

7/3/2020

Steven Prince

445 Evergreen Ct.

Slidell, La 70458

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INSPECTION CONDITIONS

CLIENT & SITE INFORMATION:

DATE OF INSPECTION: 7/3/2020.
START TIME OF INSPECTION: 2pm.
END TIME OF INSPECTION: 5pm.
CLIENT NAME: Steven Prince.
INSPECTION SITE: 445 Evergreen Ct.



INSPECTION SITE Slidell, La 70458.
CITY/STATE/ZIP:

CLIMATIC CONDITIONS:

WEATHER: Overcast.
SOIL CONDITIONS: Dry.
APPROXIMATE OUTSIDE 80-90.
TEMPERATURE in F:

BUILDING CHARACTERISTICS:

ESTIMATED AGE OF 38 years, (Per MLS)
STRUCTURE:
BUILDING TYPE: 1 family.
STORIES: 1
SQUARE FOOTAGE OF 2292 SqFt, (Per MLS)
BUILDING:

UTILITY SERVICES:

WATER SOURCE: Public.
SEWAGE DISPOSAL: Public.
UTILITIES STATUS: All utilities on.

OTHER INFORMATION:

AREA: City.
HOUSE OCCUPIED? Yes (It is assumed that some areas are concealed by furniture or other personal property. Home inspectors are not allowed to move personal property during their inspection. It is highly recommended that the purchaser perform a thorough inspection during their final walk through.)
PEOPLE PRESENT: Buyer's Agent.

PAYMENT INFORMATION:

TOTAL FEE: \$325.

INSPECTOR SIGNATURE:



REPORT LIMITATIONS

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This report is intended only as a general guide to help the client(s) make their own evaluation of the overall condition of the building, and is not intended to reflect the value of the premises, nor make any representation as to the advisability of purchase. The report expresses the personal opinions of the inspector, based upon his visual impressions of the conditions that existed at the time of the inspection only. The inspection process includes a limited, visual, performance based inspection of the property, subject to the limitations described herein and in the attached "Building Inspection Authorization and Agreement." The inspection and report are not intended to be technically exhaustive, or to imply that every component was inspected, or that every possible defect was discovered. It is recommended that proper installation of any equipment on the property be verified by consulting the manufacturer's instructions. While the inspector may mention an item that is suspected of being involved in a recall, every item in the home is not checked for recall status by the inspector. It is recommended that all devices in the home be checked for recalls at www.CPSC.gov. No disassembly of equipment, opening of walls, moving of furniture or floor coverings, appliances or stored items, or excavation was performed. All components and conditions which by the nature of their location are concealed, camouflaged or difficult to inspect are excluded from the report. If some areas are concealed by furniture or other personal property, it is highly recommended that the purchaser do a thorough inspection during their final walk through. If any problems or questionable conditions are reported on by the inspector, or if the purchaser is concerned with any property conditions, it is recommended that a qualified professional be retained to further investigate the situation, and make necessary upgrades as needed before the act of sale occurs.

Systems and conditions which are not within the normal scope of the building inspection (unless previously contracted) include, but are

not limited to: formaldehyde, lead paint, asbestos, radon, carbon monoxide, fuel gas leaks, toxic or flammable materials, mold, contaminated drywall, carcinogens, or other environmental hazards, whether in the building, soil, water or air; pest infestation; playground equipment; efficiency measurement of insulation or heating and cooling equipment; internal or underground drainage or plumbing; sprinkler systems; pool and spa equipment; any systems which are shut down or otherwise secured; water wells (water quality and quantity); septic systems; zoning ordinances; intercoms; security systems; heat sensors; cosmetics or building code conformity. Any general comments about these systems and conditions are informational only and do not represent an inspection. If any potential problem is suspected regarding the above systems or conditions, it is recommended that a qualified professional be retained to further investigate the situation, and make necessary upgrades as needed before the act of sale occurs.

The inspection report should not be construed as a compliance inspection of any governmental or non governmental codes or regulations. The report is not intended to be a warranty or guarantee of the present or future adequacy or performance of the structure, its systems, or their component parts. This report does not constitute any express or implied warranty of merchantability or fitness for use regarding the condition of the property and it should not be relied upon as such. Any opinions herein expressed regarding adequacy, capacity, or expected life of components are general estimates based on information about similar components and occasional wide variations are to be expected between such estimates and actual experience.

We certify that our inspectors have no interest, present or contemplated, in this property or its improvement and no involvement with tradespeople or benefits derived from any sales or improvements. To the best of our knowledge and belief, all statements and information in this report are true and correct.

Should any disagreement or dispute arise as a result of this inspection or report, it shall be decided by arbitration and shall be submitted for binding, non-appealable arbitration in accordance with applicable laws and regulations of the State in which the inspection was performed, unless the parties mutually agree otherwise. In the event of a claim, the Client will allow the Inspection Company to inspect the claim prior to any repairs or waive the right to make the claim. Client agrees not to disturb or repair or have repaired anything which may constitute evidence relating to the complaint, except in the case of an emergency.

This report includes an estimation of the age of the principal structure, some components, and its roof. This estimation is based on information provided to the inspector by the seller, purchaser, real estate agent, or property disclosure report, and is only an approximation.

Items inspected for this report are deemed "appears serviceable" if, at the time of inspection, they are considered to be in a functional and operable condition. These items may be at any point in their service life, from brand new to approaching end of life expectancy. As they are mechanical systems, it should be expected that they will, at some point, break down and need repair or replacement. This report is not intended to predict these events, it is simply an overview of the functionality of the items and systems inspected as they existed at the time of inspection. If there are any concerns about the life expectancy of any items in this report, it is recommended that additional evaluation by qualified licensed contractors be performed prior to closing.

The name of the inspector, contact information, and license number at the top of each page of the report shall be considered a suitable substitute for the inspectors hand written signature on the report.

EXTERIOR - FOUNDATION - BASEMENT

Areas hidden from view by finished walls or stored items can not be judged and are not a part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. Many conditions may be indicative of structural concerns in a building, including but not limited to cracks on interior and exterior surfaces, difficulty opening/closing doors and windows, and uneven surfaces. If any conditions raise concerns, it is recommended that further evaluation be made by a qualified structural engineer prior to closing. Weep holes at exterior masonry walls are not inspected for drainage openings. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and other floor coverings are installed, the materials and condition of the flooring underneath cannot be determined. When safely accessible, inspector will enter the crawlspace to determine its condition. A representative number of beams, joist, sills and piers are inspected. Each individual member is not inspected. Crawlspace should be kept dry and well ventilated. Closing the crawlspace is not recommended, except under the direction of a qualified and experienced contractor. Expansive soils may be present in this area. Movement of the house structure may occur during excessively wet or dry periods of weather. Some manufacturers of composite/wood fiber siding have experienced product problems/failures that have resulted in class action lawsuits. If this type of siding is present, further evaluation/investigation prior to closing may be warranted. Some manufacturers of EIFS/synthetic stucco siding have experienced product problems/failures that have resulted in class action lawsuits. If this type of siding is present, further evaluation/investigation prior to closing may be warranted.

