to avoid disrupting power supply to the homeowners connected electrical devices. If any defects documented in the inspection report are of concern, we highly recommend that any further evaluation and repairs be performed by a licensed electrical contractor.

**Service entrance cable and location:** • Underground

**Service size:**

- [150 Amps \(240 Volts\)](#)

Based on size of service conductors

**Main disconnect/service box rating:** • [200 Amps](#)

**Main disconnect/service box type and location:**

- [Breakers - garage](#)



41. Breakers - garage

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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- System grounding material and type:** • [Not visible](#)
- Auxiliary panel (subpanel) type and location:** • Breakers - attic
- Auxiliary panel (subpanel) type and location:** • [Fuses - exterior wall](#)
- Distribution wire material and type:** • Copper
- Circuit interrupters: Ground Fault (GFCI) & Arc Fault (AFCI):** • [GFCI - bathroom](#)
- Smoke detectors:** • [Present](#)

## Limitations

- General:** • Missing proper labels. Inspector was unable to determine which meter/panel was dedicated to each unit. Recommend consulting with a licensed electrician.
- Inspection limited/prevented by:** • Restricted access
- System ground:** • Not accessible • Continuity not verified
- Circuit labels:** • The accuracy of the circuit index (labels) was not verified.

## Recommendations | Defects

### **SERVICE DROP AND SERVICE ENTRANCE \ Service mast and conductors**

- 42. Condition:** • Conduit for service conductors is not properly secured to the exterior wall.
- Location:** Exterior Left
- Task:** Repair



42. Not secured

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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### **SERVICE BOX, GROUNDING AND PANEL \ Service box**

#### **43. Condition:** • [No single main disconnect](#)

Older model panel is installed at the garage. No single main service disconnect is installed. In some jurisdictions, it is acceptable to have more than one main disconnect as long as it does not exceed 6 breakers that need to be tripped in order to disconnect power to the property. You may wish to upgrade this electrical panel in the future.

**Implication(s):** Electric shock

**Location:** Garage

**Task:** Further evaluation

### **SERVICE BOX, GROUNDING AND PANEL \ System grounding**

#### **44. Condition:** • Ground rod appears to be completely buried below grade level. Unable to verify proper installation and/or grounding type.

**Location:** Exterior Left

**Task:** Further evaluation



**43.** *Not accessible*

#### **45. Condition:** • [Missing intersystem bonding terminal device at the service panel/meter.](#)

To comply with current safety standards, you may wish to consider installing this device to bond house systems to the ground rod at a readily accessible area.

#### **46. Condition:** • [Poor connections](#)

Loose ground wire noted

**Implication(s):** Electric shock

**Location:** Exterior Left

**Task:** Further evaluation



44. Poor connections

**SERVICE BOX, GROUNDING AND PANEL \ Distribution panel**

47. Condition: • [Openings in panel](#)

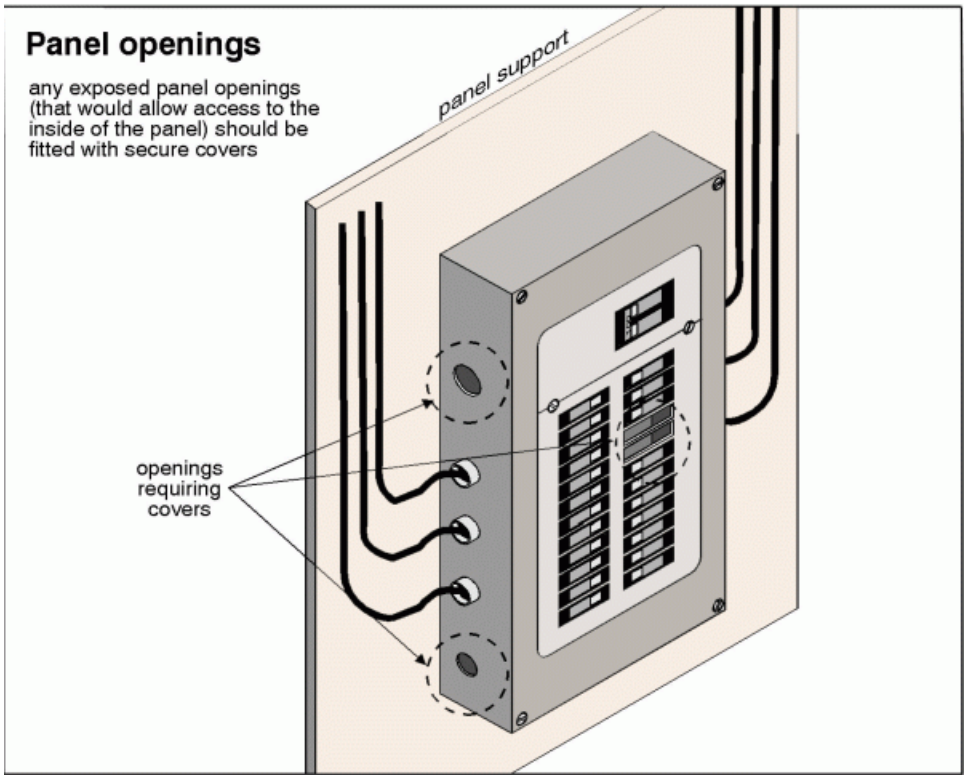
Recommend properly sealing all unused openings

**Implication(s):** Electric shock | Fire hazard

**Location:** Garage

**Task:** Further evaluation

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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45. Openings in panel

**48. Condition:** • [Circuits not labeled](#)  
Circuits are not properly labeled at the panel tag.  
**Implication(s):** Nuisance  
**Location:** Garage  
**Task:** Further evaluation

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**49. Condition:** • [No Arc Fault Circuit Interrupter](#)

No AFCI breakers installed. This is a newer type of safety device. Recommend upgrading to comply with current safety standards.

**Implication(s):** Fire hazard

**Task:** Upgrade

**SERVICE BOX, GROUNDING AND PANEL \ Panel wires**

**50. Condition:** • Unusual configuration noted. Panel tag is not visible to determine correct wiring configuration.

**Location:** Garage

**Task:** Further evaluation



**46. Unusual**

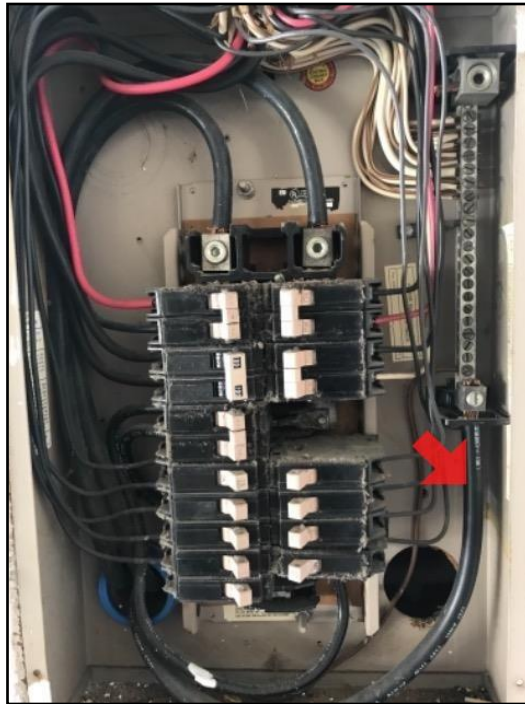
**51. Condition:** • Improper color-coding. White wire used at hot circuit inside the panel(s). Hot conductors should be marked black or red for proper identification.

**Task:** Correct

**52. Condition:** • Improper color-coding. Black wire used at neutral circuit inside the panel(s). Neutral conductors should be marked white for proper identification.

**Task:** Correct

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47. Improper color-coding. Black wire used at...

**SERVICE BOX, GROUNDING AND PANEL \ Auxiliary panel (subpanel)**

**53. Condition:** • Missing panel cover(s)

**Implication(s):** Electrical shock

**Location:** Right Attic

**Task:** Further evaluation



48. Missing cover

**54. Condition:** • Improper color-coding. White wire used at hot circuit inside the panel(s). Hot conductors should be marked black or red for proper identification.

**Location:** AC subpanel

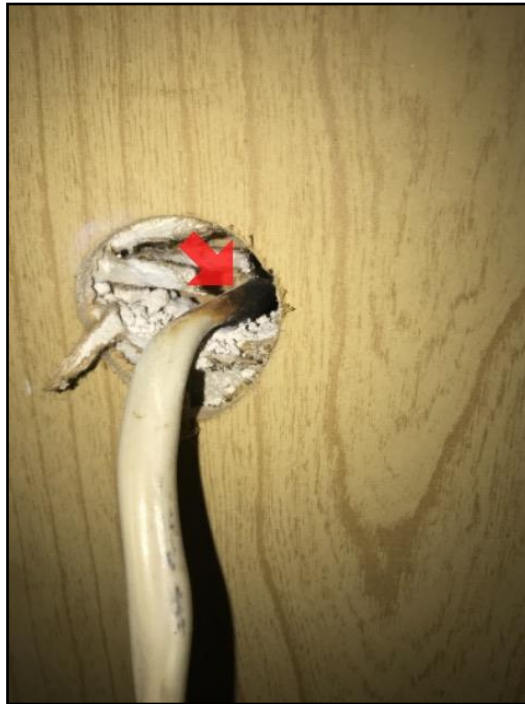
**Task:** Correct

**DISTRIBUTION SYSTEM \ Wiring - damaged or exposed**

**55. Condition:** • Possible overheating/Discoloration noted at electrical wiring that is supplying the kitchen waste disposal.

**Location:** Kitchen cabinet

**Task:** Further evaluation



49. Discoloration

## DISTRIBUTION SYSTEM \ Junction boxes

56. Condition: • [Missing, loose](#)

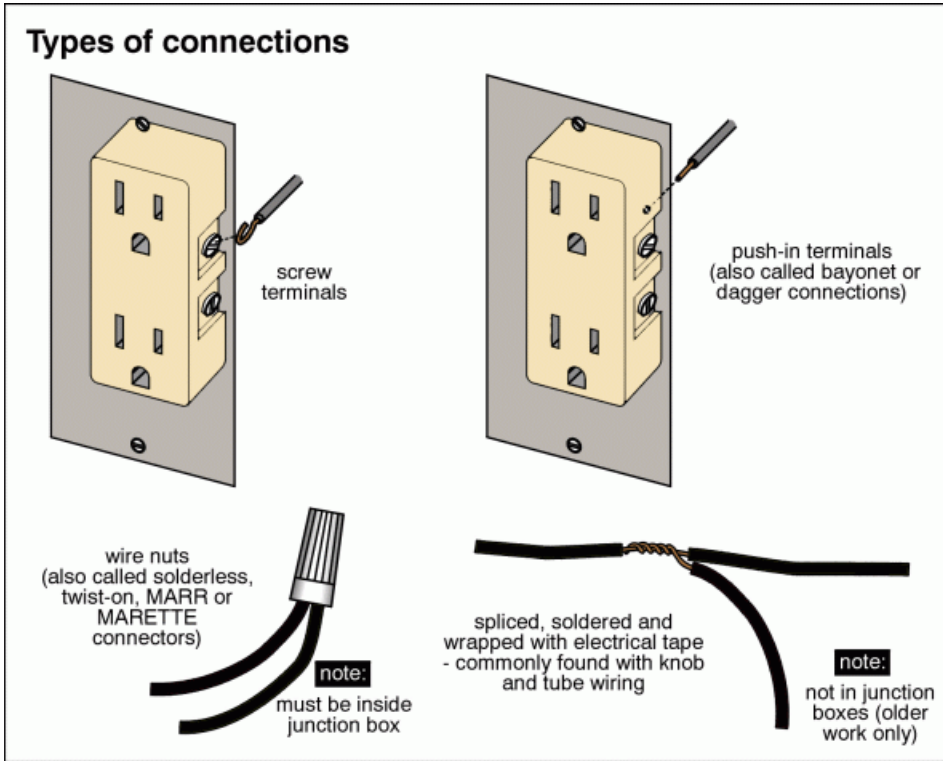
Junction box is not properly secured and wire connections not within a junction box.

**Implication(s):** Electric shock | Fire hazard

**Location:** Attic

**Task:** Correct

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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50. Missing



51. Loose

**DISTRIBUTION SYSTEM \ Lights**

57. Condition: • Missing light fixture covers.

**58. Condition:** • [Missing](#)

No light fixture installed.