STRUCTURE:

MATERIAL: As far as visible during inspection, areas of the wall, ceiling and roof structure appear to include typical wood framing.

WALLS:

MATERIAL: Brick veneer, Vinyl siding.

CONDITION: Appears serviceable

The following concerns were noted at the exterior walls:
Recommend caulking/sealing intersections between dissimilar building materials.
Cracks noted. Some cracking is to be expected in all exterior surfaces as the property settles with age. Recommend monitoring for any future changes
Significant cracks were noted on the right side of home. Structural issue may be present.
Recommend further evaluation and repair as needed.

Recommend evaluation by a qualified licensed contractor and repair or replace as needed.



TRIM:

MATERIAL: Wood, Metal, Vinyl.

CONDITION: Appears serviceable

The following concerns were noted at the exterior trim:
Caulking recommended at intersections between dissimilar building materials.
Peeling paint noted around the front door frame. This may indicate water penetration issues.
Recommend painting or sealing to prevent further damage.
Pest entry points noted. Recommend sealing all penetrations to prevent access.



CHIMNEY:

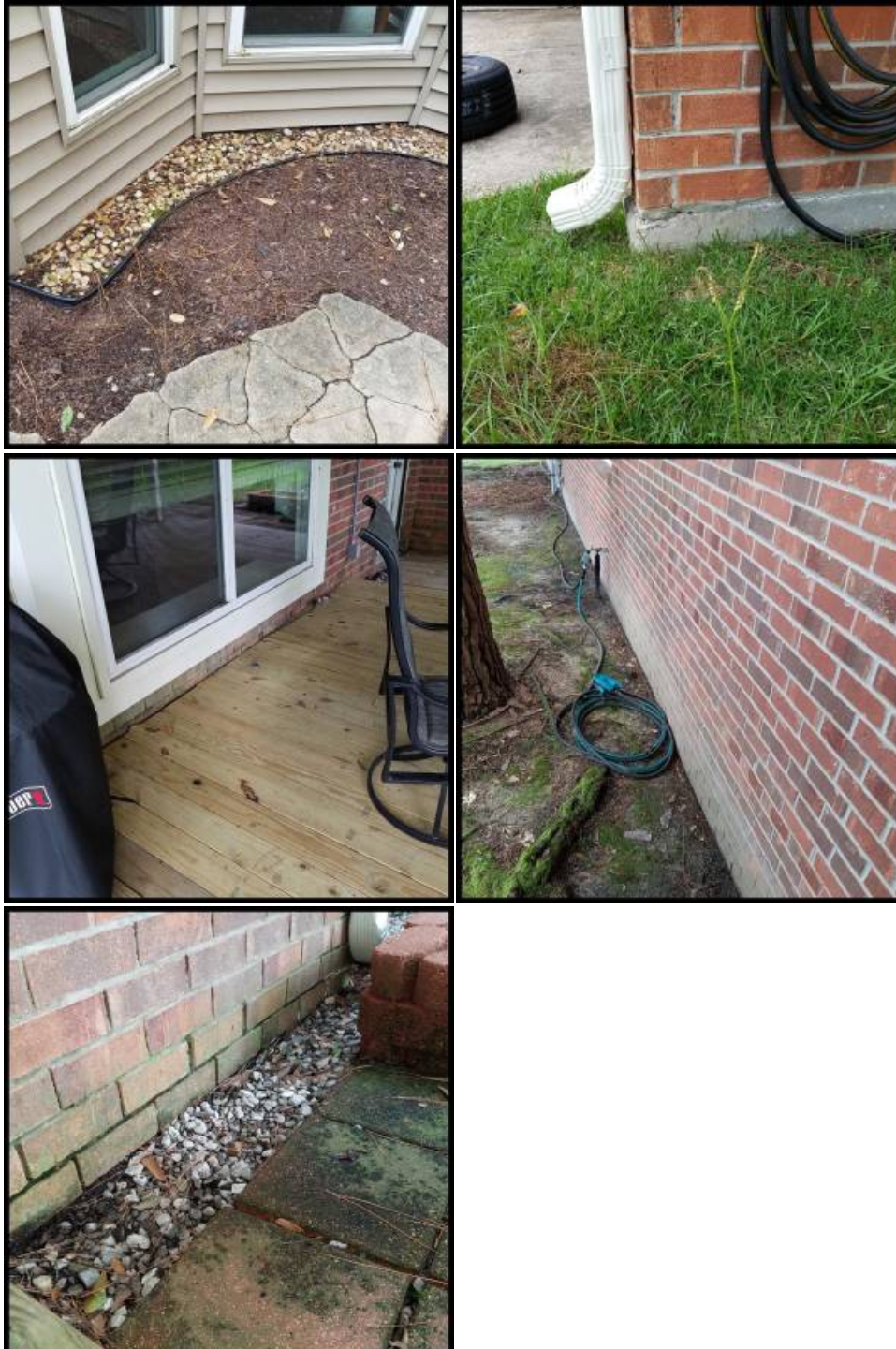
MATERIAL: Metal.
CONDITION: Appears serviceable, Spark arrester noted, Rain cap noted.



FOUNDATION:

FOUNDATION: Concrete.
CONDITION: Slab is mostly visible - no readily visible problems are noted in accessible areas.

The following concerns were noted at the slab:
Typical cracks in slab noted. Some cracking is to be expected as the property settles with age. Recommend monitoring for any future changes.
Typical corner cracking noted. Monitor for problems and repair as needed.
Some areas of the slab were not visible for inspection due to the following reason, high soil levels and decking. Recommend lowering soil levels (sloping away from the house) to allow for periodic inspection of the slab.



LEVEL SURVEY

A computerized level survey was performed, and the approximate differential measurement

indicated 1-2 inches of variance between survey points



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GROUNDS

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site or the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built close to the ground, where no viewing or access is possible. These areas as well as others too low to enter, or in some other manner not accessible, are excluded from the inspection and are not addressed in the report. We routinely recommend that inquiry be made with the seller about knowledge of any prior foundation or structural repairs. Low voltage lighting systems and sprinkler systems are not inspected.

DRIVEWAY:

TYPE: Concrete.
CONDITION: Appears serviceable

The following concerns were noted at the driveway:
Cracks noted. Some cracking is to be expected as the property settles with age. Recommend monitoring for any future changes.



SIDEWALKS:

TYPE: Concrete.
CONDITION: Appears serviceable

The following concerns were noted at the walkway:
Cracks noted. Some cracking is to be expected as the property settles with age. Recommend monitoring for any future changes.

LANDSCAPING:

CONDITION: Appears serviceable

The following concerns were noted at the landscaping:
Large tree(s) located on the property. They may present problems (now or in the future) with site drainage, roof/structure damage, plumbing, and/or foundation conditions. Recommend monitoring the situation for problems and consult with an expert as needed.

Trees are touching/over-hanging the roof. Damage is possible.
Trim plants and trees away from structure to help prevent damage and pest intrusion.





GRADING:

SITE:

Grade at foundation appears serviceable, Gentle slope.

The following concerns were noted with grading:

Evidence of poor drainage noted in the left rear and right rear of home. Monitor for problems and correct as needed.

PORCHES:

TYPE

Concrete.

CONDITION

Appears serviceable

The following concerns were noted at the porch:

Cracks noted. Some cracking is to be expected as the property settles with age. Recommend monitoring for any future changes.

PATIO:

TYPE:

Concrete.

CONDITION:

Appears serviceable.

PATIO/PORCH COVER:

TYPE:

Front Porch: Open design, Same as structure.

Rear Patio: Metal Awning

Metal columns noted.



CONDITION: Appears serviceable.

The following concerns were noted at the patio/porch cover:
Damage noted to the back side of the awning. Monitor for problems and repair as needed.



FENCES & GATES:

TYPE: Wood.
CONDITION: Appears serviceable

The following concerns were noted at the fence:
Moisture damage noted.
Left Gate needs repair or adjustment.



DECKS:

TYPE:

Wood.

CONDITION:

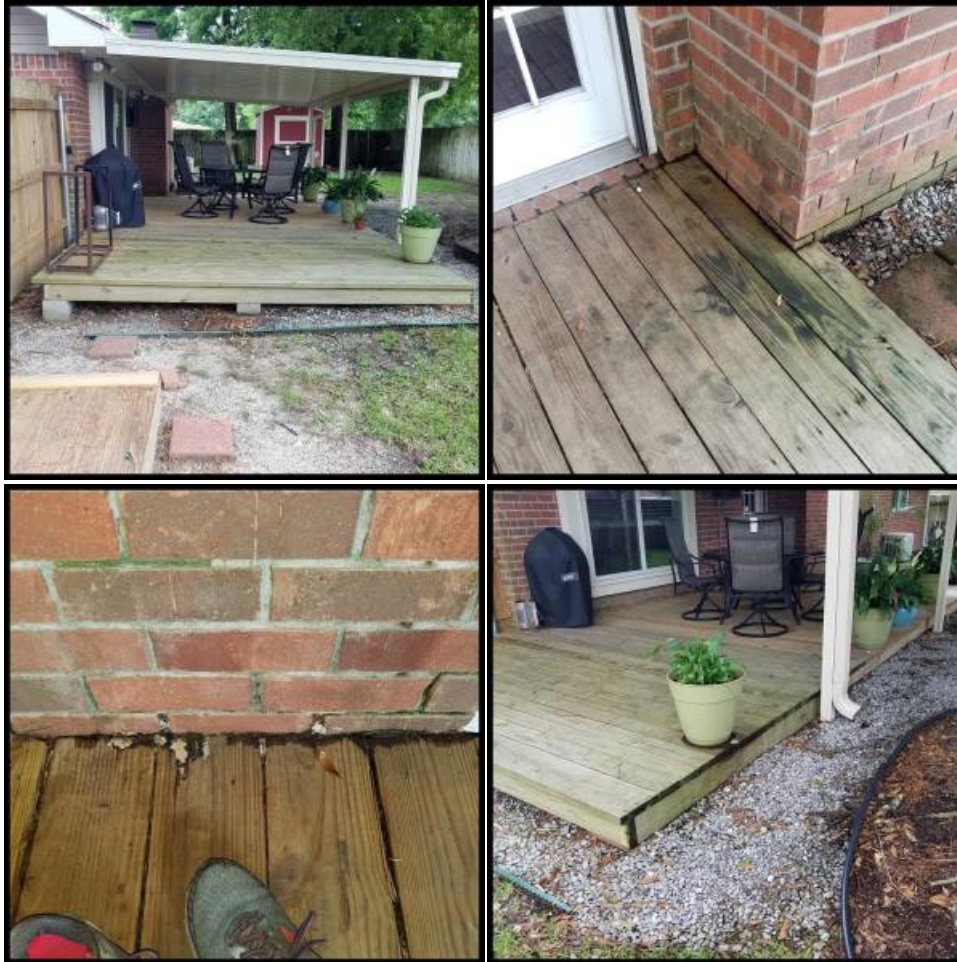
Appears serviceable

The following concerns were noted at the deck:

Wood to ground contact noted. Monitor for problems and replace or repair as needed.

Moisture staining noted to rear deck next to the rear door. Monitor for problems and repair as needed.

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ROOF - FLASHING SYSTEMS

The foregoing is an opinion of the general quality and condition of the roofing material. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during several different prolonged rainfall events. This is not possible during a single event inspection. Improper depth of nail penetration into roofing shingles may lead to premature roofing failure. Unfortunately, depth of nail penetration is difficult to access without adversely effecting the water-tight envelope of the roof, and is not included as part of a routine home inspection. It is recommended that all home exhaust vents (dryer, bathroom, kitchen, etc.) are routed to the exterior. Tenting a home for fumigation can potentially damage a roof; reinspect for damage after treatment is completed.

ROOF:

AGE OF ROOF IN YEARS: Unknown.
STYLE: Gable.
TYPE: Composition Shingles.
ROOF ACCESS: Walked on roof.





ROOF COVERING STATUS:

General condition appears serviceable with signs of weathering and aging. Regular maintenance and inspections are advised. Maintenance will help ensure the weather tightness of the building and should be performed on a regular basis.

The following concerns were noted at the roof:
Nails/Fasteners are exposed. Sealing is recommended.