**Implication(s):** Inadequate lighting

**Location:** Master Bedroom

**Task:** Improve



*52. Missing*

**59. Condition:** • Exposed to mechanical damage

**Implication(s):** Glass breaking | Physical injury

**Location:** All fixtures missing covers

**DISTRIBUTION SYSTEM \ Outlets (receptacles)**

**60. Condition:** • [Reversed polarity](#)

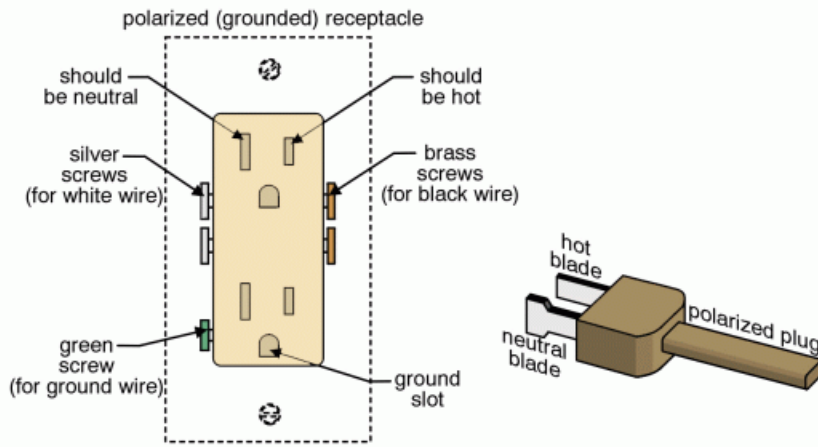
**Implication(s):** Electric shock

**Location:** Rear bedroom

**Task:** Further evaluation

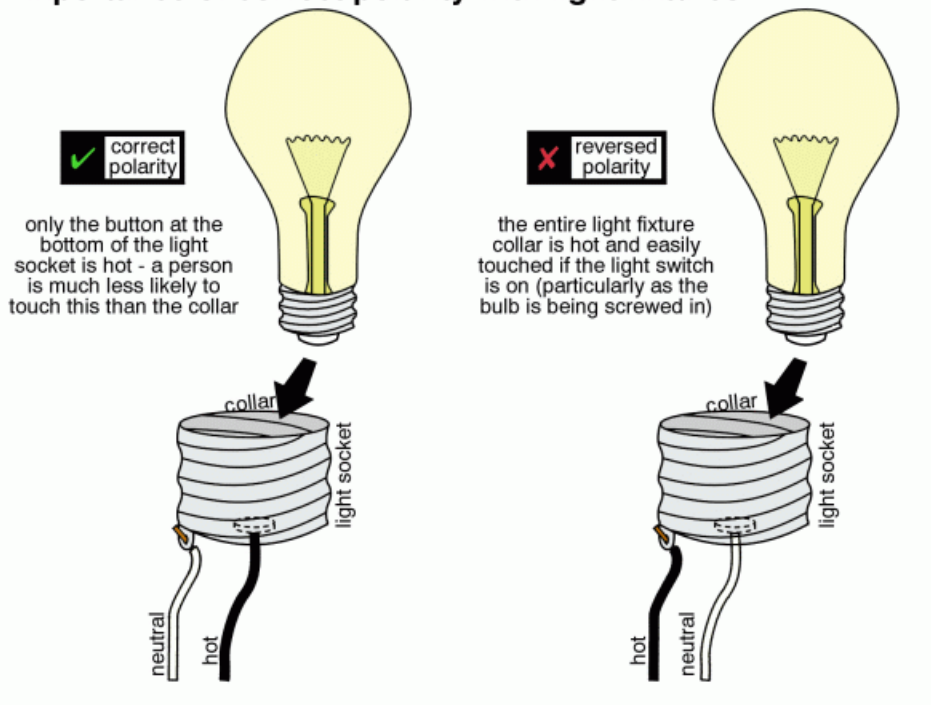
SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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### Reversed polarity



when the polarity is reversed, the wide receptacle slot is (incorrectly) hot and the narrow slot is neutral - this is not uncommon when people forget that the black wire should be attached to the receptacle's brass screws

### Importance of correct polarity with light fixtures



SUMMARY	ROOFING	EXTERIOR	STRUCTURE	<b>ELECTRICAL</b>	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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53. Reversed polarity



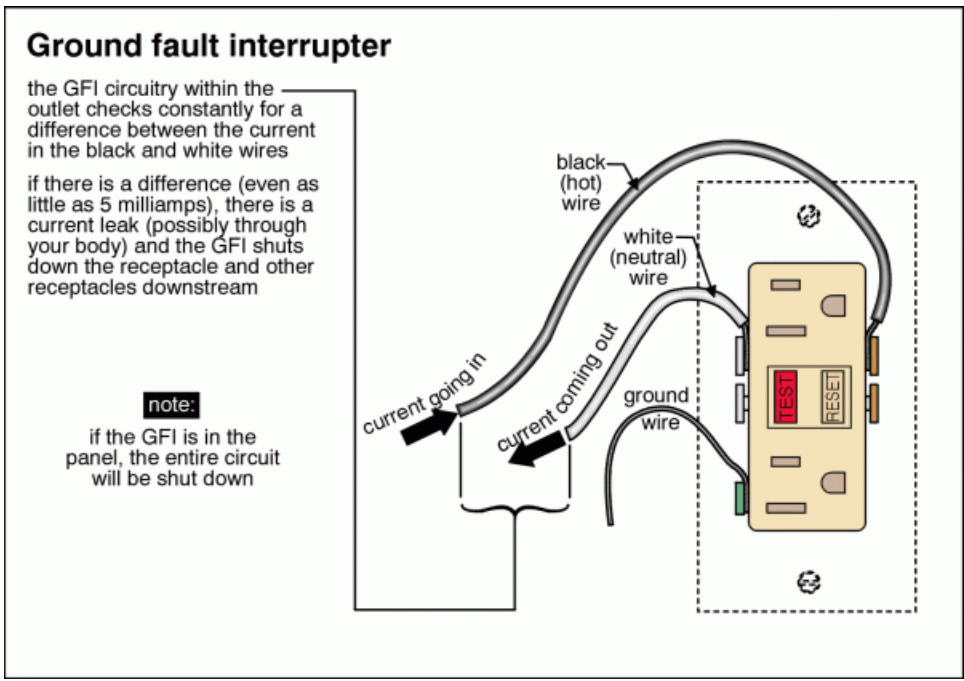
54. Reversed polarity

**61. Condition:** • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Recommend installing GFCI outlets at all areas where water and electricity may come into contact.

**Implication(s):** Electric shock

**Task:** Further evaluation



## DISTRIBUTION SYSTEM \ Cover plates

**62. Condition:** • [Missing](#)

**Implication(s):** Electric shock

**Location:** Garage

**Task:** Correct



55. Missing

## DISTRIBUTION SYSTEM \ Smoke detectors

**63. Condition:** • Recommend installing smoke detectors at all appropriate locations to comply with current safety standards.

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Description

**General:** • All readily accessible heating system components were inspected as part of this home inspection and appear functional, unless otherwise indicated within the Recommendations | Defects section of this report. Please note that any areas that are hidden from view (due to stored items, wall/ceiling/floor coverings, insulation, vapor barriers, unit housing, etc.) are NOT included as part of this inspection. It may be impossible to fully inspect some furnaces due to system design. It is beyond the scope of a normal home inspection to dismantle any part of the furnace that is beyond a readily openable access panel provided by the manufacturer for routine homeowner maintenance or to inspect heat exchangers, humidifiers, dehumidifiers, electronic air filters, the adequacy or balance of heat supply, or operate any automatic safety controls. It is beyond the scope of a normal home inspection to ignite pilot lights and fireplaces, determine draft characteristics, move fireplace insert panels, or inspect components of any solid fuel heating devices (such as firescreens and doors, seals and gaskets, automatic fuel feed devices, mantles and fireplace surrounds, combustion make-up air devices, heat distribution assists, whether gravity controlled or fan assisted). If any defects documented in the inspection report are of concern, we highly recommend that any further evaluation and repairs be performed by a licensed HVAC contractor.

**System type:** • [Furnace](#)

**Fuel/energy source:** • [Electricity](#)

**Furnace manufacturer:** • Heil

**Approximate capacity:** • [10 kW](#)

**Efficiency:** • [Conventional](#)

**Approximate age:** • [19 years](#)

**Supply temperature:** • 100° • Rounded to nearest 5 degrees

**Return temperature:** • 75° • Rounded to nearest 5 degrees

**Temperature difference:** • 25°

**Temperature difference:** • Rounded to nearest 5 degrees

**Fireplace/stove:**

• [Wood-burning fireplace](#)



56. Wood-burning fireplace

# HEATING

443 Pine Cone Lane, Slidell, LA September 26, 2017

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[www.360inspector.net](http://www.360inspector.net)

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- [Factory-built](#)

Chimney/vent: • [Metal](#)

Combustion air source: • Unable to determine

## Limitations

Inspection prevented/limited by: • Closed System - Unable to fully inspect

Safety devices: • Not tested as part of a building inspection

Heat loss calculations: • Not done as part of a building inspection

Fireplace/wood stove: • Quality of chimney draw cannot be determined

## Recommendations | Defects

### ELECTRIC FURNACE \ Life expectancy

64. Condition: • [Old](#)

Older model appliance noted. Recommend further evaluation by a licensed HVAC contractor and annual servicing of the unit.

Implication(s): Equipment failure | No heat for building

Location: Attic

Task: Further evaluation

### CHIMNEY AND VENT \ Inspect/sweep chimney

65. Condition: • [Inspect \(and/sweep if needed\) before using](#)

Implication(s): Fire hazard

### FIREPLACE \ Fireplace damper

66. Condition: • Missing arm at damper for opening/closing.

Task: Repair or replace

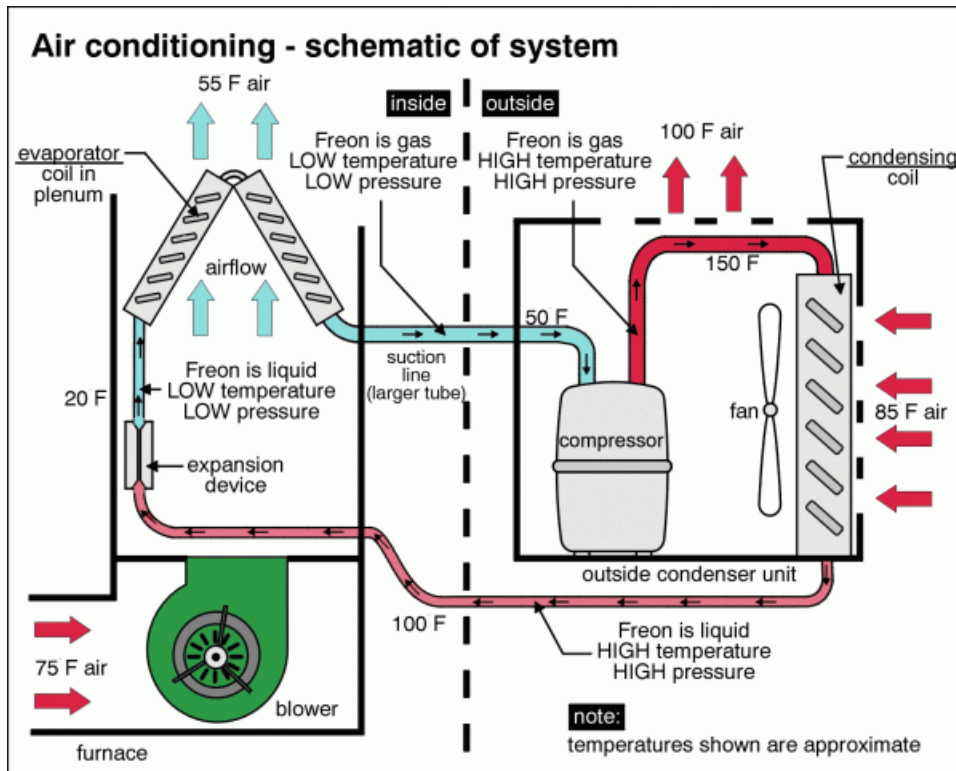


57. No damper arm

## Description

**General:** • All readily accessible air conditioning system components were inspected as part of this home inspection and appear functional, unless otherwise indicated within the Recommendations | Defects section of this report. Please note that any areas that are hidden from view (due to stored items, wall/ceiling/floor coverings, insulation, vapor barriers, unit housing, etc.) are NOT included as part of this inspection. It may be impossible to fully inspect some air conditioning units due to system design. It is beyond the scope of a normal home inspection to determine the adequacy or balance of cooling air supply, operate any automatic safety controls, include any ascertainment in regard to coolant charge or the integrity of the suction line, liquid line, or expansion devices. Thermostats are tested for normal function and batteries are not changed within these devices. Outdoor weather may affect the operation of the HVAC systems and should be taken into account when reviewing the report findings. If any defects documented in the inspection report are of concern, we highly recommend that any further evaluation and repairs be performed by a licensed HVAC contractor.

**Air conditioning type:** • Central Cooling System



**Air conditioning type:** • Window units

*Note:* Window units are typically not included as part of a normal home inspection, however a courtesy inspection was performed and the unit appeared to operate properly.

# COOLING & HEAT PUMP

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[www.360inspector.net](http://www.360inspector.net)

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58. Window unit

Manufacturer: • ICP



59. Condenser



60. ICP

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## Manufacturer:

- Heil



61. Heil

62. Evaporator

## Cooling capacity:

- [4 Tons](#)

Evaporator

- [3.5 Tons](#)

Condenser

Compressor approximate age: • 19 years

Typical life expectancy: • Average life expectancy of HVAC systems are approximately 15 to 20 years

Supply temperature: • 60°

Return temperature: • 75°

Temperature difference: • 15° • Acceptable temperature difference: 14° to 22°

Refrigerant Type: • R-22

## Limitations

**Inspection limited/prevented by:** • Restricted access • HVAC ductwork is not fully visible for inspection due to house/attic design and insulation.

**Not part of a home inspection:** • Home inspectors cannot typically access or inspect the indoor coil

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## Recommendations | Defects

### AIR CONDITIONING \ General

**67. Condition:** • Service air conditioner

Older model appliance noted. Recommend further evaluation by a licensed HVAC contractor and annual servicing of the unit.

**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

**Task:** Further evaluation

### AIR CONDITIONING \ Life expectancy

**68. Condition:** • [Near end of life expectancy](#)

**Implication(s):** Equipment failure | Reduced comfort

**Task:** Further evaluation

### AIR CONDITIONING \ Compressor

**69. Condition:** • Recommend properly protecting control wires.

Damage noted to control wiring

**Location:** Exterior



**63.** Recommend properly protecting control wires.

**70. Condition:** • [Wrong fuse or breaker size](#)

Max fuse listed on data plate is 40 amps. 60 amp fuse is installed.