EXPOSED FLASHINGS:

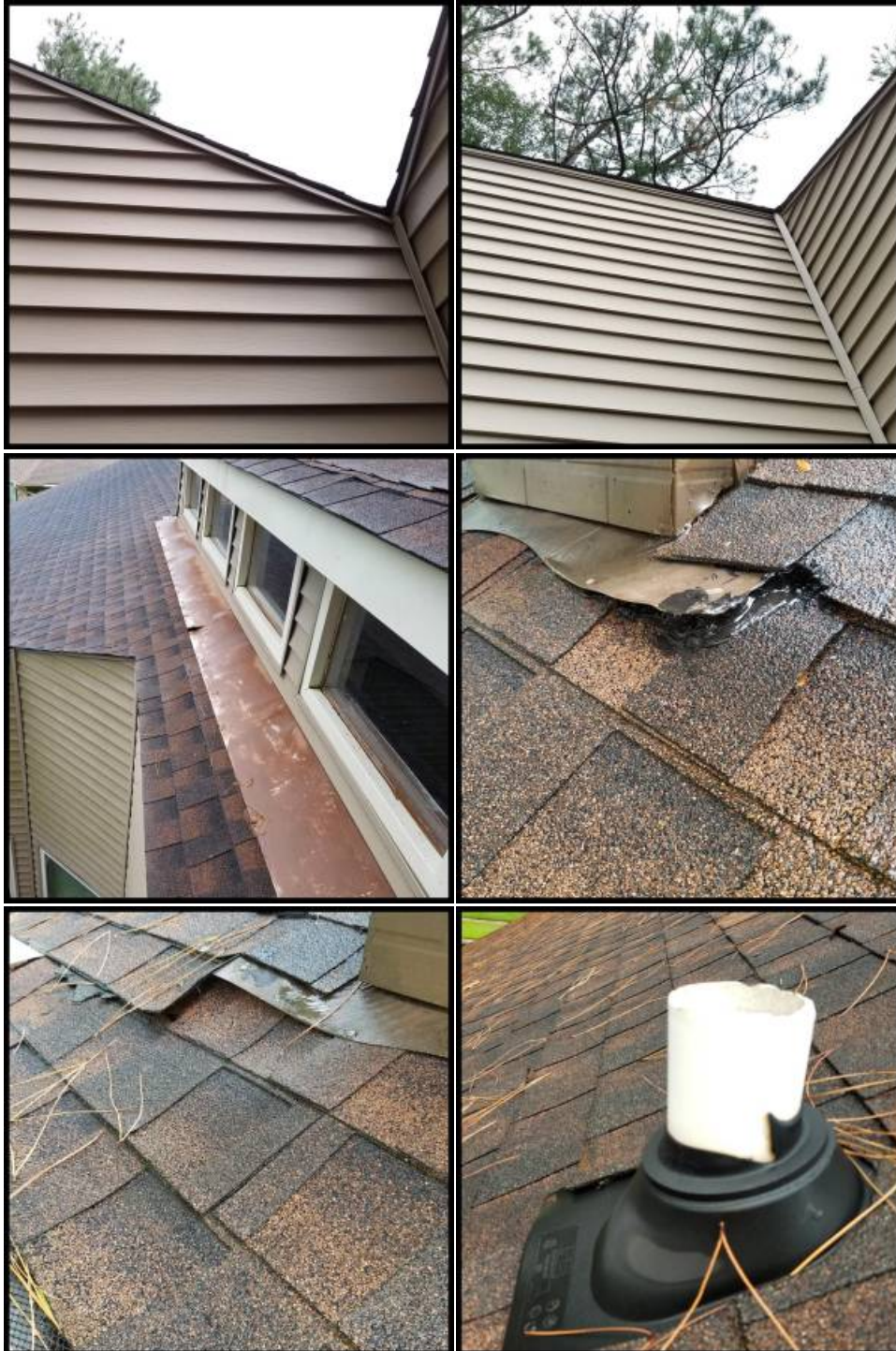
TYPE: Metal, Composition, Rubber, Plastic.

CONDITION: Appears serviceable.

The following concerns were noted at the flashings:
No visible drip edge flashing noted at edges of roof in the front court yard. While this flashing is not required, it is recommended to divert water away from the soffit and fascia, helping to decrease the likelihood of moisture damage to the structure.
Torn boot noted on the back left of home. Monitor for problems and replace as needed.
Lifting flashing noted. Recommended securing to prevent any further damage.

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GUTTERS & DOWNSPOUTS:

TYPE & CONDITION:

Partial. Consider installing additional gutters and downspouts to help with site drainage.

PLUMBING

All underground piping or pipes enclosed inside of walls related to water supply, waste, or sprinkler use cannot be viewed and are excluded from this inspection. Leakage or corrosion in underground piping, under slab piping or piping enclosed inside of walls cannot be detected by a visual inspection. It is highly recommended that a video pipe inspection by a qualified licensed plumber be performed prior to closing to determine the condition of the waste lines that are not visible during the home inspection. Inspector is not allowed to open any closed shut-off valves. Verify proper operation of closed shut-off valves with seller before act of sale. Be advised that some Polybutylene and ABS plastic piping systems have experienced some documented problems. Contact the piping manufacturer or a qualified licensed plumber for further information. Testing for fuel pipe leaks and sizing is not performed. It is recommended that all gas appliances are connected to the fuel system with appropriate piping material. The temperature pressure relief valve, at the upper portion of the water heater, is a required safety valve which should be connected to a drain line of proper size terminating just above floor elevation. If no drain is located in the floor, a catch pan should be installed with a drain extending to a safe location. The steam caused by a blow-off can cause scalding. Improper installations should be corrected. Water temperature above 125 degrees is considered a potential safety hazard and should be corrected. Water temperature testing IS NOT performed during the home inspection due to the fact that conditions may change between the time the inspection is performed and the new owners take possession of the property. Regular testing of hot water temperature is recommended. Overflow drain pans are not checked for leaks during this inspection. Adequacy and function of private water and waste systems and water quality testing are beyond the scope of a home inspection. Testing should be performed by the appropriate testing agencies prior to closing. Water quality or hazardous materials (lead) testing is available from local testing labs. If gas service is not on at the time of the inspection, gas appliances cannot be inspected. Verify proper operation prior to closing. Testing for carbon monoxide or fuel gas leaks are beyond the scope of the typical home inspection, and therefore are not included. If any problems are suspected, proper evaluation prior to closing is recommended.

MAIN LINE:

MATERIAL AND SIZE: Copper, Main line is 3/4 inch diameter.
LOCATION: Main water shut off valve is located: at the right side of the house.
CONDITION: Appears serviceable, Valve is operational
Water pressure appears adequate, 40-50 PSI.