**Implication(s):** Equipment overheating | Damage to equipment | System inoperative or difficult to operate

**Task:** Further evaluation

**71. Condition:** • [Old](#)

**Implication(s):** Equipment failure | Reduced comfort

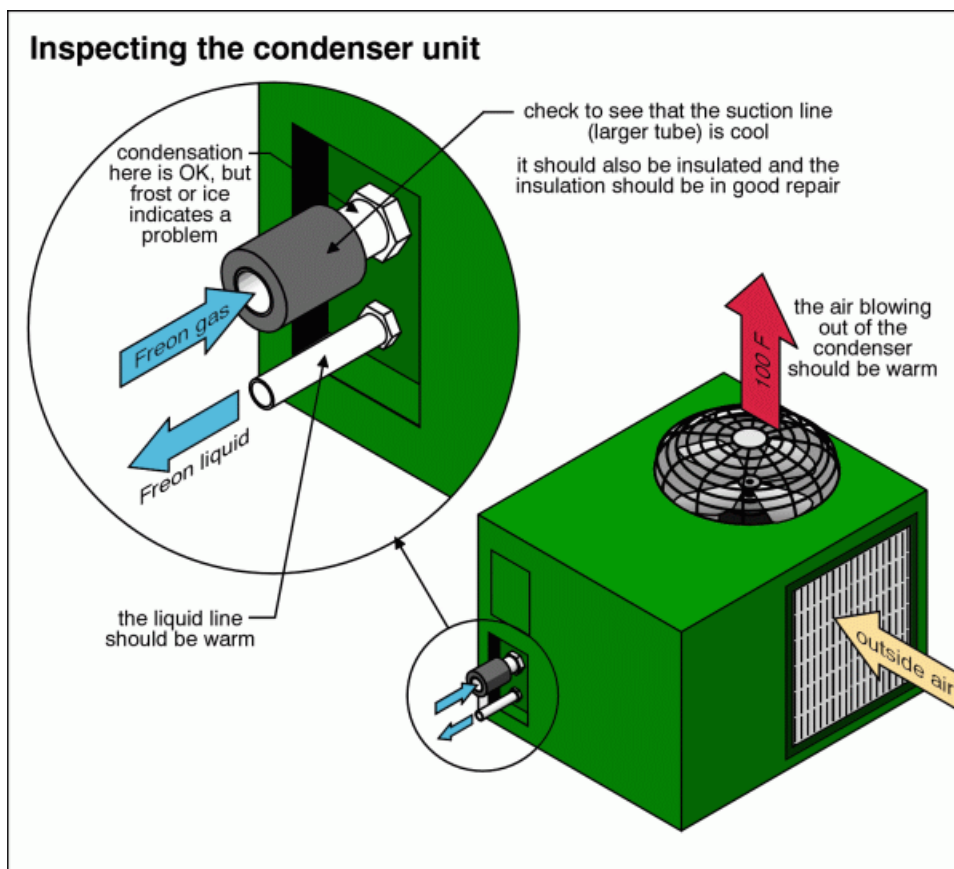
### AIR CONDITIONING \ Air cooled condenser coil

**72. Condition:** • [Dirty](#)

Recommend cleaning by licensed HVAC contractor.

**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

Task: Clean



### AIR CONDITIONING \ Evaporator coil

**73. Condition:** • Leaking is observed at the air handler/evaporator coils. Recommend further evaluation by a licensed contractor.

**Location:** Attic

**Task:** Further evaluation

**74. Condition:** • [No access to coil](#)

**Implication(s):** Difficult to service

### AIR CONDITIONING \ Condensate system

**75. Condition:** • Primary overflow drain line should be terminating down toward the secondary overflow drain pan.

**Location:** Attic

**Task:** Correct

# COOLING & HEAT PUMP

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64. Poor termination

**76. Condition:** • Overflow drain pan needs cleaning. Recommend removing any insulation, trash, or debris from the drain pan to prevent clogging the overflow drain line in the event of a leak.

**Location:** Attic

**Task:** Clean



65. Overflow drain pan needs cleaning. Recommen...

**77. Condition:** • [Rust or holes in pan](#)

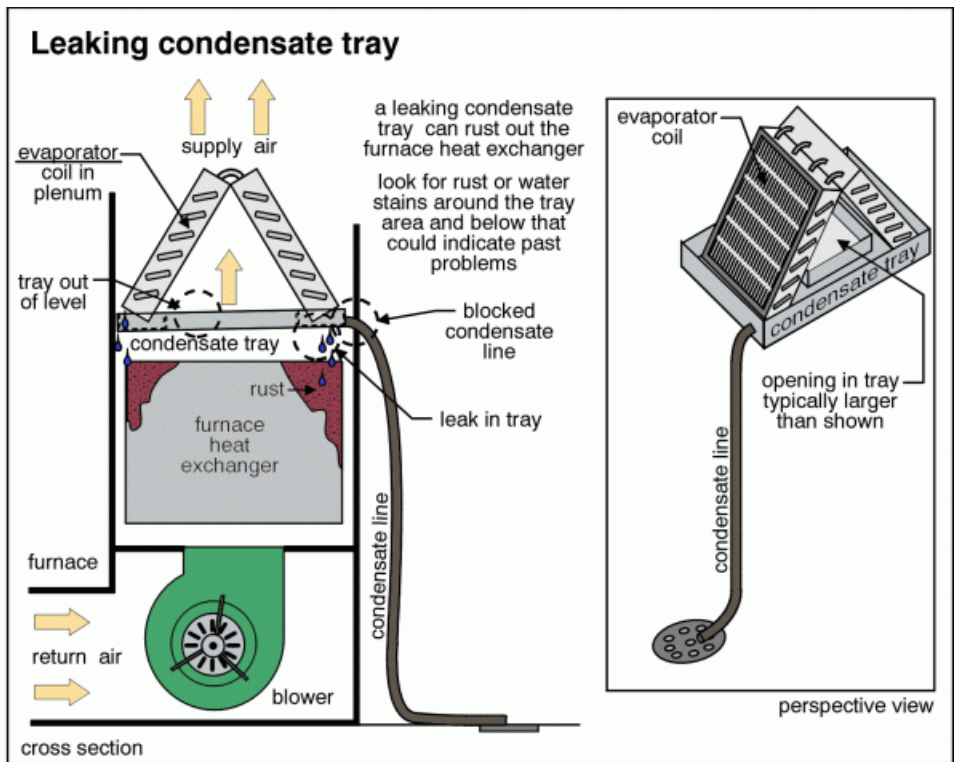
Rusting noted at the overflow drain pan.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Damage to equipment

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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**Location:** Attic

**Task:** Clean



66. Rust in pan

## AIR CONDITIONING \ Condensate drain line

**78. Condition:** • Missing insulation

**Location:** Attic

**Task:** Correct



67. Missing insulation

## AIR CONDITIONING \ Refrigerant lines

**79. Condition:** • Rust damage noted

**Location:** Exterior

**Task:** Further evaluation



68. Rusting

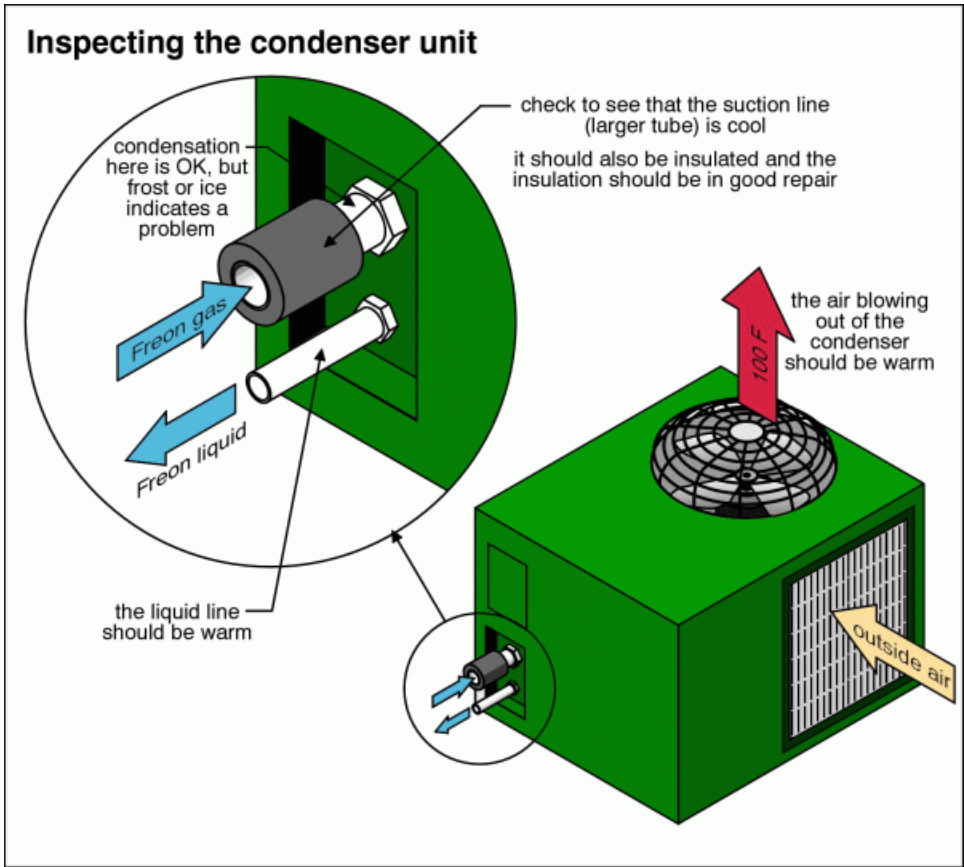
**80. Condition:** • [Insulation - missing](#)

**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

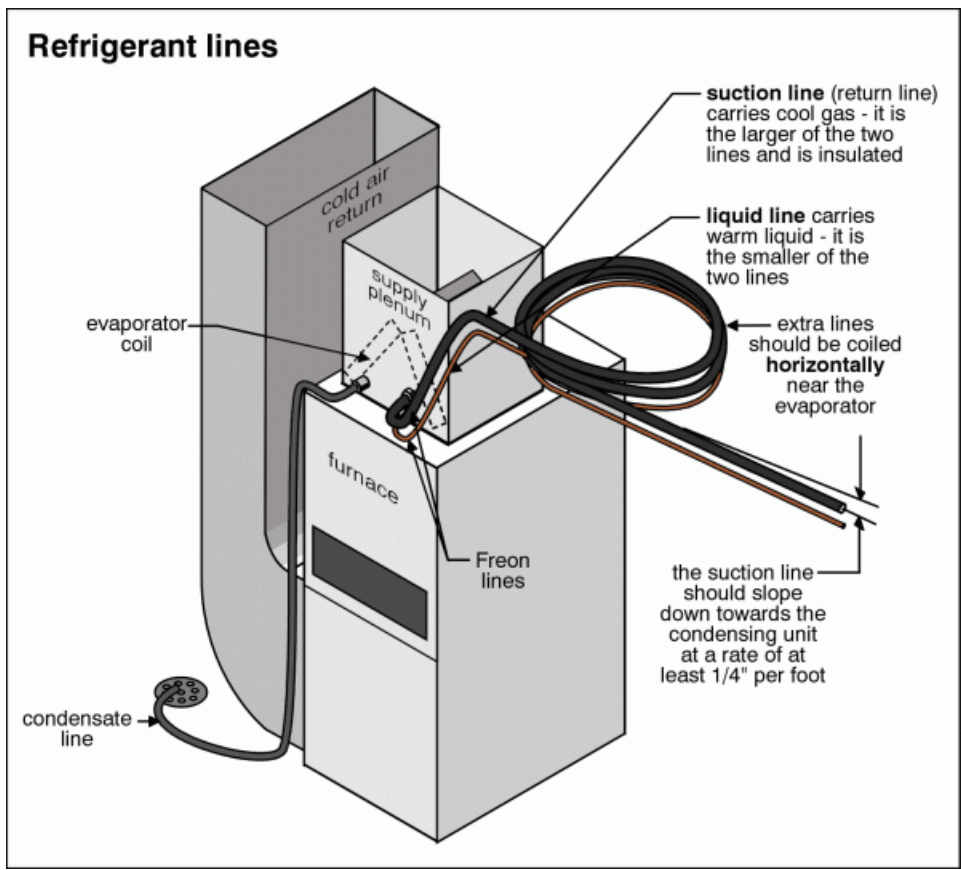
**Location:** Exterior

**Task:** Provide

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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69. Insulation - missing

## AIR CONDITIONING \ Condenser fan

81. **Condition:** • Damaged fins on condenser

**Task:** Further evaluation

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70. Damaged fins on condenser



71. Damaged fins on condenser

**82. Condition:** • Rusting noted at metal components of condenser unit

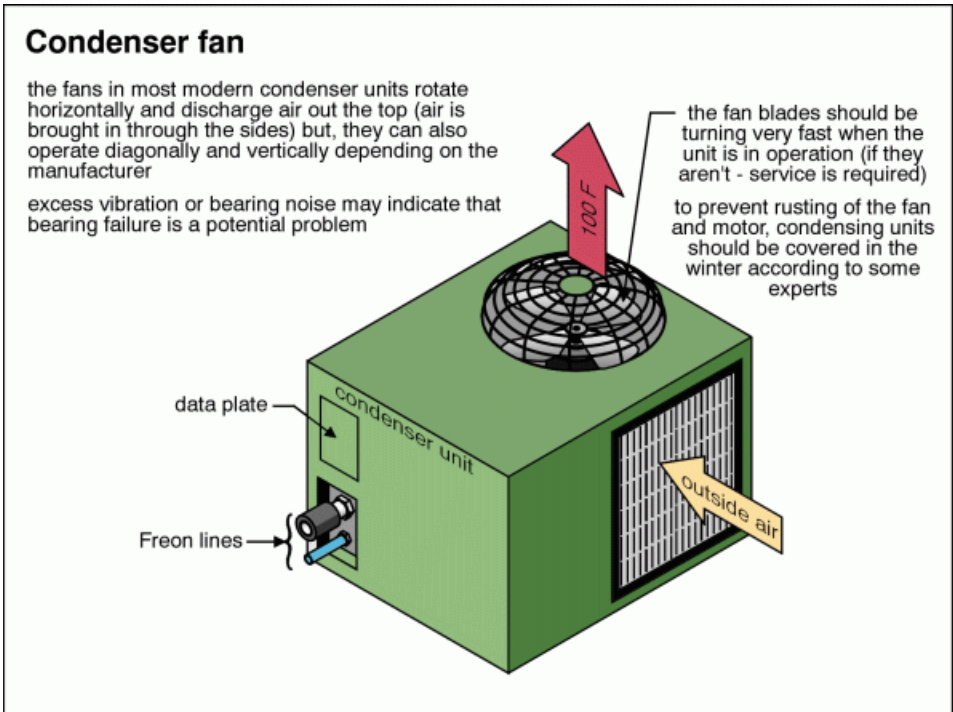
**Location:** Exterior

**83. Condition:** • [Dirty](#)

**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

**Task:** Clean

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
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## AIR CONDITIONING \ Ducts, registers and grilles

**84. Condition:** • Gray vinyl ductwork noted in some areas. These ducts are known to be ineffective at withstanding the heat of a residential attic. Damage and deterioration can be expected. Recommend replacing with approved ductwork.

**Location:** Attic

**Task:** Further evaluation



72. Gray vinyl ductwork

**85. Condition:** • Duct tape used on the HVAC system. This is not recommended. Properly seal with foil tape and duct mastic to prevent air leaks.

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**Task:** Repair or replace



73. Duct tape used on the HVAC system. This is...

**86. Condition:** • Damaged insulation on ductwork

**Location:** Attic

**Task:** Repair or replace



74. Damaged insulation on ductwork



75. Damaged insulation on ductwork

# COOLING & HEAT PUMP

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**76.** *Damaged insulation on ductwork*

**87. Condition:** • Properly seal all ductwork connections with approved materials to prevent air leaks and condensation problems.

**Task:** Correct

# INSULATION AND VENTILATION

443 Pine Cone Lane, Slidell, LA September 26, 2017

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[www.360inspector.net](http://www.360inspector.net)

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## Description

**General:** • All readily accessible insulation and ventilation components were inspected as part of this home inspection and appear functional, unless otherwise indicated within the Recommendations | Defects section of this report. Please note that any areas that are hidden from view or inaccessible (due to stored items, wall/ceiling/floor coverings, attic and/or crawlspace design, etc.) are NOT included as part of this inspection. It is beyond the scope of a normal home inspection to disturb or move insulation or vapor barriers, determine indoor air quality, include any ascertainment in regard to exact ventilation requirements, balance of ventilation systems, or thermal/natural flows. If any defects documented in the inspection report are of concern, we highly recommend that any further evaluation and repairs be performed by a licensed contractor.

**Attic/roof insulation material:** • Batts • Blown

**Attic/roof insulation material:** • [Glass fiber](#)

**Attic/roof insulation amount/value:** • Not determined

**Attic/roof air/vapor barrier:** • [Kraft paper](#)

**Attic/roof ventilation:** • Stationary vents

**Attic/roof ventilation:** • [Soffit vent](#) • [Power ventilator](#)

## Limitations

**Attic inspection performed:** • By entering attic, but access was limited

**Air/vapor barrier system:** • Continuity not verified

**Mechanical ventilation effectiveness:** • Not verified

## Recommendations | Defects

### ATTIC/ROOF \ Insulation

**88. Condition:** • Worn and/or falling insulation noted at walls in attic

**Location:** Attic

**Task:** Repair or replace

# INSULATION AND VENTILATION

443 Pine Cone Lane, Slidell, LA September 26, 2017

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77. Worn and/or falling insulation noted at..

## ATTIC/ROOF \ Pull-down stairs/ladder

89. **Condition:** • Some attic ladder fasteners are unsecured. Repairs needed.

**Location:** Garage

**Task:** Correct



78. Some attic ladder fasteners are unsecured....

90. **Condition:** • Attic access does not fully close

**Location:** Garage

**Task:** Repair or replace

# INSULATION AND VENTILATION

443 Pine Cone Lane, Slidell, LA September 26, 2017

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**79.** Attic access does not fully close

**91. Condition:** • Plywood not fire rated

**Implication(s):** Increased fire hazard

**Location:** Garage

**Task:** Replace

## **COMMENTS \ Additional**

**92. Condition:** • Unable to determine use for vent pipe installed. Verify with sellers and/or seek further evaluation by a licensed contractor.

## Description

**General:** • All readily accessible plumbing components (including visible supply piping, waste and vent piping, fuel storage and distribution systems, hose faucets, fixtures/faucets/spray wands located at the kitchens, wet-bars, bathrooms, laundry/garage sinks, toilets, and hot water systems) were inspected as part of this home inspection and appear functional, unless otherwise indicated within the Recommendations | Defects section of this report. Please note that any areas that are hidden from view or inaccessible (due to stored items, furniture, wall/ceiling/floor coverings, insulation, vapor barriers, underground installation/buried tanks, etc.) and any on-site well water systems or on-site septic/treatment systems are NOT included as part of this inspection. It is beyond the scope of a normal home inspection to determine effectiveness of anti-siphon devices, operate automatic safety controls, determine water temperature, operate any valves (except toilet flush valves, fixture/hose faucets), determine adequate system size, or inspect water treatment systems, fire sprinkler/lawn irrigation systems, spas, swimming pools, or solar water heating equipment. Please be advised that some brands of plumbing materials including (but not limited to) polyethylene, ABS plastic piping, and polybutylene have had some documented defects and recalls. We recommend visiting <https://www.cpsc.gov>, contacting the piping manufacturer, and/or a licensed plumber for more information regarding these issues. Regular maintenance in reference to water heaters, bathroom areas, and kitchen appliances should be performed annually to ensure proper working conditions. Laundry appliances and refrigerators/freezers/ice-makers are typically considered movable personal property and not tested as part of a normal home inspection. If any defects documented in the inspection report are of concern, we highly recommend that any further evaluation and repairs be performed by a licensed plumbing contractor.

**Water supply source:** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#) • [Plastic](#)

**Main water shut off valve at the:**

- Exterior wall  
Right side



80. Main water valve

Water flow and pressure: • [Functional](#)

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Electric](#)

Water heater manufacturer: • Unable to determine

Tank capacity: • Unable to determine

Water heater approximate age: • Unable to determine

Typical life expectancy: • 10 to 15 years

Waste disposal system: • [Public](#)

Waste and vent piping in building: • [Plastic](#) • [Cast Iron](#)

Exterior hose bibb: • Present

## Limitations

**Inspection limited/prevented by:** • Restricted access to the water heater. The appliance is installed in the garage behind closet/storage.

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81. Water heater installed behind here

**Inspection limited/prevented by:** • Water heater is covered by an insulated thermal blanket. Limited access to the water heater as a result.



82. Water heater is covered by an insulated...

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
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**Inspection limited/prevented by:** • Unable to fully view main water supply line due to insulation wrap at piping.

**Items excluded from a building inspection:** • Water quality • Concealed plumbing • Tub/sink overflows • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

## Recommendations | Defects

### SUPPLY PLUMBING \ Shut off valve

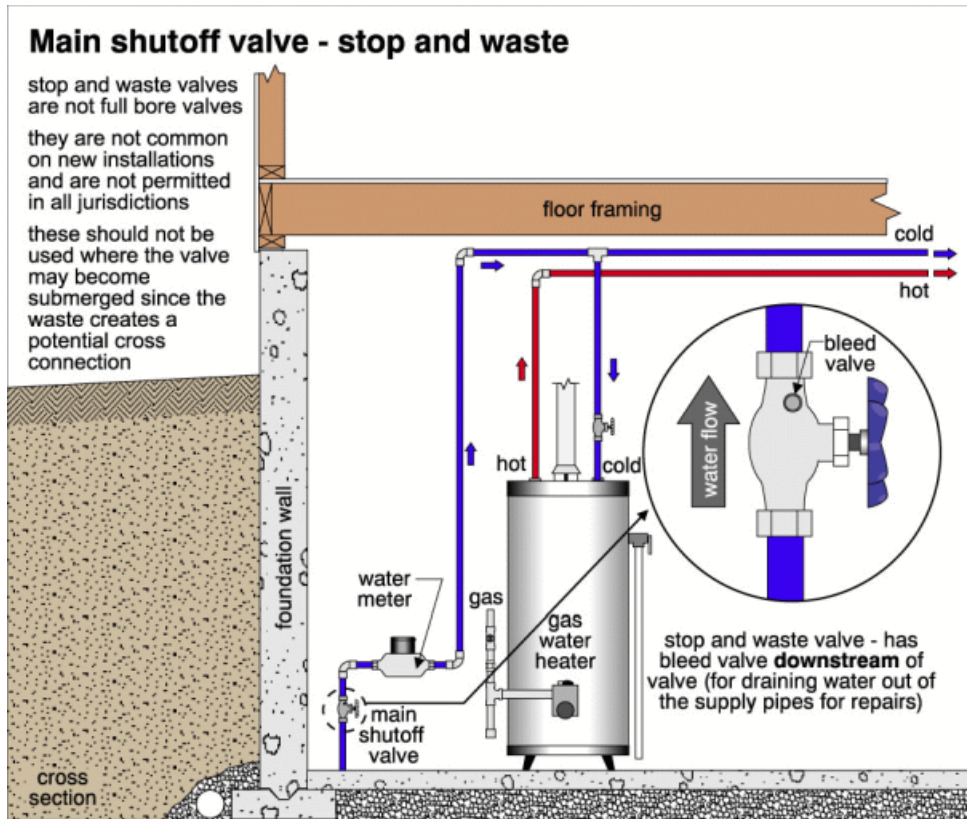
**93. Condition:** • [Leak](#)

Constant dripping noted at main water valve.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | No water

**Location:** Exterior Right

**Task:** Repair or replace





83. Leak

**SUPPLY PLUMBING \ Supply piping in building**

**94. Condition:** • Minor rusting and corrosion noted

**Location:** Various areas

**Task:** Monitor

**WATER HEATER \ General**

**95. Condition:** • Appears to be an older model appliance. Monitor for any on-going or future problems.

**Location:** Garage

**WATER HEATER \ Tank**

**96. Condition:** • Poor access

**Implication(s):** Difficult to service

**Location:** Garage

**Task:** Further evaluation

**97. Condition:** • Safety pan and drain missing

Recommend installing an overflow drain pan underneath the unit and overflow drain line that terminates at the exterior.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Garage

**Task:** Further evaluation

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
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84. Safety pan and drain missing

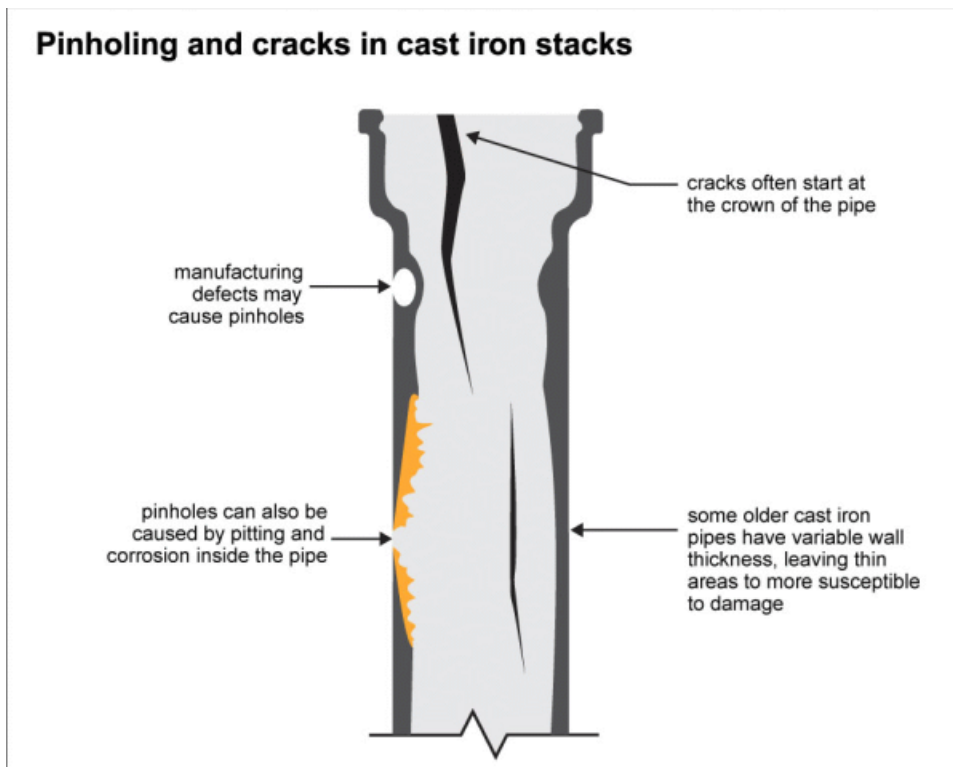
## WASTE PLUMBING \ Drain piping - performance

98. Condition: • [Rust](#)

Rusting observed at older style piping. Recommend monitoring for ongoing or future problems

**Implication(s):** Sewage entering the building

**Task:** Monitor





85. *Rust*

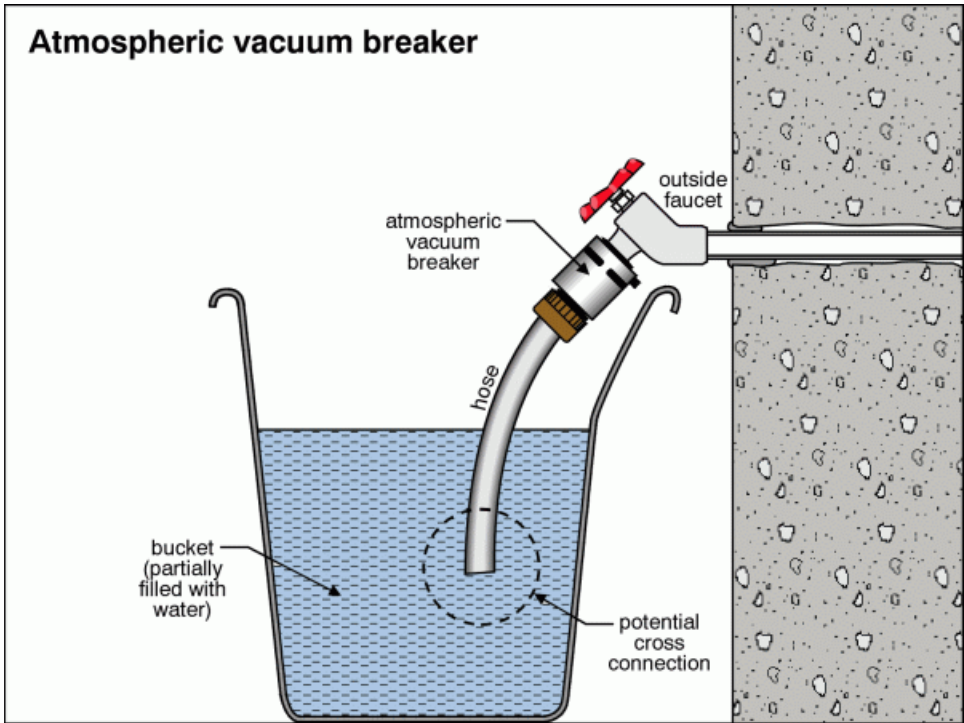
## **FIXTURES AND FAUCETS \ Hose bib or bibb**

**99. Condition:** • [Backflow prevention missing](#)

No anti-siphon device at some exterior hose bibs.