SUPPLY LINES:

MATERIAL: Copper.
CONDITION: Appears serviceable.

WASTE LINES:

MATERIAL:

PVC. ABS.

CONDITION:

Appears serviceable. Plumbing vents appear serviceable.

The following concerns were noted at the waste lines:

ABS to PVC contact noted on the AC drain line. Glue may not properly adhere and openings may result. Monitor for problems and replace as needed.



HOSE FAUCETS:

OPERATION:

Sample operated, appeared serviceable.

WATER HEATER:

LOCATION:

Utility room.



TYPE:

Electric.

MANUFACTURER:

Rheem.

CAPACITY:

52 Gallons.

YEAR OF MANUFACTURE:

1982.

CONDITION:

Appears serviceable, but signs of wear and aging noted. Monitor for problems. Pressure relief valve noted, not tested, A water shutoff valve is installed.

The following concerns were noted at the water heater:
Recommend installing an overflow drain pan with an exterior routed drain line.



ELECTRICAL

Any electrical repairs attempted by anyone other than a licensed electrician should be approached with caution. The power to the entire building should be turned off prior to beginning any repair efforts, no matter how trivial the repair may seem. Aluminum wiring may present safety concerns, and requires periodic inspection and maintenance by a licensed electrician. Many homeowners insurance companies will ask if a house is wired with solid strand aluminum wiring (branch circuits), and its presence may effect insurability and rates. Like any mechanical component of a home, electrical wiring and its insulation degrade with age. Older wiring may be damaged, deteriorated, unsafe or not compatible with newer fixtures. It is recommended that buildings with a wiring system greater than 30 years old have a complete electrical system evaluation by a qualified licensed electrician, regardless of whether or not the system appears to be serviceable at the time of the home inspection. If furnishings are located in the building, it is assumed that some outlets and switches will not be accessible, and are therefore not tested. The inspector is not allowed to move personal belongings during the inspection. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection, due to time constraints. Smoke detectors and carbon monoxide detectors should be installed according to manufacturer's directions and local code requirements, and tested regularly. Smoke and carbon monoxide detectors are not tested during the inspection. GFCI outlets are recommended at any location where contact with water is possible, including all exterior outlets (including pool equipment, water and waste equipment), all bathroom outlets (including spas, whirlpool tubs, and lights over tubs and showers), all kitchen countertops, garage and sink outlets (with the exception of outlets dedicated for refrigerator/freezer use). Installation of AFCI breakers according to current safety standards is recommended. GFCI and AFCI circuits are not tested by the inspector if these tests will interrupt power to the connected devices (typical of an inspection of an occupied property). In these situations, testing of GFCI and AFCI circuits according to manufacturers' specifications are recommended prior to closing. It is recommended that all overcurrent protection devices (fuses and circuit breakers) located in electrical panels be marked for convenience and safety. Verification of proper labeling of circuits is not part of this inspection, and should be verified by the purchasers prior to occupying the property. Outlets located below the countertop level of kitchen islands may pose a hazard for small children, as dangling cords may be pulled, resulting in appliances falling off of the countertop. Please exercise caution in these situations.

SERVICE:

INCOMING SERVICE: Overhead.



VOLTAGE: 120/240 Volt.

OVERCURRENT PROTECTION Circuit breakers.

TYPE:

CONDITION: Appears serviceable.

SERVICE CAPACITY: 200 Amps.



ELECTRICAL PANELS:

MAIN PANEL LOCATION:

Garage.

MAIN PANEL CONDITION:

Circuit and wire sizing correct so far as visible, Grounding system is present

The following concerns were noted at the main electrical panel:
White wire used as hot circuit not properly marked (Should be painted/taped black)
Improper screws noted at panel cover. Replace with proper screws.

The following wiring concerns were noted:
Multiple wires are connected to a single lug on a circuit breaker where generally only one wire should be connected. Further evaluation is recommend and correct as needed.





CONDUCTORS:

ENTRANCE CABLE TYPE: Copper.
BRANCH WIRING TYPE: Copper.
BRANCH WIRING CIRCUIT CONDUCTORS: Type of conductor noted: Non-Metallic cable, Metal/Plastic conduit.
BRANCH WIRING CIRCUIT CONDITIONS: Appears serviceable.

CEILING FANS

CONDITION: Appears serviceable.

SWITCHES & OUTLETS:

CONDITION: Accessible switches and outlets were tested. As a whole, outlets and switches throughout the house are in serviceable condition.

The following concerns were noted with the switches and outlets:
Reverse polarity outlet is noted in the living room to the left of the fire place, in the front right bedroom back wall and left wall. Further evaluation is recommended and repair or replace as needed.



LIGHTING:

CONDITION:

Accessible lights were tested. As a whole, lighting throughout the house is in serviceable condition.

BATHROOMS

Shower pans are visually checked for leakage, but leaks often do not show except when the shower is in actual use. Determining whether shower pans and tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas. Very minor imperfections can allow water to get into the wall or floor areas and cause damage. Proper ongoing maintenance will be required in the future. It is recommended that all bathrooms have a functional exhaust vent fan for proper ventilation. Bath trap access panels are recommended for visual inspection during pest control audits. It is recommended that windows installed inside of the bathtub/shower area are constructed of tempered safety type glass and caulked regularly.

BATHROOM AREA:

UNIT NUMBER

Number 1.

BATH LOCATION:

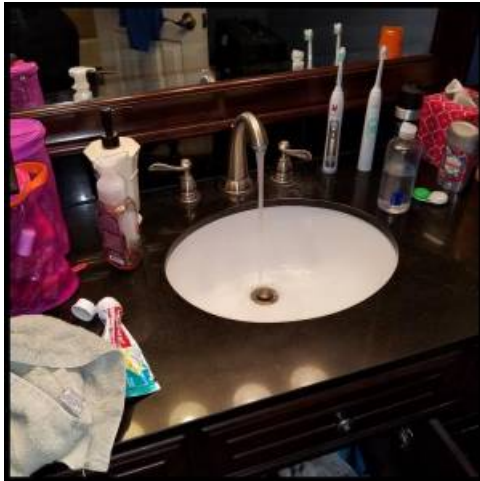
Master bedroom.

CONDITION OF SINK:

Appears serviceable, Drain appear serviceable, Counters/cabinets appear serviceable

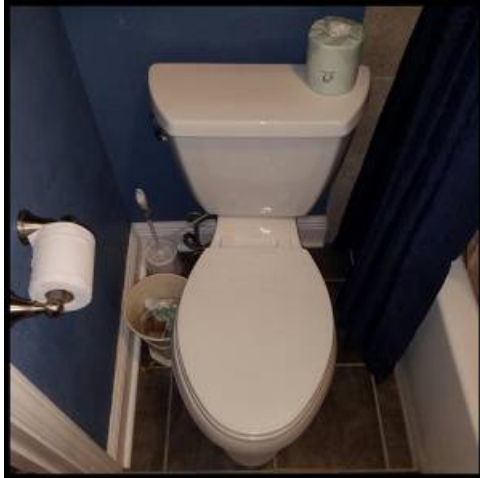
The following concerns were noted at the bathroom sink drain:

Stopper missing/did not operate properly. Repair or replace as needed.



CONDITION OF TOILET:

Appears serviceable.



**TUB/SHOWER PLUMBING
FIXTURES:**

Appears serviceable, Drain appears serviceable, Shower head appears serviceable.

TUB/SHOWER AND WALLS:

Tub and shower areas appear serviceable, Shower walls appear serviceable

The following concerns were noted at the tub/shower walls:

Tile noted at walls and floor. Unable to verify substrate preparation techniques. Recommend regular grouting, sealing and caulking to maintain integrity.

The following concerns were noted at the tub/shower:

Damage/Deterioration noted at tub on the right side. Monitor for problems and repair or replace as needed.





BATH HEAT/VENTILATION: Appears serviceable

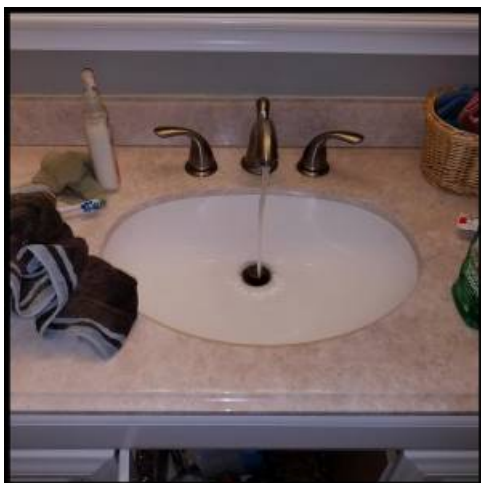
The following concerns were noted with bathroom heat source:
No heat source provided. Install as needed.

BATHROOM AREA:

UNIT NUMBER Number 2.

BATH LOCATION: Hall.

CONDITION OF SINK: Appears serviceable, Drain appear serviceable, Counters/cabinets appear serviceable.



CONDITION OF TOILET: Appears serviceable.



**TUB/SHOWER PLUMBING
FIXTURES:**

Appears serviceable, Drain appears serviceable, Shower head appears serviceable.

TUB/SHOWER AND WALLS:

Tub and shower areas appear serviceable, Shower walls appear serviceable

The following concerns were noted at the tub/shower walls:

Tile noted at walls and floor. Unable to verify substrate preparation techniques. Recommend regular grouting, sealing and caulking to maintain integrity.

The following concerns were noted at the tub/shower:

Damage/Deterioration noted at tub on the top left side. Monitor for problems and repair as needed.



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BATH HEAT/VENTILATION: Appears serviceable

The following concerns were noted with bathroom heat source:
No heat source provided. Install as needed.

GARAGE - CARPORT

Notice: Determining the heat resistance rating of firewalls is beyond the scope of this inspection. Flammable materials should not be stored within closed garage areas. If items are stored in the garage it is assumed that some areas were not fully accessible for inspection. Inspectors are prohibited from moving personal belongings during the inspection. Attached garages should have a completely fire rated envelope, including continuous fire rated sheetrock, house entry door(s), and attic access doors. Any improper openings in this envelope may compromise the integrity of the fire wall, and should be corrected to restore proper fire rating. All automatic garage door openers should have functional auto-reverse mechanisms, including an electric beam and a pressure sensitive safety reverse feature. It is often difficult to determine if an automatic garage door opener is equipped with a pressure sensitive safety reverse feature. It is often difficult to test the proper operation of a garage door pressure sensitive safety reverse feature without the risk of damaging the door and related hardware. If the inspector notes that the feature was not tested during the inspection, it is recommended that proper installation and function of this important safety feature be verified by a qualified licensed contractor prior to closing.

TYPE:

LOCATION: Attached, Two car, Garage.

ROOF:

CONDITION: Same as house, See house roof report.

FLOOR:

CONDITION: Appears serviceable

The following concerns were noted with the slab/floor:

Restricted access due to personal belongings. Unable to fully inspect. Perform a thorough inspection prior to closing after personal items have been removed and call your inspector if any concerns arise.

Cracks noted. Some cracking is to be expected as the property settles with age. Recommend monitoring for any future changes.

VEHICLE DOOR(S):

TYPE OF OPERATION: Automatic.

CONDITION: Appears serviceable, Automatic door opener(s)- operational, Electric eye automatic reverse feature is operational

The following concerns were noted with the vehicle door:

Pressure sensitive safety reverse feature is not installed/did not respond to test. Repair as needed.

HOUSE ENTRY DOOR:

CONDITION: Appears serviceable, but signs of wear and aging noted. Monitor for problems.



WALLS-CEILING:
CONDITION:

Appears serviceable, but signs of wear and aging noted. Monitor for problems.

The following concerns were noted at the walls/ceiling:
Typical cracks noted. Some cracking is to be expected in all interior surfaces as the property settles with age. Recommend monitoring for any future changes
Restricted access due to personal belongings. Unable to fully inspect. Perform a thorough inspection prior to closing after personal items have been removed and call your inspector if any concerns arise.
Peeling paint noted on the ceiling. Repair and paint as needed.
Non-professional repairs noted on the ceiling. Monitor for problems and repair as needed.