**Implication(s):** Contaminated drinking water

**Task:** Improve



86. Backflow prevention missing

**FIXTURES AND FAUCETS \ Faucet**

100. Condition: • [Drip, leak](#)

Bathtub faucet handle leaks during operation.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Master Bathroom

**Task:** Repair or replace



87. Drip, leak

**101. Condition:** • [Shower diverter inoperative or defective](#)

Diverter not fully functional

**Implication(s):** Equipment failure

**Location:** Master Bathroom

**Task:** Repair or replace

### **FIXTURES AND FAUCETS \ Basin, sink and laundry tub**

**102. Condition:** • Drain stop ineffective

Drain stopper needs repair/replacement at left sink.

**Implication(s):** Nuisance | Reduced operability

**Location:** Master Bathroom

**Task:** Repair or replace

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	<b>PLUMBING</b>	INTERIOR
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88. Drain stop ineffective

**FIXTURES AND FAUCETS \ Bathtub**

103. Condition: • Recommend sealing around fixtures to prevent water intrusion.

Location: Master Bathroom Hallway Bathroom



89. Recommend sealing around fixtures to preven...

**104. Condition:** • Drain stop missing

**Implication(s):** Reduced operability

**Location:** Master Bathroom

**Task:** Repair or replace



**90.** *Drain stop missing*

**COMMENTS \ Additional**

**105. Condition:** • None

Sewer scope inspection was performed during this home inspection. A DVD with the findings was provided to the client and the written details can be found in the appendix section of this report.

## Description

**General:** • All readily accessible interior areas were inspected as part of this home inspection and appear functional, unless otherwise indicated within the Recommendations | Defects section of this report. Please note that any areas that are hidden from view or inaccessible (due to stored items, wall/ceiling/floor coverings, insulation, vapor barriers, parked vehicles, etc.) are NOT included as part of this inspection. In the event that the house is occupied during the time of the inspection, it is understood that personal belongings will not be moved and inaccessible areas will not be inspected as a result. It is beyond the scope of a normal home inspection to report on cosmetic issues, paint, wallpaper, carpeting, window treatments, or other finish treatments. An earnest effort is made by the inspector to test the operation of all windows and doors, however in the event of an occupied property, it may only be possible to inspect a representative amount. If any windows appear to be fogged and documented in this report, we highly recommend further evaluation by a qualified window company to determine the extent and location of all affected windows. Attached garages should have proper firewall rating and automatic vehicle doors should be equipped with proper safety devices per current industry requirements and standards. Operation of the garage door features such as the pressure sensitive safety reverse may not be tested due to potential risk of damaging the vehicle door and/or its components. If any defects documented in the inspection report are of concern, we highly recommend that any further evaluation and repairs be performed by a licensed contractor.

**Major floor finishes:** • [Carpet](#) • [Laminate](#) • Tile

**Major wall finishes:** • Drywall

**Major ceiling finishes:** • Drywall

**Windows:** • [Fixed](#) • [Single/double hung](#) • [Sliders](#) • Aluminum

**Exterior doors - type/material:** • Hinged • Metal-clad

**Doors:** • Inspected

**Oven type:** • Conventional

**Oven fuel:** • Electricity

**Range fuel:** • Electricity

**Laundry facilities:** • Located at garage



91. Located at garage

**Laundry facilities:**

- 240-Volt outlet
- 3 prong outlet

**Kitchen ventilation:** • Recirculating type

**Bathroom ventilation:** • Exhaust fan

**Counters and cabinets:** • Inspected

**Inventory Dishwasher:**

- Whirlpool

# INTERIOR

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92. Whirlpool



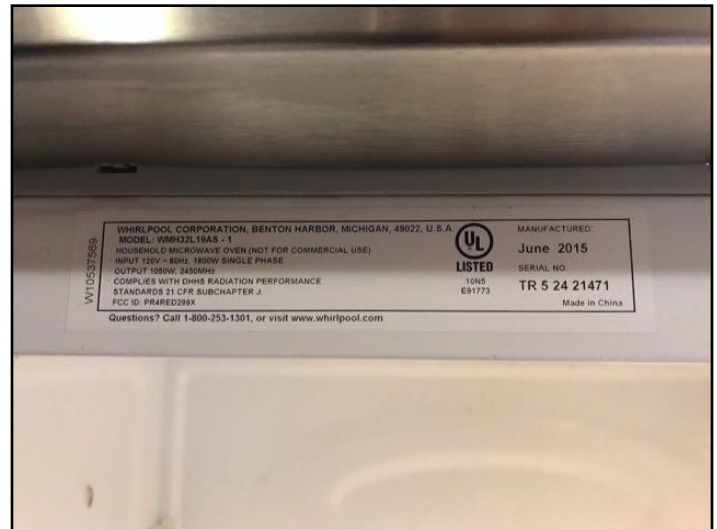
93. Whirlpool

## Inventory Microwave:

- Whirlpool



94. Whirlpool



95. Whirlpool

## Inventory Range:

- Whirlpool

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96. Whirlpool



97. Whirlpool

Inventory Refrigerator:

- Whirlpool



98. Whirlpool



99. Whirlpool

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## Limitations

**Inspection limited/prevented by:** • Floor coverings • Storage in garage

**Inspection limited/prevented by:** • New finishes/paint

**Restricted access to:**

• Garage

Areas of the garage walls are not accessible for inspection



100. Garage

**Not included as part of a building inspection:** • Security systems and intercoms

**Appliances:** • Washing machine and dryer are typically not inspected without homeowner consent. Home inspector is not allowed to operate movable property. • Refrigerators are not included as part of a normal home inspection

**Appliances:** • Effectiveness of dishwasher drying cycle not tested • Appliances are not moved during an inspection

## Recommendations | Defects

### CEILINGS \ General

**106. Condition:** • Previous repairs noted. Recommend verifying reasoning with sellers and monitoring area for any problems

**Location:** Hallway

**Task:** Monitor

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101. Previous repairs noted. Recommend verifying...

107. Condition: • Typical flaws  
Minor cosmetic issues observed

108. Condition: • Water stains  
Signs of past/present leakage observed. Unable to determine the status of these stains. Monitor for problems.

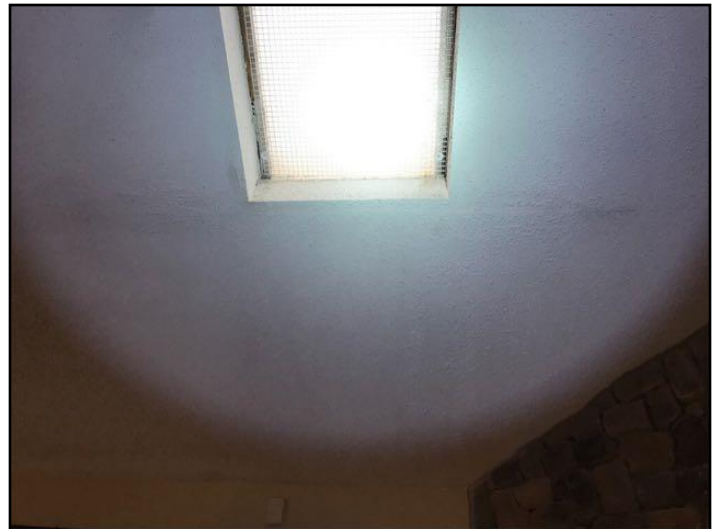
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Around interior skylights

Task: Further evaluation



102. Water stains



103. Water stains

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104. Water stains



105. Water stains



106. Water stains

## CEILINGS \ Fan

**109. Condition:** • Vibrating of ceiling fans observed

**Location:** Various areas

**Task:** Monitor and repair as needed

**110. Condition:** • blank note

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**111. Condition:** • Too low

Poor design. Use caution when opening exterior door while fan is running.

**Implication(s):** Physical injury

**Location:** Sunroom



**107.** Too low

**WALLS \ General**

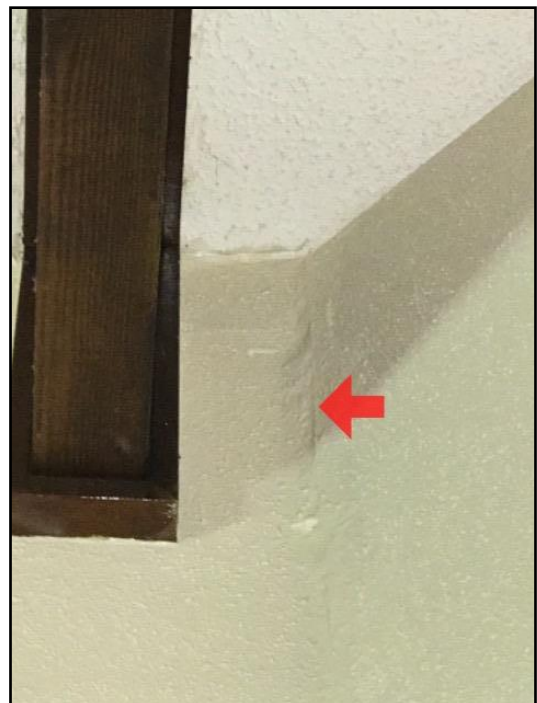
**112. Condition:** • Previous repairs noted. Recommend verifying reasoning with sellers and monitoring area for any problems

**Location:** Master Bedroom/Closet

**Task:** Monitor



**108.** Previous repairs



**109.** Previous repairs

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**113. Condition:** • Typical flaws  
 Minor cosmetic issues observed

**114. Condition:** • Water stains

**Implication(s):** Chance of water damage to contents, finishes and/or structure

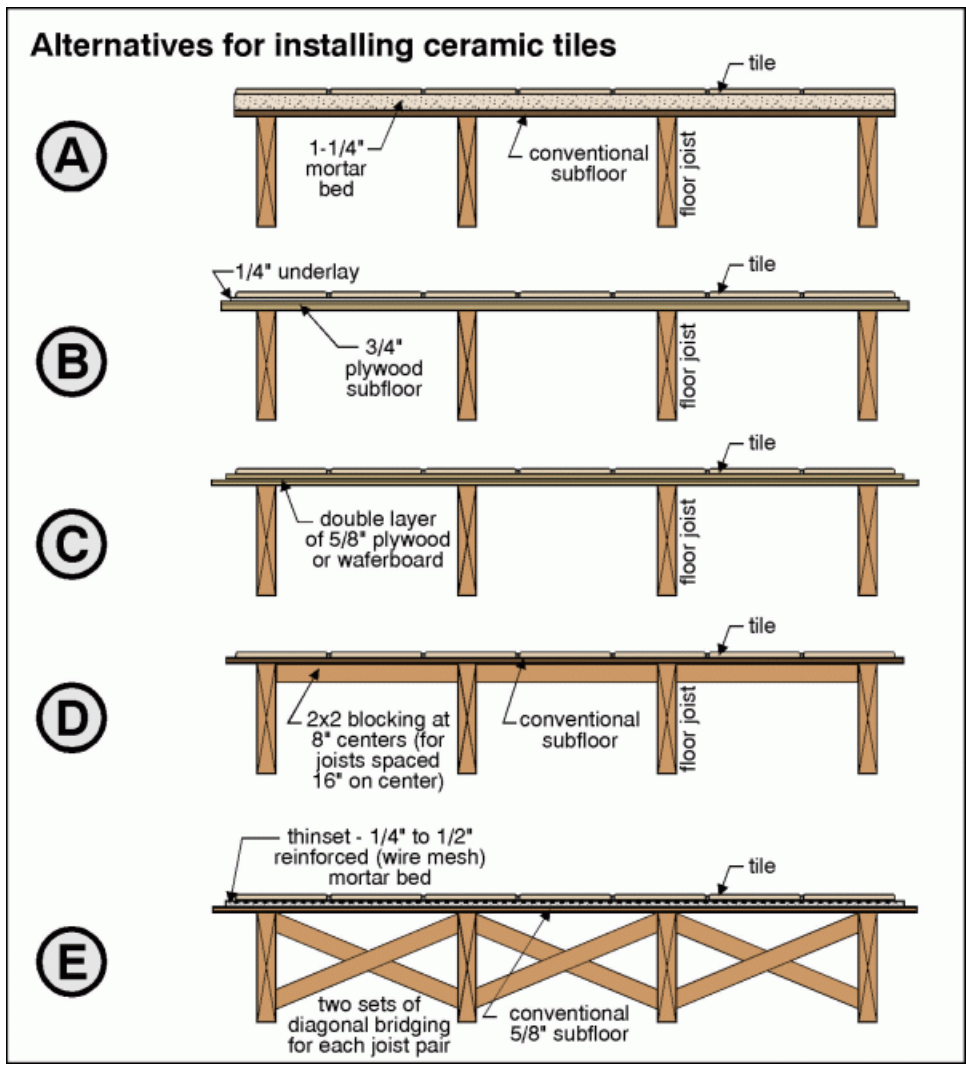
**Location:** Living Room

**Task:** Further evaluation

**FLOORS \ Ceramic tile, stone, marble, etc**

**115. Condition:** • [Tiles cracked](#)

**Location:** Kitchen



# INTERIOR

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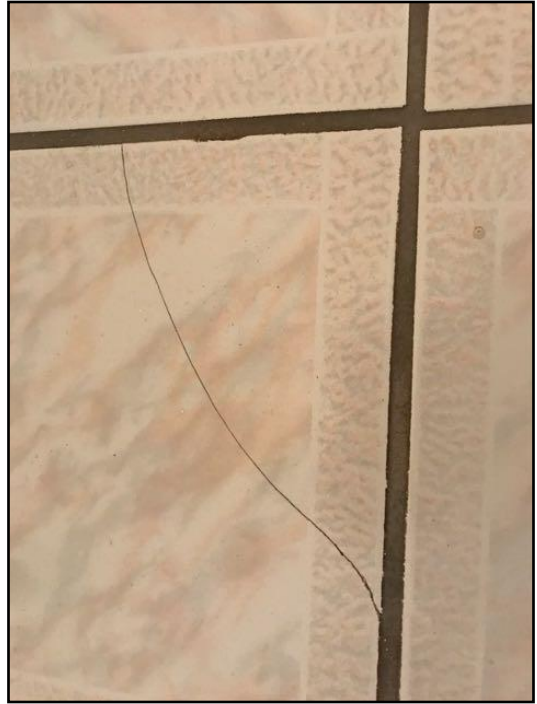
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110. Tiles cracked



111. Tiles cracked

## WINDOWS \ General

**116. Condition:** • Difficult to operate

**Implication(s):** System inoperative or difficult to operate

**Location:** Living room, Hallway bath

**Task:** Further evaluation

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112. Difficult to operate



113. Difficult to operate

117. Condition: • [Original lower quality units](#)

Implication(s): Increased heating costs | Increased maintenance costs

Task: Further evaluation, Upgrade

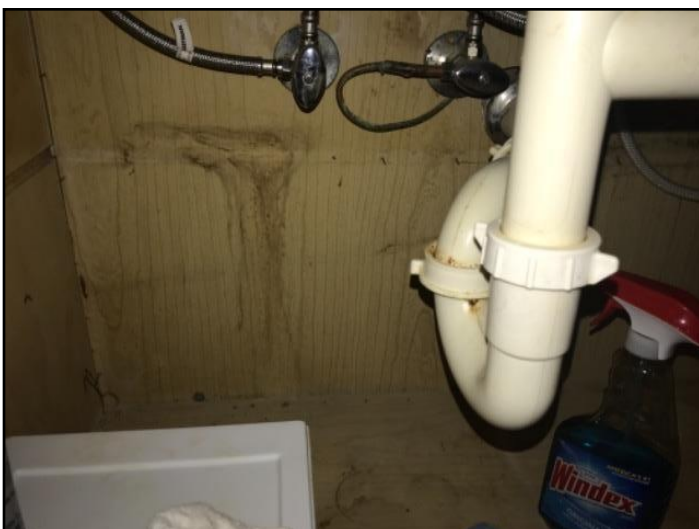
## CARPENTRY \ Cabinets

118. Condition: • [Stained, worn, damaged](#)

Implication(s): Material deterioration

Location: Kitchen, Bathrooms

Task: Repair or replace



114. Stained, worn, damaged



115. Stained, worn, damaged

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116. Stained, worn, damaged

**GARAGE \ Floor**

119. **Condition:** • Typical cracking observed. Some cracking is to be expected as the property settles over time.

**GARAGE \ Walls and ceilings**

120. **Condition:** • Moisture stains observed at the garage ceiling.

**Task:** Further evaluation



117. Stains

**121. Condition:** • Damage/deterioration noted. Drywall repairs needed.

**Task:** Repair



**118. Damage**

**122. Condition:** • Minor cosmetic issues observed.

Some cracking is to be expected at all interior surfaces as the property settles over time.

**Task:** Repair



**119. Cracks**

**123. Condition:** • Previous repairs noted. Verify reason with sellers and monitor for any problems.

**Task:** Monitor

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**124. Condition:** • Fire separation between garage and attic not adequate

**Implication(s):** Fire hazard

**Task:** Further evaluation



120. Fire separation between garage and attic no...

## GARAGE \ Vehicle doors

**125. Condition:** • Previous repairs/additional bracing noted at vehicle door.



121. Additional bracing

**126. Condition:** • Damage/deterioration

**Task:** Repair or replace

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122. *Damage/deterioration*

**127. Condition:** • Rusting noted at the metal components of the garage door and automatic opener. Recommend routine maintenance to ensure proper operation.

**Task:** Service

**128. Condition:** • Manual lockbar is damaged/bent

**Task:** Repair or replace



123. *Lockbar is bent*

## APPLIANCES \ Oven

**129. Condition:** • Appliance is hardwired. Current safety standards recommend that a means of disconnect is supplied at the appliance (e.g. plugging into an outlet).

**Location:** Kitchen

**Task:** Upgrade

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124. Hardwired

**130. Condition:** • Anti-tipping device missing

**Implication(s):** Physical injury

**Task:** Provide

### APPLIANCES \ Microwave oven

**131. Condition:** • Light inoperable

### APPLIANCES \ Waste disposal

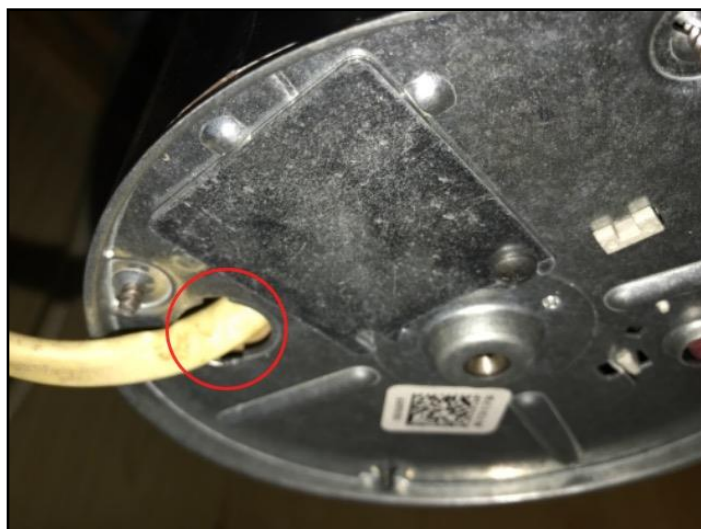
**132. Condition:** • Rusting at impeller blades

**133. Condition:** • Wiring exposed or loose

Missing strain relief wire clamp at disposal housing and rigid conduit for wiring.

**Implication(s):** Electric shock

**Task:** Correct



125. Wiring exposed or loose

## APPLIANCES \ Dryer

**134. Condition:** • Dryer vent obstructed

**Implication(s):** Equipment ineffective | Fire hazard

**Location:** Exterior Left

**Task:** Clean



**126.** *Dryer vent obstructed*

**END OF REPORT**

## VIDEO SEWER LINE INSPECTION REPORT



### Site Conditions

Sunny

### Date and Time

September 26, 2017  
12:00 P.M.

### Site Address and Client

443 Pine Cone Ln. Slidell, LA 70458  
Robert Schmalz

### Scope of Work

A sewer scope inspection is a video camera inspection to examine the main sewer line from the house to the street or sewer service point to the property. The line is accessed through a clean out or access point in the home, which could include a basement/crawlspace clean out, a toilet drain line, or a roof vent. The inspector will determine the best access point, and the report will outline where the line was entered. The camera inspection does not scope every drain line in the home or all the drain lines running underneath the slab, for example. The intent is to inspect the line that runs from the house to the final service point, and to inspect this buried line for defects. The results of the inspection are outlined below and can be viewed via DVD, which was given to the buyer's agent at the home inspection.

## Observations and Recommendations

### Description

Type of Sewer Pipe Material:  
Plastic PVC and Cast Iron

### Location of Entry

The camera inspection was performed through this location: Rear right plumbing vent stack at the roof.

### Condition of Sewer Line

The video pipe inspection revealed moderate rusting of the cast iron piping in some areas. Rust scale and minor build-up of flushable materials was detected throughout the scope process. All fixtures and drains were tested at the same time and no notable drain performance issues were detected.

The plastic PVC piping appeared to be in good condition where visible during the video inspection.

### Maintenance

Older style cast iron piping should be cleaned in the near future (e.g. hydro-blasted) and further evaluated after cleaning by a qualified licensed professional who specializes in this type of work. Periodic inspection of the line is recommended in the future to ensure sewer line integrity.

Stevin Lacoste

Louisiana Licensed Home Inspector #10860

[360 Home Inspection Services, LLC](http://www.360homeinspection.com)

c: [985-373-8516](tel:985-373-8516) | e: [stevinlacoste@gmail.com](mailto:stevinlacoste@gmail.com)



# PLUMBING - APPENDIX

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Thank you for your business!

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**PLATINUM**  
ROOF PROTECTION PLAN

**5 YEAR LEAK REPAIR COVERAGE**

This service contract is for the repair of leaks to your home's roof for a period of **5 years following the date of inspection**. This service contract covers only those items specifically listed and excludes all others, subject to the terms and conditions herein.

This policy covers all residential roof types, including asphalt/composition shingles, slate roofs, metal roofs, tile roofs, and non-commercial flat roof types. This policy applies only to the home itself, and specifically excludes other structures.

**Provided Free of Charge by**



**with Your Full Home Inspection**

*For warranty claims or questions call:*  
**1-800-544-8156**

This service contract covers repairs for leaks only. Any defect noted in your home inspection or any consequential leak resulting from a defect noted in your inspection is not covered. If your inspector noted damage, leaks, improper installation, or worn materials, it is the responsibility of the home owner to remedy these conditions. This is not a policy of insurance, and as such consequential damage from a leak is not covered. Damage from any peril (fire, flood, lightning, vandalism, etc.) is not covered by this policy and should be reported to your homeowner's insurance company. Repairs necessary as the result of abuse, neglect, or lack of maintenance are not covered by this policy.

A deductible of \$500 applies to any roof leak claim. Should the actual cost of repair be less than \$500, the home owner shall pay the lower amount. Repairs completed under this policy, after the deductible has been satisfied, are guaranteed for the remainder of the term of this policy. Leak repairs shall be covered only when the cause of the leak is normal wear and tear or deterioration. The aggregate limit of this policy for the 5 year period is \$3000.00. Home owner is responsible for the cost of replacing roof coverings when needed. On any claim payment to the home owner can be requested in lieu of payment to a service provider, which may be a prudent choice especially when a roof replacement is being considered.

This policy was delivered to the home owner free of charge by their home inspector. The policy is serviced by Residential Warranty Services, Inc.(RWS) with its principal offices located in Carmel, Indiana. Any action, including complaints, legal disputes, or compliance requests, shall be made in Hamilton County, in the State of Indiana. This policy is non-transferable.\* It shall be used only for the benefit of the purchaser of the property as listed on the home inspection report and only for the subject property of that report.

**MAKING A CLAIM**

Prior to the date on which this policy expires, which is the same date as the inspection 5 calendar years later, RWS must receive written notification of your claim. Simply call 1-800-544-8156 for instructions or send your claim, including a brief summary of the condition, your name, your full address, a phone number you can be reached at, a copy of your home inspection, and a written diagnosis and an itemized estimate which includes the breakdown of parts and labor from a qualified roofing contractor to:

**Residential Warranty Services, Inc., P.O. Box 797, Carmel, IN 46082**

Claims can also be faxed to 877-307-7056 or emailed to 90day@rswarranty.com

*\*Policy is transferable to the buyer with a pre-listing inspection.*



# APPENDIX

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We offer way more than just an inspection!

If mold is found in your home, that was not present at the time of inspection, you are covered for remediation up to \$2000.



360 Home Inspection Services, LLC  
(504) 512-0205  
[www.360inspector.net](http://www.360inspector.net)  
10982

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 SEWER|GARD



**RESIDENTIAL WARRANTY SERVICES, INC.**

This agreement (SewerGard) is serviced and underwritten by Residential Warranty Services (RWS) and is provided free of charge by your home inspector as a part of your paid and completed home inspection.

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(504) 512-0205  
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# SEWER|GARD



**Term**

SewerGard protection is offered for a period of 90 days following the date of the inspection, or 22 days after closing, whichever comes later. If you received a sewer scope, this policy is extended to 6 months from the date of inspection, or 22 days from closing, whichever comes later. All claims must be received by RWS within the term of the agreement. An extension of coverage may be made available at a nominal fee at the conclusion of this agreement. This agreement is not transferable to any other property outside of the one listed on your home inspection report.

**Coverage**

During the agreement term, the following components are covered against failure due to normal wear and tear:

1. "Water Line". The water line is the single lateral water service line from the point of the water utility's connection to the point of the water meter or main shut off line inside the home. The water line also includes well water lines, excluding those exceeding five feet under the surface level of the yard.
2. "Sewer Line". The sewer line is the single lateral sewer service line from the point of the home's exterior wall to the point of connection to the sewer utility's wastewater collection system or septic tank.

**Covered Repairs**

This agreement covers only repairs as specified and excludes all others. Coverage is limited to \$2000 per occurrence, \$4000 aggregate. Only failures that occur after the date of the inspection are covered. This agreement does not cover repairs to material types that have been affected by a class action lawsuit or manufacturer's recall. This agreement only applies to residential properties being used for residential purposes only. Coverage is for line breakages, collapses, or significant leaks that affect the functionality of the home's sewer and water systems. This is not a policy to cover clogs.

**Exclusions**

RWS will not be responsible for any of the following:

- a. Repairing anything that occurred before the start date of this agreement.
- b. Repairing anything that wasn't reported to RWS during the term of this agreement.
- c. Repairing anything not resulting from normal wear and usage.
- d. Repairing anything caused by you and/or third parties.
- e. Repairing anything in a home that is being renovated.
- f. Repairing anything caused by natural acts or disasters included but not limited to floods, earthquakes, landslides, sinkholes, or any insurable causes.
- g. Repairing anything caused by defective materials, or any material that has been the subject of class action litigation or a recall.
- h. Repairing anything required by any other party (city, state, federal or other party) unless otherwise covered by this agreement.

- i. Repairing any openings or damage caused to walls as a result of investigation or repair of a covered issue.
- j. Repairing shared lines (as in shared with another property).
- k. Repairs to any damaged items consequential to a sewer or water line failure or repair.
- l. Paying any costs associated with relocation of lines, lost water, lost time, lost use of your home, or any damages due to any special circumstances or conditions.

**RWS' Right to Review**

RWS reserves the right to have its own contractor review any diagnosis, estimates, and bid on any project covered under this agreement. RWS shall choose the acceptable estimate in its sole discretion for coverage. This warranty and all related disputes shall be interpreted and enforced in accordance with the laws of Hamilton County in the State of Indiana without reference to, and regardless of, any applicable choice or conflicts of laws principles.