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LHI # 11146



INTERIOR - ATTIC

The condition of walls behind wall coverings, paneling and furnishings cannot be judged. The inspector is prohibited from moving personal belongings during the inspection. If any areas are inaccessible during inspection, it is recommended that a thorough inspection is performed during the final walk through. Only the general condition of visible portions of floors is included in this inspection. As a general rule, cosmetic deficiencies of walls, ceilings and flooring are considered normal wear and tear and are not reported. Proper spacing below interior doors is recommended to allow adequate flow of conditioned air between rooms. Determining the source of odors or like conditions is not a part of this inspection. Floor covering damage or stains may be hidden by furniture. The condition of areas concealed by other floor coverings is not inspected. Determining the condition of insulated glass windows is not always possible due to temperature, weather and lighting conditions. Check with owners for further information. All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks have developed. Large fires in the firebox can overheat the firebox and flue liners, sometimes resulting in internal damage. Consult the manufacturer's instructions to verify proper clearance to combustible materials at the firebox and chimney and necessity for or proper installation of a stop-clip on flue dampers of gas log units. Interior areas of the flue are not fully accessible during a visual inspection, and are not fully inspected. The installation of glass doors on fireplaces (according to manufacturers' specifications) is recommended for increased safety. Verify that any alarm sensors are not installed through the framing of windows, which may void window warranties and allow water intrusion to occur. Attic observations include inspection of a representative number of structural components. Each individual component (beam, joist, board, etc.) is not inspected. Insulation is not moved during inspection, therefore areas hidden from view by insulation (decking, finish materials, vapor barriers, structural members, fixture supports, etc.) are not inspected. Some vermiculite insulation has been shown to contain asbestos. Testing for asbestos is beyond the scope of a home inspection. If you suspect vermiculite insulation in your home, it is recommended that an evaluation be performed by a qualified licensed contractor and remedy as needed.

DOORS:

MAIN ENTRY DOOR:

Appears serviceable, but signs of wear and aging noted. Monitor for problems.

The following concerns were noted at the main entry door:

Damaged weatherstripping noted. Replace as needed.

Peeling paint noted on the door and door frame. Paint as needed.





OTHER EXTERIOR DOORS:

Standard rear door
Appears serviceable, but signs of wear and aging noted. Monitor for problems.

The following concerns were noted at the exterior doors:
Missing exterior storm door noted. Replace as needed.
Moisture damage noted to the trim on the door around the windows. Monitor for problems and repair as needed.



INTERIOR DOORS:

Appears serviceable.

WINDOWS:

TYPES OF WINDOWS

Single hung, Fixed, Vinyl, Insulated glass.

INSTALLED:

CONDITION:

Accessible windows were inspected. Windows as a grouping are generally operational and appear serviceable but signs of wear and aging noted. Monitor for problems.

INTERIOR WALLS:

MATERIALS:

Drywall.

CONDITION:

Appears serviceable, but signs of wear and aging noted. Monitor for problems.

The following concerns were noted at the interior walls:

Typical cracks noted. Some cracking is to be expected in all interior surfaces as the property settles with age. Recommend monitoring for any future changes.



CEILINGS:

TYPE:

Drywall.

CONDITION:

Appears serviceable, but signs of wear and aging noted. Monitor for problems.

The following concerns were noted at the ceilings:

Previous repairs noted, monitor for problems. Verify reason with seller and monitor the area for on-going or future problems and repair as needed.



FLOORS:

TYPE: Laminate, Tile.
CONDITION: Appears serviceable, but signs of wear and aging noted. Monitor for problems.



FIREPLACE/WOOD BURNING DEVICES:

LOCATION - TYPE - Location #1: Den
CONDITION: Type: Prefabricated metal
Fuel source: Wood burning

Fireplace appears serviceable, but signs of wear and aging noted. Monitor for problems.
Damper is operational.



ATTIC AND INSULATION:

TYPE:

Attic is partial.

FRAMING:

Conventional framing.

ACCESSIBILITY:

Restricted access to attic due to personal belongings. Only partially entered/partially inspected.



CONDITION:

Appears serviceable, but signs of wear and aging noted. Monitor for problems.

The following concerns were noted at the attic:

Staining is noted on the front side to the left of the garage and front right of the doorway, Unable to determine the status of the stains.

Active leakage may be present. Further evaluation is recommended. Repair as needed.

ATTIC ACCESS/STAIRS:

Appears serviceable

No stairs or ladder provided. Add as needed.



VENTILATION:

Attic ventilation is provided by, Soffit vents, Ridge vents
Appears serviceable.

INSULATION TYPE:

Fiberglass batts, Fiberglass- Blown.



INSULATION CONDITION:

Appears serviceable, but signs of wear and aging noted. Monitor for problems.

DEPTH:

6-12 inches.

VAPOR BARRIER CONDITION:

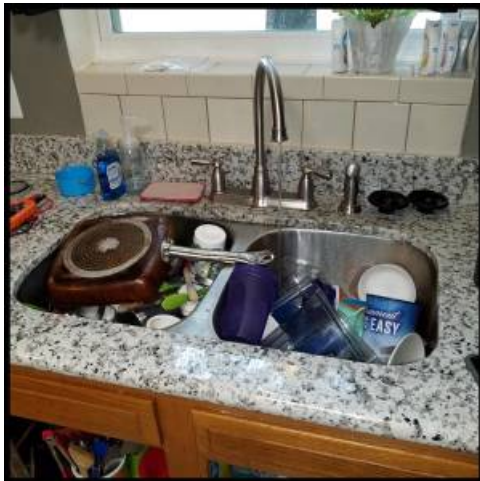
Vapor barrier was not visible during inspection.

KITCHEN - APPLIANCES - LAUNDRY - WETBAR

Inspection of refrigerators, freezers and built-in ice makers are outside the scope of the inspection. Operation of ice maker supply line is not included in this inspection. No opinion is offered as to the adequacy of dishwasher operation. Oven self or continuous cleaning operations, cooking functions, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection. Appliances and personal belongings are not moved during the inspection. Portable dishwashers are not inspected, as they require connection to facilitate testing. Laundry appliances are not tested or moved during the inspection and the condition of any walls or flooring hidden by them cannot be judged. Drain lines and water supply valves serving washing machines are not operated. Water supply valves may be subject to leaking if turned, and are not tested during the inspection. If sellers are leaving any personal movable property (appliances) for the buyer, it is recommended that these appliances be tested by a qualified licensed contractor prior to closing.

KITCHEN SINK: CONDITION:

Appears serviceable, Faucet appears serviceable, Hand sprayer appears serviceable, Drain appears serviceable.



KITCHEN CABINETS/COUNTERTOPS

Cabinets and counter tops appear serviceable

The following concerns were noted at the kitchen cabinets/counter tops:
Minor wear was noted. Monitor for problems and repair or replace as needed.
Missing drawers noted. Third drawer to the right of the oven and top drawer to the right of the dishwasher. Recommend replacing.
Viewing below sink, cabinets, and drawers is restricted due to personal belongings. Recommend inspecting prior to closing.



RANGE/COOK TOP AND OVEN:

TYPE: Electric, Combination, Free-standing.

CONDITION: Appears serviceable, but signs of wear and aging noted. Monitor for problems.