**Claim Procedures**

Written Notification of claim including items 1, 2, and 3 must be received by RWS prior to the expiration of the policy. All claims on this policy shall be made by the buyer of record only after they have taken possession of the home and must be received within 90 days of the inspection or within 22 days of closing, whichever comes later. Claims will be processed after we are in receipt of items 1, 2 & 3. You will be contacted within 72 business hours of all items being submitted.

1. Written Notification of Claim - The following information must be contained in the notification:
  - a. Your Name
  - b. Your Inspection Company's Name
  - c. A Phone Number Where You Can Be Reached
  - d. A Brief Description of the Claim
2. An itemized repair estimate, including the breakdown of parts & labor, as well as a specific cause for the failure in writing from a licensed or properly certified repairperson. RWS reserves the right to request up to two (2) additional estimates. The estimate must include contact information for the repairperson.
3. A copy of your home inspection report, or at least those pages pertaining to the affected items.

**Residential Warranty Services, Inc.**

PO Box 797  
 Carmel, IN 46082  
 800-544-8156  
 Fax 877-307-7056  
 90day@rwsarranty.com

**Deductible**

The policy holder is responsible for the first \$300 worth of repairs and investigation of any covered issue. Any and all receipts and invoices must be delivered at time of claim submission to ensure credit for any covered expenditures. The policy holder is also responsible for any costs exceeding the coverage limitations of \$2000 per occurrence and \$4000 aggregate.

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Your home inspection is our  
**opportunity to shine.**



We are committed to raising the standards of your home inspection.  
That's why we offer **FREE RecallCheks** for your home appliances with every inspection we do.

**RecallChek** is the first service for consumer recalls in the United States and has compiled over 205 million recalls from public records, to create a fail-safe system to check for dangerous flaws with home appliances.

If a manufacturer designs a dangerous product, they **MUST** recall that item and fix it free of charge! RecallChek will provide the information to resolve any potential recall issues promptly.

**How it works:**

- ✓ Your home inspector records the model numbers of your built-in home appliances and HVAC systems.
- ✓ The Model Number Algorithm (MNA) matches your appliances against the RecallChek database of recalled items.
- ✓ RecallChek issues a report, separate from the home inspection report. This report is emailed directly to you.
- ✓ This service is intended to provide homeowners with valuable information on how to receive **FREE** repairs from manufacturers in the event a recalled appliance is found. This service is not meant to be used in the inspection response process.



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A service provided by Residential Warranty Services

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**If a manufacturer designs a dangerous product, they MUST recall that item and fix it *free of charge!***

**Recall Protection for Life.**

Recalled Appliances are found in one in every ten homes. By submitting the make and model numbers from your home's appliances, furnaces, air conditioners, and water heaters- you are ensuring that you not only get the free repairs that are owed to you now, but that you are also informed immediately if any of your home's appliances are affected by a recall in the future.



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 10982

If you don't receive your report or if you have any questions please call 1-800-544-8156 or email us at [reports@recallchek.com](mailto:reports@recallchek.com)






**RecallChek**<sup>®</sup>  
 A service provided by Residential Warranty Services

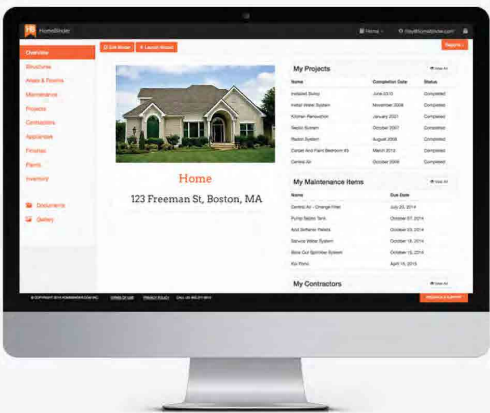


## Congratulations on Your Home Inspection!

Your Home Inspector has gifted you a lifetime account to HomeBinder (\$120 Value) that will help you with all your ongoing home management needs.


### How HomeBinder Helps

-  **Schedule Maintenance Reminders** for your homes reoccurring maintenance needs like replacing air filters and draining sprinkler lines.
-  **Store Contractor Information** to always remember the handymen who work on your home so you know who to call for repairs.
-  **Organize Home Projects** by storing photos, paint colors, and project costs for easy repairs and tax deductions at the time of sale.
-  **Start a Home Inventory** to be prepared for a fire or theft with an easy to update repository that makes insurance and tax claims a breeze.
-  **Utilize Your Electronic File Cabinet** by uploading important paperwork, reports and receipts to the cloud for safekeeping and easy access.



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# Your New HomeBinder is Waiting!

You're already set up with a recommended maintenance reminder schedule, now you just need to claim your HomeBinder to get started.

## How to Get Started

**1 Activate Your Account from Email**



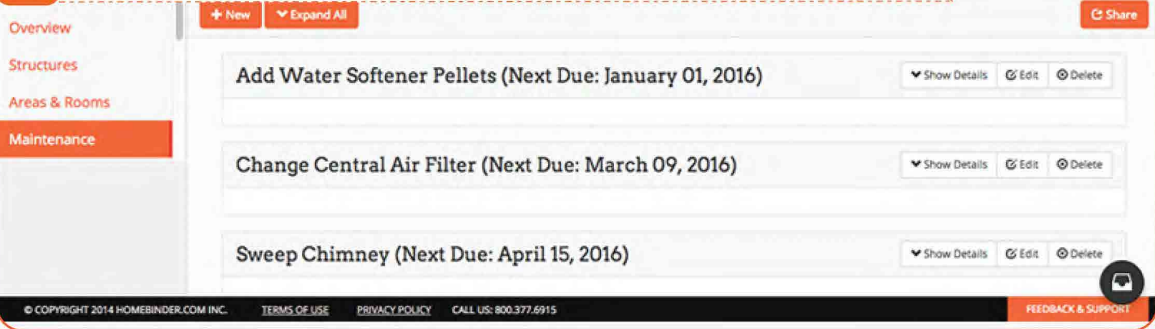
HomeBinder Account Setup Information

Your Home Inspector has created a HomeBinder for you!

Congratulations on your recent home inspection. As part of your home inspection, you have lifetime access to HomeBinder Homeowner Edition.

**Access your Binder!**

**2 Review and Update Your Maintenance Reminder System**



Overview Structures Areas & Rooms Maintenance

+ New Expand All Share

Add Water Softener Pellets (Next Due: January 01, 2016) Show Details Edit Delete

Change Central Air Filter (Next Due: March 09, 2016) Show Details Edit Delete

Sweep Chimney (Next Due: April 15, 2016) Show Details Edit Delete

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**3 Populate Your Electronic Filing Cabinet**

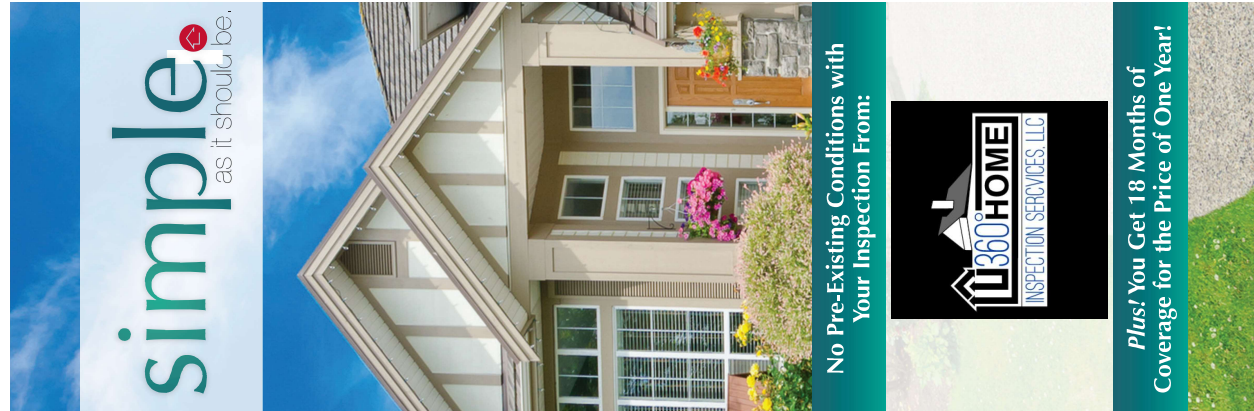


Overview Structures Areas & Rooms Maintenance Projects Contractors

Edit Binder Launch Wizard Reports

My Projects View All

Name	Completion Date	Status
Installed Sump	June 2010	Completed
Install Water System	November 2008	Completed
Kitchen Renovation	January 2001	Completed



**RESIDENTIAL WARRANTY SERVICES, INC.** **HOME WARRANTY**

**Pricing Guide for Simple Warranty**  
 Priced by Total Square Footage Including Basement / Please Check One

≤ 1500 sq ft	\$395
1501 - 2500 sq ft	\$475
2501 - 3000 sq ft	\$515
3001 - 4000 sq ft	\$560
4001 - 5000 sq ft	\$755
5001 - 6000 sq ft	\$965
6001 - 9,999 sq ft	0.16 per sq ft*
10,000 sq ft above	0.19 per sq ft*
<b>Total</b>	

\*For homes over 6000 sq ft, multiply footage by the indicated price. Service call fee \$150. Please See Contract for complete terms and specifications.

**Coverage for the Simple Warranty**  
 HVAC, Plumbing, Electrical, Water Heater, Sump Pump, Sewage Pump, Well Pump, Termitte Treatment, Exhaust Fan, Dishwasher, Garbage Disposal, Microwave, Range/Oven, Trash Compactor, Refrigerator, Whirlpool Motor, Roof Leak, Water Softener, Drain Line Stoppage, Washer/Dryer, Garage Door Opener and Springs, Alarm System, Instant Hot Water System, Freeze Damage, Central Vac Systems, HVAC Annual Maintenance

**To Order:**  
 Call: 800-544-8156    Order Online: www.RWSWarranty.com  
 Fax: 877-307-7056  
 Mail: Residential Warranty    24 Hour Services  
 Services    Call: 800-544-8156  
 P.O. Box 797  
 Carmel, IN 46082

**TX RESIDENCE ONLY: YOU THE BUYER HAVE OTHER RIGHTS AND REMEDIES UNDER THE TEXAS DECEPTIVE TRADE PRACTICES-CONSUMER PROTECTION ACT WHICH ARE IN ADDITION TO ANY REMEDY WHICH MAY BE AVAILABLE UNDER THIS CONTRACT. FOR MORE INFORMATION CONCERNING YOUR RIGHTS, CONTACT THE CONSUMER PROTECTION DIVISION OF THE ATTORNEY GENERAL'S OFFICE, YOUR LOCAL DISTRICT OR COUNTY ATTORNEY, OR THE ATTORNEY OF YOUR CHOICE.**

**Warranty Application**  
 Buyer's Coverage  
 Listing Coverage

**Property to be Covered**  
 Street \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_  
 City \_\_\_\_\_  
 Seller \_\_\_\_\_  
 Phone # (\_\_\_\_) \_\_\_\_\_  
 Buyer \_\_\_\_\_  
 Phone # (\_\_\_\_) \_\_\_\_\_

**Agent Information**  
 Listing Agent \_\_\_\_\_  Procured  
 Office \_\_\_\_\_  
 Phone # (\_\_\_\_) \_\_\_\_\_  
 E-mail Address \_\_\_\_\_  
 Listing Expiration Date \_\_\_\_\_

Selling Agent \_\_\_\_\_  Procured  
 Office \_\_\_\_\_  
 Phone # (\_\_\_\_) \_\_\_\_\_  
 E-mail Address \_\_\_\_\_

**Title Company Name** \_\_\_\_\_  
 Closer \_\_\_\_\_  
 Phone # (\_\_\_\_) \_\_\_\_\_  
 Fax # \_\_\_\_\_  
 Address \_\_\_\_\_

**Inspection Company** \_\_\_\_\_  
 Phone # (\_\_\_\_) \_\_\_\_\_  
 Closing Date \_\_\_\_\_

Deliver to:  Closing     Agent     Residence

After being presented with this policy, and being made aware that the agent/agency is not liable for any future repairs related to the subject property, the client wishes to  Accept  Decline the home warranty coverage and understands fully the terms and conditions contained herein.

Client Signature \_\_\_\_\_  
 Printed \_\_\_\_\_  
 Date \_\_\_\_\_

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
APPENDIX	REFERENCE								

## Coverage Summary

Pay special attention to the "Also Covered" sections. These are items specifically excluded by other warranty companies that we cover as part of the Simple Warranty.

### CENTRAL HEATING SYSTEM

This policy covers heating units including forced air systems and heat pumps, heat exchangers, secondary heat exchangers, burners, elements, furnace mounted humidifiers, electronic air cleaners, baseboard electric heating systems, thermostats, accessible interior gas lines, accessible duct work (Policyholder must pay to gain access), flues & vents, registers, grills, clocks, Geothermal, oil, steam, water, wood burning, coal, radiant heat and solar systems are covered with a \$1500 aggregate limitation. Zone dampers and zone control systems are covered with a \$500 aggregate limitation.

### ALSO COVERED ★

Heat lamps. Routine maintenance and cleaning (Call our office to schedule). Coolant evacuation & recovery. Permit fees. Filters & filter media (Just call with specifications and we will deliver). Condensate line clearing/stoppages, Cleaning and relighting of pilots. No limitation on number of systems

### CENTRAL AIR CONDITIONING SYSTEM

Electric central air conditioning unit or heat pump, including compressors, coils, motors, belts, pulleys, and related components attached to air conditioning units, leaking refrigerant lines, thermostats, cleaning of condensate drain lines, float assembly, window units, condenser casings, filters.

### ALSO COVERED ★

Routine maintenance and cleaning (call our office to schedule). Coolant evacuation & recovery. Permit fees. Filters & filter media (Just call with specifications and we will deliver). Condensate pumps, Condensate lines, Interconnecting Freon lines

### PLUMBING

Water pipes, waste pipes, gas pipes, vent pipes, faucets (builder standard for replacement), valves, sill cocks, assembly parts within the toilet tank, shower and tub valves (builder standard for replacement), diverter valve, angle stops, risers and gate valves, drain valve, hose bibs, vent and sewer lines, normal stoppages, toilet seats & lids, whirlpool tub mechanical components, pressure regulating devices, sewage pumps, sump pumps, well pumps, basket strainers, water softeners, water filters & purifiers, instant-hot water systems, bidets, plumbing within the perimeter of the home, plumbing within the foundation or slab, caulking and grouting, freeze damage (the warranted property must have heat on at the time of the occurrence), and shower heads.