The following concerns were noted at the range/cook top and oven:
No anti-tip device was installed on the free-standing oven. Recommend installing for additional safety.



VENTILATION:

TYPE:

Recirculating type hood. Recommend regular cleaning of filters for proper operation.

CONDITION:

Appears serviceable, but signs of wear and aging noted. Monitor for problems.



DISHWASHER:

CONDITION:

Appears serviceable, Air gap device or high-loop is present on drain line- Proper installation.



GARBAGE DISPOSAL:

CONDITION: Appears serviceable.



MICROWAVE

CONDITION: None installed.

LAUNDRY:

LOCATION: Utility room.

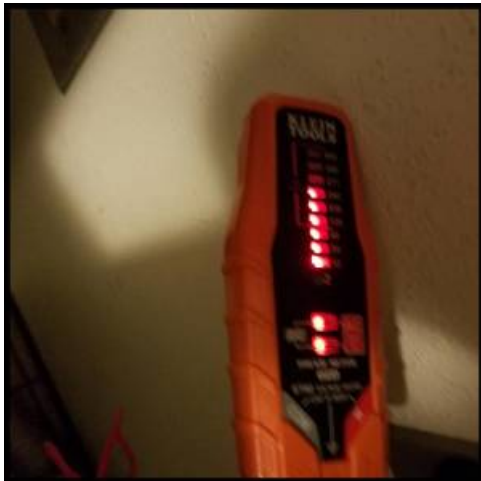


**WATER AND WASTE
CONDITION:**

Plumbing appears serviceable.

**ELECTRICAL AND GAS
CONDITION:**

240V Service-operational, 3 prong outlet provided. Recommend upgrading to a 4 prong outlet if possible.



DRYER VENTING CONDITION: Dryer venting is provided.

**LAUNDRY
CABINETS/COUNTERTOPS**

Cabinets appear serviceable, but signs of wear and aging noted. Monitor for problems.

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LHI # 11146



HEATING - AIR CONDITIONING

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this is often performed by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that full visible inspection is impossible. The inspector is not allowed to light pilot lights. Safety devices are not tested by the inspector. NOTE: Asbestos materials have been commonly used in heating systems. Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection. It is recommended that all homes with fuel burning appliances have carbon monoxide detectors installed according to manufacturer's specifications for additional safety. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency or the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, UV lights, humidifiers, humidistats and de-humidifiers are beyond the scope of this inspection. Have these systems evaluated by a qualified individual. The inspector does not perform pressure tests on coolant systems, therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not a part of the inspection. Normal service and maintenance is recommended on a yearly basis. Exterior air temperature below 65 degrees may prevent the testing of air conditioning equipment, as operation may cause damage. Overflow drain pans are not checked for leaks during this inspection. Duct tape is not recommended for use on HVAC system components, as tape material failure is likely to occur. Determining the condition of oil tanks, whether exposed or buried, is beyond the scope of this inspection. Leaking oil tanks represent an environmental hazard which may be costly to remedy.

DUCTWORK:

TYPE:

Flexible Round.

DUCTS/AIR SUPPLY:

Appears serviceable,

The following concerns were noted at the ducts/air supply system:

Limited access to some ductwork due to system design.

Gray vinyl covered ducts noted. Some manufacturers of these ducts have experienced product failure in residential use. Recommend monitoring for future problems.



AIR CONDITIONING CONDENSOR/COMPRESSOR:

UNIT:

Exterior, Rear compressor.



TYPE: Central (Split system)
AC CONDENSER/COMPRESSOR MANUFACTURER: American Standard.
CAPACITY OF UNIT: 3 Tons.
YEAR OF MANUFACTURE: 2003.
AC CONDENSER/COMPRESSOR POWER SOURCE: 240 Volt, Electrical disconnect present.

The following concerns were noted at the power source:
Panel appears to be without the benefit of protective grommet. Add as needed to protect the wiring.



AC CONDENSER/COMPRESSOR MAXIMUM RECOMMENDED FUSE/BREAKER SIZE: 30 Amps.
AC CONDENSER/COMPRESSOR GENERAL CONDITION: Appears serviceable, but signs of wear and aging noted. Monitor for problems.

The following concerns were noted with the air conditioning condenser/compressor:

Unit appears to be using R-22 refrigerant. Recommend upgrading to newer system as needed.

AIR CONDITIONER INTERIOR SYSTEM:

LOCATION: Attic.



AC EVAPORATOR COIL MANUFACTURER: Carrier.

CAPACITY OF UNIT: 3 Tons.

YEAR OF MANUFACTURE: Data plate is worn/damaged. Unable to determine.

INTERIOR AIR TEMPERATURE DROP: 12-14 degrees F. Considered marginal operation.



INTERIOR SYSTEM CONDITION: Appears serviceable, but signs of wear and aging noted. Monitor for problems.

The following concerns were noted at the interior AC system:
Unit does not appear to be producing an adequate air temperature drop. Further evaluation is recommended. Repair as needed.

Recommend evaluation by a qualified licensed contractor and repair or replace as needed.

CONDENSATE LINE/PAN: Condensate line installed

The following concerns were noted at the condensate drain line:
Recommend insulating drain line to guard against condensation on exterior of piping.

The following concerns were noted with overflow drain pan:
Damage/rusting noted at pan. Monitor for problems.



NORMAL CONTROLS: Appear serviceable.

HEATING SYSTEM DESCRIPTION:

LOCATION OF UNIT: Attic.



SYSTEM TYPE: Forced Air.

FUEL TYPE AND NOTES: Electric.

MANUFACTURER: Carrier.

CAPACITY OF UNIT: Unable to determine.

YEAR OF MANUFACTURE: Data plate is worn/damaged. Unable to determine.

HEATING SYSTEM CONDITION:

HEATING UNIT: Appears serviceable, but signs of wear and aging noted. Monitor for problems.

HEATER TEMPERATURE INCREASE: Less than 20 degrees F- Heating not adequate.

BURNERS/HEAT EXCHANGERS: The following concerns were noted at the burner/heat exchanger:
Heating does not appear to be adequate. Recommend further evaluation and repair or replace as needed.
Service recommended.

Recommend evaluation by a qualified licensed contractor and repair or replace as needed.



PUMP/BLOWER FAN: Appears Serviceable.

AIR PLENUM: Appears serviceable.

AIR FILTERS: The following concerns were noted at air filter:
Suggest changing filter regularly.

RETURN AIR SHAFT: Appears serviceable.

GENERAL SUGGESTIONS: Recommend evaluation by a qualified licensed contractor and repair or replace as needed.