### ALSO COVERED ★

Caulking and grouting, Instant hot water systems, Pressure regulating devices, Freeze damage (See terms), Jetted bathtub (including electrical controls, plumbing lines, air pumps, pumps, and motors).

### RANGE/OVEN

Flameouts, burners, over range exhaust fan, thermostat, wiring, igniters, clocks, rotisseries, racks, handles, knobs, interior lining, and other related components and parts to a built-in range/oven. Sensi-heat burners will be replaced with standard burners.

### GARBAGE DISPOSAL

Built-in garbage disposal and all related parts and components, including motor, wiring, blades, switches, and casing.

welcome  
to the simple warranty.



The Simple Warranty by Residential Warranty Services represents the **broadest coverage** available in the market today. All options are included, no known preexisting conditions and we offer a best coverage guarantee. In fact, if you ever denied coverage for a claim that can be verified eligible by any other policy we will either cover it or give you 100% of your premiums back. Pricing is based on a simple square footage system, and you'll never experience any up charges.

**With Residential Warranty Services, you are simply covered.**

### OPTIONS INCLUDED (At no extra charge to you!)

- DRAIN LINE STOPPAGE**  
Stoppages accessible and clearable by a sixty foot standard sewer cable. Home must have a clean-out installed. Roof vent entry is not covered by this policy.
- WATER SOFTENER**  
Standard residential water softening unit, components and plumbing to and from the unit.
- ROOF LEAK REPAIR**  
Leaks only, to rolled roofing, composition shingles, and flashing.
- SEWAGE PUMP AKA LIFT STATION**  
Standard residential grade sewage pump located within the perimeter of the home, adjacent plumbing lines, and power supply.
- WELL PUMP**  
Well pump, electrical and plumbing lines to and from the unit, pressure switch, motor, impellers, seals, controls, pressure tanks.
- TERMITE PROTECTION PLAN**  
Conventional chemical treatment in the case of a new infestation.
- MICROWAVE**  
Built-in microwave, parts, and components including electric timer, transformer, magnetron tube, door latch, touch tone panel, interior lining, clocks and shelves.
- WASHER & DRYER**  
Clothes washer and dryer, related components including pumps, tiers, wiring, relays and switches, belts, hoses, thermostats, heating elements and burners, lint screens, gas valve, and pulleys.
- FREEZE DAMAGE**
- ANNUAL HVAC MAINTENANCE**
- ALARM SYSTEM**

Also covered by this policy: Up to \$400 towards any mandatory code upgrade including those related to changing refrigerant type in air conditioning systems. This shall be applied to the aggregate limitation of the system that was benefitted by the coverage.

### EXHAUST FAN

All parts and components of standard size overhead exhaust fans, both recirculating and non.

### ELECTRICAL SYSTEMS

Main panels, sub-panels, breakers, switches, receptacles, interior wiring, wiring to air conditioning unit, attic and exhaust fans, doorbell wiring, telephone wiring, non-proprietary alarm system equipment, fixtures (builder grade for replacement), carbon monoxide detectors, smoke alarms, and timers.

### ALSO COVERED ★

Load control devices, touch pad assemblies, Transmitters and remotes; Corrosion caused by moisture, Data lines (CAT 5), Central vacuum system main unit (Does not cover lines & accessories), Belts, shutters, and filters for exhaust, attic, or ceiling fans

### WATER HEATERS

Water heater tank, elements, gas valves, and lines, thermo couple, vent pipes & lines, insulation and insulation blankets, racks, straps, hot water dispensers, flues, and thermal expansion tanks.

### ALSO COVERED ★

Tankless water heating systems, Base pans, Sediment (When it can be removed by draining the unit)

### SUMP PUMPS

Standard AC groundwater sump pumps, switches, receptacles, evacuation lines.

### ALSO COVERED ★

(Up to \$50 in consequential damage per occurrence) Portable and non-hard piped unit that is permanently installed, Backup units (except battery powered units)

### GARAGE DOOR OPENERS

Garage door opener units of a standard residential grade, including motor, receive board, relays, switches, drive trains, capacitors, push arm, track assembly, door hardware, remote sending units, standard maintenance, infrared sensors, chains, key pads.

### ALSO COVERED ★

### REFRIGERATOR

Refrigerator or combination refrigerator/freezer, ice maker, compressors, condensers, evaporators, fan motors; timers; thermostats, wiring, racks, shelves, door seals, door alarms, consequential food spoilage (see aggregate limits)

### ALSO COVERED ★

Disposal of old equipment, Light bulbs and fixtures, Drip pans, Springs

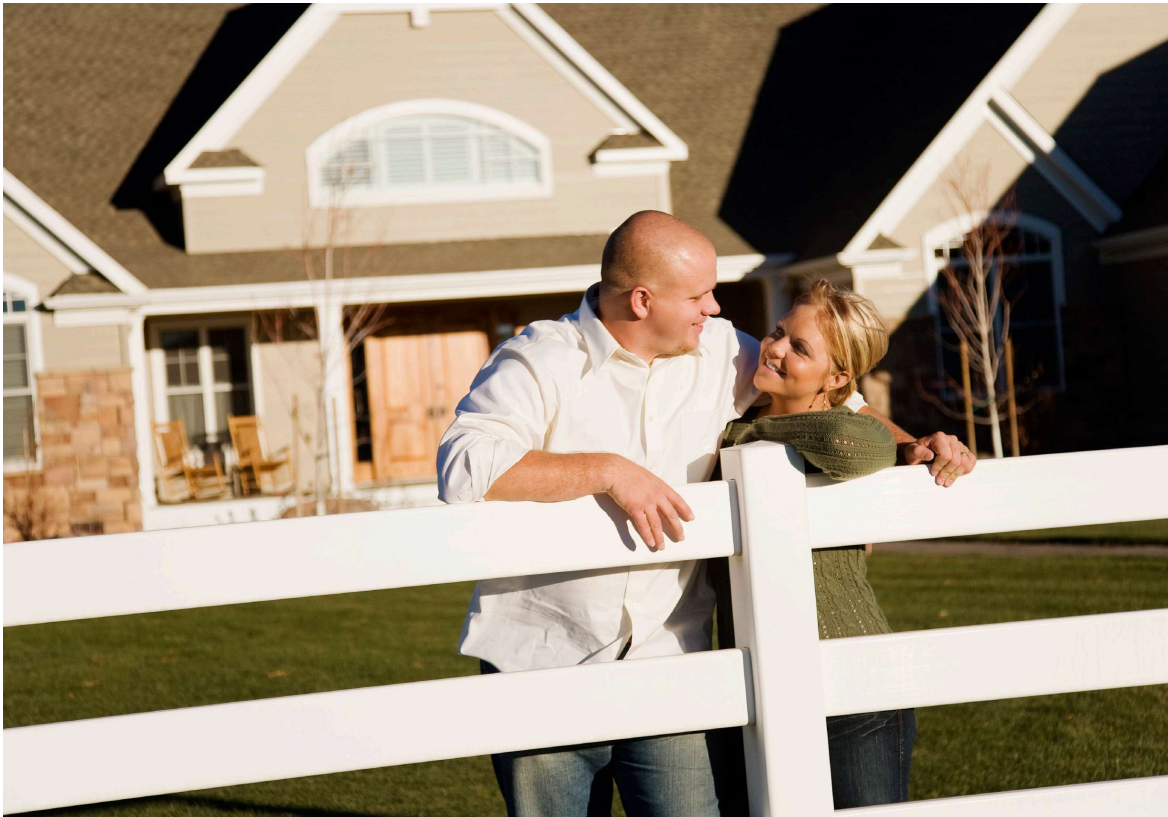
### DISHWASHER

Built-in dishwashing units and related parts and equipment, including timers, motors, heating elements, hinges and latches, wash arms, fill valves, spray arm, racks, baskets, and rollers.

### TRASH COMPACTOR

Built-in trash compactor and component parts, including motors, switches, and relays, wiring, and tracks.

**See complete policy details and limits of liability online at [RWSWarranty.com](http://RWSWarranty.com)**



## Protecting **your interests.**

You need more than just a home inspection, you need the professionals you can depend on even after the job is done. That's why we back all of our inspections with a 90 day Limited Structural and Mechanical Warranty.

### How to use your 90 Day Warranty:

- Your 90 Day Limited Mechanical and Structural warranty comes with your home inspection. This warranty is valid 90 Days from the date of inspection or 22 days after closing whichever comes later. You will always have at least 22 days worth of coverage.
- This warranty covers repairs to items the Home Inspector has found to be in good working condition at the time of inspection and are specifically listed within our warranty.
- You will never have a deductible to pay.
- Claims will be handled within 72 hours of complete submission.
- This warranty may work in conjunction with an existing warranty.

Representatives are available Monday-Friday 8am-5:30pm  
EST to help answer questions about your warranty.  
Please call 800-544-8156.

**90DAY**  
**WARRANTY** 

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
<b>APPENDIX</b>	REFERENCE								

**90DAY  
WARRANTY**



**MECHANICAL COVERAGE SUMMARY:** Plumbing: Water lines, faucets, water heaters, drain lines, gas lines. Electrical: Main service panel, secondary service panel, and wiring. Appliances: Kitchen Appliances including and limited to oven, range, dishwasher, built-in microwave, trash compactor, and garbage disposal. Heating/Air (HVAC): Furnace, Air Conditioner, and Thermostats.

**STRUCTURAL COVERAGE SUMMARY:** Poured Concrete & Block wall foundations. Floor joists, bottom & top plates, and wall members. Roof leak repair (does not include replacement of bad shingles), load bearing walls, attached garage doors.

**COVERAGE TERMS:** This service contract covers only those items specifically listed and excludes all others. This contract covers parts and labor only and does not cover consequential or secondary damages. This contract only covers those items that were confirmed to be in good working order at time of inspection and excludes all others, regardless of their condition at the time of inspection or if they were repaired. This contract does not cover water damage, cosmetic repairs, or items that are inaccessible without the removal of drywall, concrete, or any other permanently installed covering. This is not a maintenance contract. In order for an item to be covered, it must be maintained in accordance with the manufacturer's standards or be maintained within reasonable standards where no such standards exist. This contract excludes all appliances, climate control systems, and fixtures over 10 years old. This contract does not cover plumbing stoppages, regardless of reason. This contract does not cover well or septic systems or any related components. RWS is not responsible for upgrading failed systems to meet current codes or local ordinances. This contract does not cover chimneys, fireplaces, or brick failures of any kind. This contract does not cover cracking or scaling concrete. Roof repair is for leaks only, to rolled, composition, or asphalt shingle roof only, and is limited to the repair of the leak only. This contract does not cover pest damage, including that caused by any and all wood destroying insects and pests. All mechanical coverage is limited to those items within the home's foundation, and limited to an aggregate maximum of \$500.00. All structural coverage is limited to issues within the home's foundations and is limited to an aggregate maximum of \$2000.00. RWS is not an insurer. Any damage caused by any peril is not covered by this contract, which includes but is not limited to; war, riot, civil commotion, earthquake, hurricane, any and all acts of god, or any other outside cause or neglect. All claims on this policy shall be made by the buyer of record only after they have taken possession of the home. This warranty and all related

disputes shall be interpreted and enforced in accordance with the laws of Hamilton County in the State of Indiana without reference to, and regardless of, any applicable choice or conflicts of laws principles. All claims must be received within 90 days of the inspection or within 22 days of closing, whichever comes later. The coverage under this policy shall come after any and all other warranties in place.

**VALIDATING YOUR HOME WARRANTY:** It is important that we have your information prior to any claims being made. Please be sure to validate you home warranty at <http://90daywarrantyvalidation.com> within 15 days of your inspection with your name, the address of the property, and your inspector's name.

**CLAIMS PROCEDURES:**

1. Written Notification of claim must be received by RWS prior to the expiration of the policy (which is defined as noon, the 91st day after the inspection is completed). The following information must be contained in the claim:

- a. **Your Name**
- b. **Your Inspector's Name**
- c. **Your Full Address**
- d. **A Phone Number Where You Can Be Reached**
- e. **A Brief Description of the Claim**
- f. **Make, Model & Serial # for All Appliances**

2. An itemized repair estimate must be submitted for every approved claim, including the breakdown of parts & labor, as well as a specific cause for the failure in writing from a licensed or properly certified repairperson. RWS reserves the right to request up to two (2) additional estimates. The estimate must include contact information for the repairperson.

3. A copy of your home inspection must be submitted with the repair estimate, or at least those pages pertaining to the affected items.

Claims will be processed after we are in receipt of items 1, 2, & 3. You will be contacted by an RWS representative within 72 hours of all items being submitted.

**Residential Warranty Services, Inc.**  
**P.O. Box 797**  
**Carmel, IN 46082**  
**800-544-8156**  
**Fax 877-307-7056**  
**90day@rswarranty.com**

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
<b>APPENDIX</b>	REFERENCE								

# BRINGING **MORE** TO THE TABLE.

We have a long term commitment to your peace of mind. Just because the inspection is complete, doesn't mean we stop fulfilling that promise!

Your 90-Day Home Warranty, with a zero dollar deductible, means if something we inspected stops working or breaks shortly after you move in, you are covered.

Your RecallChek: Recall protection for life program, will notify you if any of your appliances ever become recalled due to fire or safety hazard. If you make a new purchase, you can also update these appliances at any time.

Your decision to choose our home inspection company, qualifies you for the best possible rates for alarm monitoring services. We have partnered with the premier alarm monitoring companies, that have consistently provided our clients with outstanding value.

See reverse side for details.





# Installation & Equipment as low as **\$0<sup>00</sup>**

Alarm monitoring for as little as  
**\$35.99/month**

- **Special offer for inspection clients only**
- **No hidden fees**
- **The best alarm monitoring companies in the industry**
- **Save up to 20% on home-owners insurance**

Call to redeem your offer today.

**(800) 544-8156**

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS